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PLANNING COMMITTEE AGENDA

Planning Committee Meeting to be held in the
Council Chamber at the
Darebin Civic Centre,
350 High Street Preston
on Monday 11 April 2022 at 6.30pm.




ACKNOWLEDGEMENT OF TRADITIONAL OWNERS AND ABORIGINAL AND TORRES STRAIT ISLANDER COMMUNITIES IN DAREBIN

Darebin City Council acknowledges the Wurundjeri Woi-Wurrung people as the Traditional Owners and custodians of the land we now call Darebin and pays respect to their Elders, past, present and emerging.

Council pays respect to all other Aboriginal and Torres Strait Islander communities in Darebin.

Council recognises, and pays tribute to, the diverse culture, resilience and heritage of Aboriginal and Torres Strait Islander people.

We acknowledge the leadership of Aboriginal and Torres Strait Islander communities and the right to self-determination in the spirit of mutual understanding and respect.



English

This is the Agenda for the Council Meeting. For assistance with any of the agenda items, please telephone 8470 8888.

Arabic

هذا هو جدول أعمال اجتماع المجلس. للحصول على المساعدة في أي من بنود جدول الأعمال، يرجى الاتصال بالهاتف 8470 8888.

Chinese

这是市议会会议议程。如需协助了解任何议项，请致电8470 8888。

Greek

Αυτή είναι η Ημερήσια Διάταξη για τη συνεδρίαση του Δημοτικού Συμβουλίου. Για βοήθεια με οποιαδήποτε θέματα της ημερήσιας διάταξης, παρακαλείστε να καλέσετε το 8470 8888.

Hindi

यह काउंसिल की बैठक के लिए एजेंडा है। एजेंडा के किसी भी आइटम में सहायता के लिए, कृपया 8470 8888 पर टेलीफोन करें।

Italian

Questo è l'ordine del giorno della riunione del Comune. Per assistenza con qualsiasi punto all'ordine del giorno, si prega di chiamare il numero 8470 8888.

Macedonian

Ова е Дневниот ред за состанокот на Општинскиот одбор. За помош во врска со која и да било точка од дневниот ред, ве молиме телефонирајте на 8470 8888.

Nepali

यो परिषद्को बैठकको एजेन्डा हो। एजेन्डाका कुनै पनि वस्तुसम्बन्धी सहायताका लागि कृपया 8470 8888 मा कल गर्नुहोस्।

Punjabi

ਇਹ ਕੌਂਸਲ ਦੀ ਮੀਟਿੰਗ ਵਾਸਤੇ ਏਜੰਡਾ ਹੈ। ਏਜੰਡੇ ਦੀਆਂ ਕਿਸੇ ਵੀ ਆਈਟਮਾਂ ਸੰਬੰਧੀ ਸਹਾਇਤਾ ਵਾਸਤੇ, ਕਿਰਪਾ ਕਰਕੇ 8470 8888 ਨੂੰ ਟੈਲੀਫੋਨ ਕਰੋ।

Somali

Kani waa Ajandaha Kulanka Golaha. Caawimada mid kasta oo ka mid ah qodobada laga wada hadlay, fadlan la xiriir 8470 8888.

Spanish

Este es el Orden del día de la Reunión del Concejo. Para recibir ayuda acerca de algún tema del orden del día, llame al teléfono 8470 8888.

Urdu

یہ کاؤنسل کی میٹنگ کا ایجنڈا ہے۔ ایجنڈے کے کسی بھی حصے کے بارے میں مدد کے لیے براہ مہربانی 8470 8888 پر فون کریں۔

Vietnamese

Đây là Chương trình Nghị sự phiên họp Hội đồng Thành phố. Muốn có người trợ giúp mình về bất kỳ mục nào trong chương trình nghị sự, xin quý vị gọi điện thoại số 8470 8888.

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Agenda

1. MEMBERSHIP

Cr. Lina Messina (Mayor) (Chairperson)
Cr. Trent McCarthy (Deputy Mayor)
Cr. Emily Dimitriadis
Cr. Gaetano Greco
Cr. Tom Hannan
Cr. Tim Laurence
Cr. Susanne Newton
Cr. Susan Rennie
Cr. Julie Williams

2. APOLOGIES

3. DISCLOSURES OF CONFLICTS OF INTEREST

4. CONFIRMATION OF THE MINUTES OF PLANNING COMMITTEE

Recommendation

That the Minutes of the Planning Committee Meeting held on 15 March 2022 be confirmed as a correct record of business transacted.

5. CONSIDERATION OF REPORTS

5.1 APPLICATION FOR PLANNING PERMIT D/740/2021 721-725 High Street Preston

Author: Town Planner

Reviewed By: General Manager City Sustainability and Strategy

Applicant	Owner	Consultant
McMillan Property Group	Gary McMillan Corporation	Urbis Ola Architecture GIW Environmental Solutions One Mile Grid

SUMMARY

- The application is for the development of a seven (7) storey (including roof top terrace; plus two basements) mixed use development comprising:
 - Two (2) retail premises with a floor area of 107 square metres
 - 31 dwellings (3 x 1 bedroom and 28 x 2 bedroom apartments)
 - 32 car parking spaces
 - 48 bicycle spaces and a bicycle repair station
 - Five (5) motorbike spaces
 - Removal of an easement
- The site is zoned Mixed Use Zone and is affected by the Development Contributions Plan Overlay.
- The mandatory garden area requirements do not apply.
- There is no restrictive covenant on the title for the subject land.
- Two (2) objections were received against this application.
- The proposal is generally consistent with the objectives and standards of Clause 22.06, 52.06 and 58 of the Darebin Planning Scheme.
- It is recommended that the application be supported.

CONSULTATION:

- Public notice was given via two (2) signs posted on site and letters sent to surrounding owners and occupiers.
- This application was referred internally to the Assets and Capital Delivery Unit, Tree Management Unit, City Designer, City Design Unit, Property Management Unit, Strategic Planning Unit, Climate Emergency and Sustainable Transport Unit, ESD Officer and WSUD Officer.
- This application was referred externally to Yarra Valley Water.

Recommendation

That Planning Permit Application on D/740/2021 be supported and a Notice of Decision to Grant a Permit be issued for Development of a seven (7) storey (including communal roof top terrace and two basements) mixed-use development and a reduction in the standard car parking requirements at 721-725 High Street, Preston subject to the following conditions:

1. Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to, and approved by, the Responsible Authority. When approved, the plans will be endorsed and will then form part of this Permit. The plans must be drawn to scale with dimensions and must be generally in accordance with the plans submitted with the application (identified as the advertised plans: drawings A2.01-A4.04, prepared by Ola Architecture and dated 20.10.2021) but modified to show:
 - a. The provision of pedestrian visibility splays measuring 2.0 metres (width across the frontage) by 2.5 metres (depth into the site), to the eastern side of the proposed crossover to Regent Street. Where within the site, the splays must be at least 50% clear of any visual obstructions (structures, vegetation and the like). The splays may include an adjacent entry or exit lane where more than one lane is provided, or adjacent landscaped areas, provided the landscaping in those areas is less than 900mm in height.
 - b. Annotations detailing Tree Protection Zone(s), associated tree protection fencing and tree protection measures in accordance with the requirements of Conditions No. 4 and 5 of this Permit.
 - c. Any modifications required as a result of the approved Landscape Plan required by Condition No. 6 of this Permit.
 - d. The street address of the building '721 High' included on the High Street planter box as per reference plan A.3.01, prepared by Ola Architecture and dated 07.02.2022.
 - e. The canopy over the public footpath on High Street and Regent Street with a setback of 0.75 metres from the kerb and a minimum clearance height of 3 metres above the level of the footpath. The canopy must not interfere with existing street trees.
 - f. Visitor bicycle parking within the High Street reserve in accordance with Condition No. 10 of this Permit.
 - g. Clear glazing to the eastern and southern walls of the mail room as per reference plan A.2.03, prepared by Ola Architecture and dated 07.02.2022.
 - h. The entry to apartment G.04 relocated and the layout amended as per reference plan A.2.03, prepared by Ola Architecture and dated 07.02.2022.

- i. Changes to the apartment layouts on the ground floor, first floor and second floor levels as per Drawings A2.03, A2.04 and A2.05 prepared by Ola Architecture and dated 07.02.2022.
- j. The tiled private open space areas of apartments 3.02 and 3.03 increased to a minimum of 2 metres for a width of a minimum of 4 metres.
- k. The extent of the unsealed section of road R1 to be utilised for vehicle/pedestrian access to the site clearly delineated; and full construction details including materials, drainage and levels provided, in accordance with Condition 11 of this Permit.
- l. A single communal antenna for the development in accordance with Condition No. 12 of this Permit. The location of the antenna must be shown on the roof plan and elevations. The height of the antenna must be nominated.

When approved the plans will be endorsed and form part of this permit.

- 2. The development as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.
- 3. The land must be drained to the satisfaction of the Responsible Authority.
- 4. Before the development (including demolition) starts, tree protection fencing (TPF) must be erected in accordance with the following requirements to provide a Tree Protection Zone (TPZ):

Tree*	Location	TPZ (radius from the base of the tree trunk)
Tree 1	Naturestrip High Street	2.0 metres
Tree 2	Naturestrip Regent Street	2.0 metres
Tree 3	Naturestrip Regent Street	2.0 metres

- 5. The following tree protection measures must be implemented for trees identified in the table to Condition 4 of this Permit:
 - a. All services must be routed outside 'Tree Protection Zones'. If there is no alternative to passing through the protection zone, the local authority and the consulting arborist must be advised in writing on the need for directional boring beneath root zone; this must be maintained at a minimum depth of 45cm in soil depth when inside the TPZ of a retained tree.
- 6. Before plans are endorsed under Condition No. 1 of this Permit, a Landscape Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Landscape Plan will be endorsed and will then form part of this Permit. The Landscape Plan must be prepared by a suitably qualified person, be drawn to scale with dimensions, and must incorporate:
 - a. Tree protection measures in accordance with Conditions No. 4 and 5 of this Permit.
 - b. Any modifications relating to landscaping required as a result of the Sustainable Management Plan required by Condition No. 7 of this Permit).
 - c. Details of all existing trees to be retained and all existing trees to be removed, including overhanging trees on adjoining properties and street trees within the nature strip. The genus, species, height and spread of all trees must be

specified. All existing trees to be retained must be retained and protected in accordance with Australian Standards.

- d. A planting schedule of proposed vegetation detailing the botanical name, common name, size at maturity, pot size and quantities of all plants.
- e. A diversity of plant species and forms.
- f. Two (2) small sized canopy trees in the private open space of the proposed development.
- g. Annotated graphic construction details showing all landscape applications and structures including tree and shrub planting, retaining walls, raised planter bed and decking.
- h. Type and details of all surfaces including lawns, mulched garden beds and permeable and/or hard paving (such as pavers, brick, gravel, asphalt and concrete). Where paving is specified, material types and construction methods (including cross sections where appropriate) must be provided.
- i. The location of all plant and equipment as shown (including air conditioners, letter boxes, garbage bins, lighting, clotheslines, tanks, storage, bike racks and the like).
- j. Type and details of edge treatment between all changes in surface (e.g. grass (lawn), gravel, paving and garden beds).
- k. An outline of the approved building/s including any basement, the location of entry doors, windows, gates and fences.
- l. The location of both existing and proposed overhead and underground services. Conflicts of such services with the existing and proposed planting must be avoided.
- m. Clear graphics identifying trees (deciduous and evergreen), shrubs, grasses/sedges, groundcovers and climbers.
- n. Scale, north point and appropriate legend.
- o. Landscape specification notes including general establishment and maintenance requirements.
- p. A maintenance planting schedule, including:
- q. Details of who will be responsible for the maintenance of the landscaping
 - i. Required maintenance tasks (establishment, routine, cyclic, reactive/emergency, renovation)
 - ii. Access requirements/agreements
 - iii. Irrigation and plant nutrition

The requirements of the endorsed Landscape Plan must be complied with and implemented to the satisfaction of the Responsible Authority.

The development must not be occupied, unless otherwise approved by the Responsible Authority in writing, until the landscaping works shown on the endorsed Landscape Plan are completed to the satisfaction of the Responsible Authority.

No later than seven (7) days after the completion of the landscaping, the permit holder must advise Council, in writing, that the landscaping has been completed.

The landscaping shown on the endorsed Landscape Plan must be maintained to the satisfaction of the Responsible Authority, including by replacing any dead, diseased, dying or damaged plants to the satisfaction of the Responsible Authority.

All landscaped areas must be provided with an appropriate irrigation system to the satisfaction of the Responsible Authority.

7. The Sustainability Management Plan (SMP) to be endorsed and which will then form part of this Permit is the SMP submitted with the application (identified as Sustainable Management Plan Rev E, prepared by GIW Environmental Solutions and dated 27.09.2021).

The requirements of the endorsed SMP must be implemented and complied with to the satisfaction of the Responsible Authority.

8. The development must not be occupied until a report to the satisfaction of the Responsible Authority prepared by the author of the SMP endorsed under Condition 7 of this Permit, or similarly qualified person, is submitted to the Responsible Authority, confirming that all measures specified in the SMP have been implemented in accordance with the endorsed SMP.
9. Before plans are endorsed under Condition No. 1 of this Permit, an amended Waste Management Plan (WMP) to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the amended WMP will be endorsed and will then form part of this Permit. The amended WMP must be generally in accordance with the document identified as Waste Management Plan prepared by One Mile Grid and dated 19 October 2021 but modified to show:

- a. The updated waste storage area on page 6 of the report

The requirements of the endorsed WMP must be implemented and complied with to the satisfaction of the Responsible Authority.

10. Before the development is occupied, either:
 - a. Visitor bicycle parking in the High Street reserve adjacent to the site must be carried out by the permit holder, at their cost, under supervision, and to the satisfaction of the Responsible Authority; or
 - b. Contribution must be made (equivalent to four (4) bicycle spaces) to cycling infrastructure near the site (where possible) or within the municipality, or
11. Prior to the occupation of the development:
 - a. Plans detailing the construction and surfacing including drainage of road R1 abutting the western boundary of the property, commencing from Regent Street and continuing north to the garage of 727 High Street must be submitted to and approved by Council.
 - b. The road R1 abutting the western boundary of the property, commencing from Regent Street and continuing north to the garage of 727 High Street must be constructed and surfaced in accordance with the approved plans.

All works must be to the satisfaction of the Responsible Authority.

12. Only one (1) communal television antenna may be erected on the building and located to be minimally visible from High Street and Regent Street. Individual antennae for individual dwellings/tenancies must not be erected.
13. Before the development starts a Demolition and Construction Management Plan must be submitted to the satisfaction of the Responsible Authority and approved by the Responsible Authority. When approved, the Demolition and Construction Management Plan will be endorsed and will then form part of this Permit. The Demolition and Construction Management Plan must address, without limitation, the following:
 - a. Contact details for key construction site staff including after-hours contact numbers.
 - b. Hours for the construction activity.

- c. Measures to control the escape of noise, dust, litter, water and sediment laden runoff from the site.
- d. Measures to control mud, crushed rock or other debris being carried onto public roads or footpaths from the site.
- e. The protection measures for site features to be retained (e.g. vegetation, retaining walls, buildings, other structures and pathways, etc).
- f. On site facilities for vehicle washing.
- g. Delivery and unloading points and expected frequency.
- h. The location of parking areas for construction vehicles and construction workers vehicles, to ensure that vehicles associated with demolition and/or construction activity cause minimal disruption to surrounding land uses and traffic flows.
- i. Any traffic management plans and measures that will be required to allow vehicles to safely access the site and to safely undertake deliveries/works.
- j. Management of laneway access during construction.
- k. An outline of requests to occupy public footpaths, bicycle paths or roads, and anticipated disruptions to public transport services.
- l. The processes to be adopted for the separation, re-use and recycling of demolition materials.
- m. The measures for prevention of the unintended movement of building waste and hazardous materials and other pollutants on or off the site, whether by air, water or other means.
- n. The measures to minimise the amount of waste construction materials; the provision for the recycling of demolition and waste materials; and the return of waste materials to the supplier (where the supplier has a program of reuse or recycling).
- o. Any other relevant matters.

The requirements of the endorsed Demolition and Construction Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.

- 14. External lighting must be designed, baffled and located so as to prevent any adverse effect on adjoining and nearby land to the satisfaction of the Responsible Authority.
- 15. All guttering, rainheads, pipes including downpipes, fixtures, fittings and vents servicing any building on the site including those associated with a balcony must be:
 - a. Concealed in service ducts or otherwise hidden from view; or
 - b. Located and designed to integrate with the development,to the satisfaction of the Responsible Authority.
- 16. Provision must be made on the land for letter boxes and a slot for newspapers to the satisfaction of the Responsible Authority.
- 17. The walls on the boundary of the adjoining properties must be cleaned and finished to the satisfaction of the Responsible Authority.
- 18. Before occupation of the development, the areas set aside for the parking of vehicles and access lanes as shown on the endorsed plan(s) must be:
 - a. Constructed;
 - b. Properly formed to such levels that they can be used in accordance with the plans;

- c. Surfaced with an all-weather sealcoat;
 - d. Drained;
 - e. Line-marked to indicate each car space and all access lanes; and
 - f. Clearly marked to show the direction of traffic along the access lanes and driveways,
- to the satisfaction of the Responsible Authority.
19. Car spaces, access lanes and driveways shown on the endorsed plans must not be used for any other purpose.
20. Before the development is occupied all vehicular crossing(s) must be constructed to align with approved driveways to the satisfaction of the Responsible Authority. All redundant crossing(s), crossing opening(s) or parts thereof must be removed and replaced with footpath, naturestrip and kerb and channel to the satisfaction of the Responsible Authority.
21. Before the development is occupied, an automatic external lighting system capable of illuminating car and bicycle parking areas, access lanes and driveways must be provided on the site to the satisfaction of the Responsible Authority.
- The external lighting must be designed, baffled and located to prevent any adverse effect on adjoining and nearby land to the satisfaction of the Responsible Authority.
22. This Permit will expire if either:
- a. The development does not start within three (3) years from the date of this Permit; or
 - b. The development is not completed within five (5) years of the date of this Permit.
- As relevant, the Responsible Authority may extend the times referred to if a request is made in writing:
- c. Before this Permit expires;
 - d. Within six (6) months after the expiry date; or
 - e. Within twelve (12) months after the expiry date if the request relates to the completion of the development or a stage of the development.

NOTATIONS

- N1 Any failure to comply with the conditions of this planning permit may result in the issue of an Enforcement Order against some or all persons having an interest in the site. Non-compliance may result in legal action or the cancellation of this permit by the Victorian Civil and Administrative Tribunal.
- N2 This planning permit is one of several approvals required before use or development is allowed to start on the site. The planning permit holder is required to obtain other relevant approvals and make themselves aware of easements and restrictive covenants affecting the site.
- N3 Amendments made to plans noted in Condition 1 of this Permit are the only ones that will be assessed by Council. If additional amendments are made to the development they must be brought to the attention of Council as additional planning assessment may be required through a separate planning approval.

- N4 This Planning Permit represents the planning approval for the use and/or development of the site, and does not represent the approval of other Council departments or statutory authorities. Other approvals may be required before the use/and or development allowed by this planning permit starts.
- N5 This planning permit does not represent approval for residential siting. Contact your appointed Building Surveyor for residential siting requirements when seeking building approval.
- N6 In relation to the requirements of Condition 10 of this Permit, please contact Council's Transport Engineering Unit (Ph: 03 8470 8220) or Transport@darebin.vic.gov.au for details on how to supply on-street bicycle spaces or to make an equivalent contribution.
- N7 This planning permit is to be attached to the "statement of matters affecting land being sold", under Section 32 of the Sale of Land Act 1962 and any tenancy agreement or other agreement under the Residential Tenancies Act 1997, for all purchasers, tenants and residents of any dwelling shown on this planning permit, and all prospective purchasers, tenants and residents of any such dwelling are to be advised that they will not be eligible for on-street parking permits pursuant to the Darebin Residential Parking Permit Scheme.

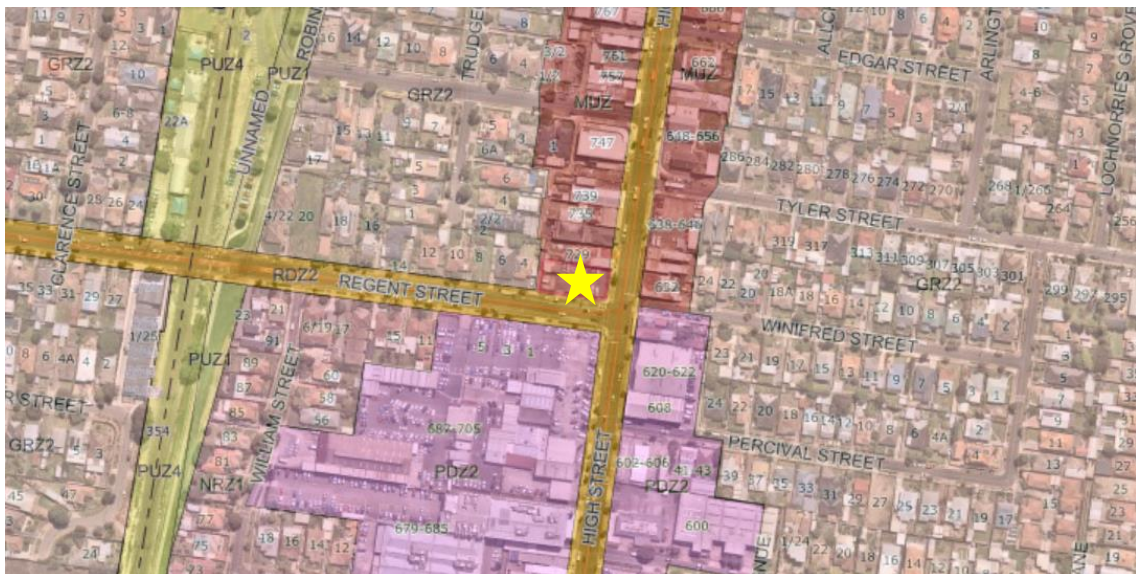
INTRODUCTION AND BACKGROUND

There is no known relevant recent planning history for the subject site.

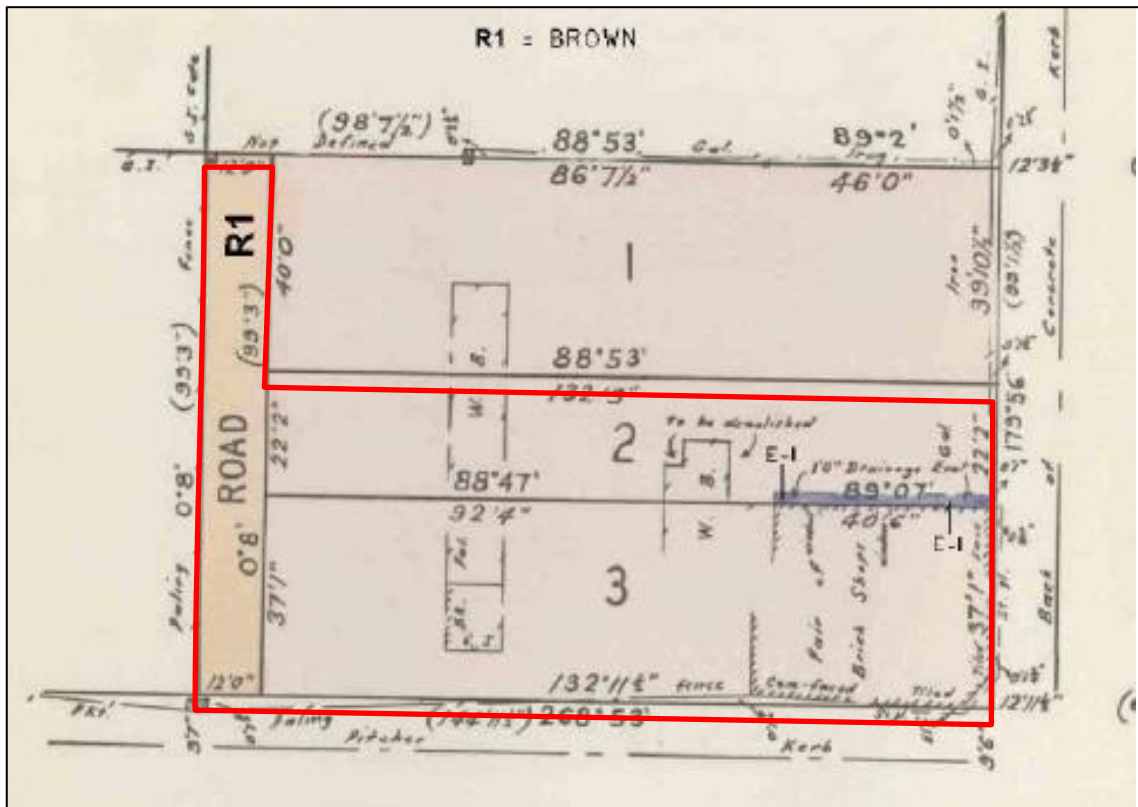
ISSUES AND DISCUSSION

Subject site and surrounding area

- The subject site is located on the north-west corner of the High Street and Regent Street intersection.



- The land is irregular in shape and measures 18.06 metres in length along High Street and 44.18 metres in width along Regent Street with a site area of 842 square metres. The subject site comprises Lot 2 and 3 and Road R1 on the below Plan of Subdivision 030826 (Volume 08831 Folio 304). There is a 300mm wide drainage easement that runs east to west from High Street through the middle of the site for a length of approximately 8 metres. The removal of this easement forms part of this application.



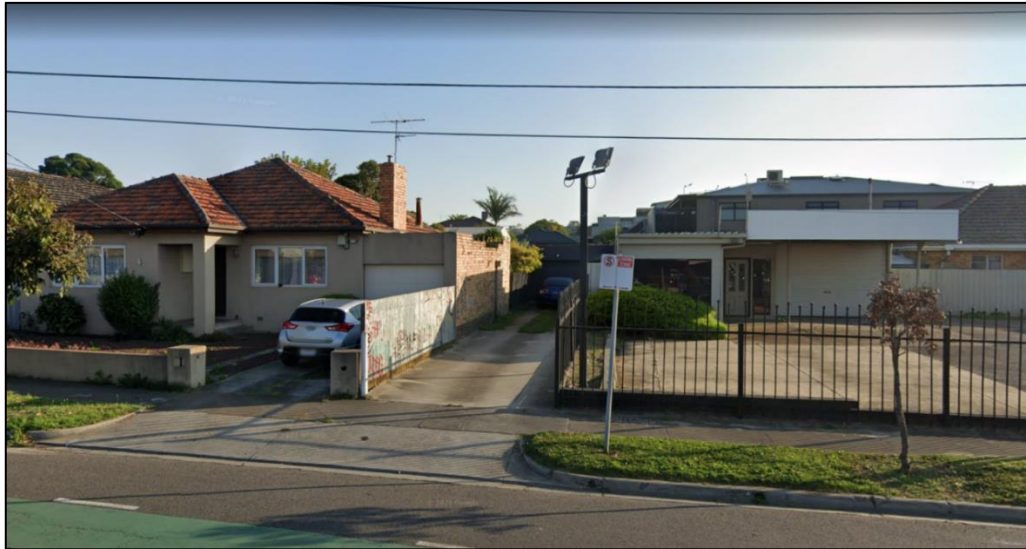
- The site contains a car yard with some outbuildings located in the north-west corner of the site. There are two (2) vehicle crossover to Regent Street including the road R1 along the west.



View of subject site from High Street/Regent Street intersection. Source: Google Street View, November 2021.

- To the north of the site is 725 High Street which features two, single storey shop fronts with a single storey dwelling located to the rear. The dwelling to the rear is a brick building with pitched roof form with three south facing habitable room windows. The shop fronts are orientated toward High Street and built to the common boundary.
- To the south of the site is Regent Street with three lanes adjacent to the subject site running east-west. Further south of the subject site is 707-717 High Street occupied by a car dealership.
- To the east of the site is High Street with 4 lanes adjacent to the subject site running north-south. Beyond High Street are single storey shops and Winfred Street, which is closed off for vehicle access to High Street.

- On the western portion of the subject site is a driveway that provides access to a garage for the property at 727 High Street. It is noted that this accessway forms part of the subject site. Further west of the site is a single storey rendered-brick dwelling orientated south toward Regent Street. The dwelling includes a single storey brick garage that is built to the common boundary of the driveway. Private open space is located to the north of then site.

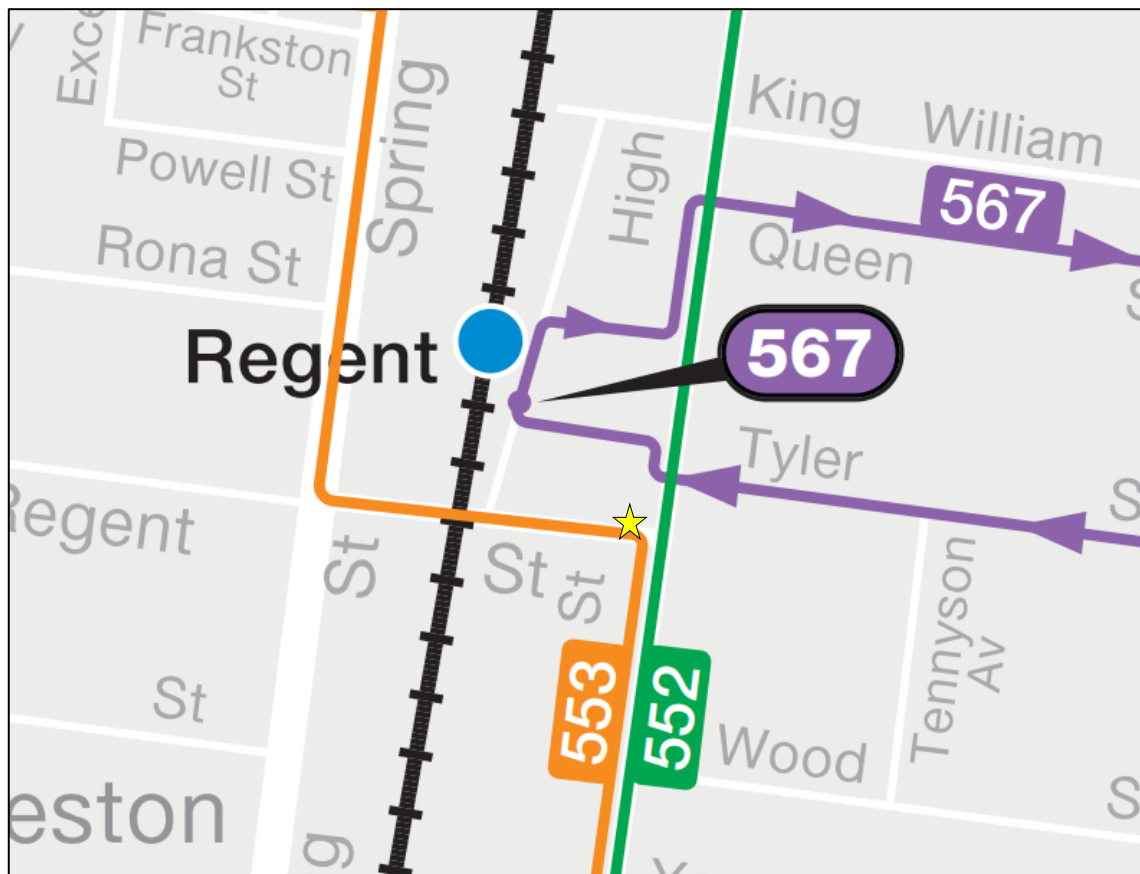


View of subject site and western interface from Regent Street. Source: Google Street View, April 2021.

- On street parking restrictions are '1P 9am-4pm' on the western side of High Street and 'No Standing' on the eastern side of High Street. Further High Street is a clearway in the morning (eastern side) and afternoon (western side).

Regent Street adjacent to the subject site is 'No Standing' on both sides with the exemption of the northern side of Regent Street adjacent to the western part of the subject site, which is a loading zone.

- The site has excellent access to public transport including Regent Station located 300 metres to the north-west. The nearest bus stops are located 40 metres to the south for bus routes 552 (North East Reservoir - Northcote Plaza via High Street) and 553 (Preston - West Preston via Reservoir) and 90 metres to the north for bus route 567 (Northcote - Regent via Northland).



- The site is just located outside (to the north) the Preston Central Activity Centre which stops at Regent Street.

Proposal

- The application is for the development of a seven (7) storey (including roof top terrace; plus two basements) mixed use development comprising:
 - Two (2) retail premises with a floor area of 107 square metres
 - 31 dwellings (3 x 1 bedroom and 28 x 2 bedroom apartments)
 - 32 car parking spaces
 - 48 bicycle parking spaces and a bicycle repair station
 - Five (5) motorbike spaces
 - Removal of an easement
- The maximum height of the development (including projections, plants and services) is 24.74 metres.
- The building design comprises a three-storey podium with a four-storey tower component. The ground floor comprises the entry area, two (2) retail premises, four (4) apartments, bicycle parking and the waste storage. Vehicle access to the two-level basement is provided via the road/laneway that is part of the subject site to the west. Apartments are located above the ground floor.
- Secluded private open space is provided in the form of private balconies and terraces. The seventh storey provides for a spacious common rooftop terrace including facilities

such as rooftop gardens, communal clothes drying facilities, a toilet and communal multi-purpose room.

Objections summarised

Two (2) objections were received against this application, which raised the following key matters:

- Excessive height, scale and bulk
- Non-compliance with the High Street policy
- Inappropriate vehicle access and car parking waiver
- Inappropriate increase of traffic and impact on existing traffic
- Proposal sets undesirable precedent

Officer comment on summarised objections

Excessive height, scale and bulk

An assessment of the proposal's height has been undertaken below. It is noted that the subject site is not subject to a preferred or mandatory overall maximum building height. As such, the assessment of the height relies on the requirements of Clause 22.06 and Clause 58 of the Darebin Planning Scheme. Overall, it is considered that the context of the subject site warrants the seven (7) storey height of the proposal due to the facts outlined in the assessment below.

The building height of seven (7) storeys is considered acceptable in its immediate context given the corner location with no abuttal to residential properties to the east and south. Regent Street to the south, High Street to the east and the road along the western boundary provide for a separation of the building form from the dwellings and commercial buildings nearby. Council has identified the High Street spine as an area where substantial change and development is intending in the future and it has generally been identified as a good location within Darebin for accommodating the current population growth. The design of the building scales down to the adjoining smaller residential properties to the west.

The building introduces a unique design approach in the landscape, adding a significant increase to the height of existing development, from whichever direction it is viewed. The design has however been influenced by the need to provide transition in height, particularly towards the west, maximise solar access and create a visually attractive element in the landscape. The alignment of boundary walls of the residential tower and the use of both vertical and horizontal modulation creates strong visual interest and contributes to the existing built form.

Non-compliance with the High Street policy

As can be seen in the assessment below, the proposal has been assessed against relevant objectives and design guidelines contained within Clause 22.05 and the proposal generally achieves compliance with the objectives of the relevant aspects of the Planning Scheme. Refer to commentary below for more details.

Inappropriate vehicle access and car parking waiver

The application seeks to provide vehicle access to the site via an existing laneway, which is part of the subject site. This results in no additional crossovers to Regent Street. One (1) existing crossover will actually be removed and replaced with landscaping. Overall, this arrangement is considered a good design outcome that is a good outcome for pedestrian safety and provides appropriate site access for vehicles.

The application proposes a reduction of two (2) of the parking spaces required by the table to Clause 52.06. The reduction is adequately compensated through the availability of alternative transport options in proximity to the site and an oversupply of bicycle parking.

Refer to commentary and recommendations under Clause 52.06.

Inappropriate increase of traffic and impact on existing traffic

Whilst it is acknowledged that the development will generate some additional vehicle movements on the local road network, such additional movements would not be either an inappropriate increase nor cause an inappropriate impact on or conflict substantially with existing traffic. Some residents are likely to choose to walk or use public transport which is available within a short walking distance of the site. More broadly, pressure on congestion across Darebin is minimised by housing the growing Darebin population in locations like this one close to public transport and services.

A traffic report accompanied the application and whilst aspects of parking demand and supply may be questioned, these concerns can be addressed through conditions of any permit that may issue.

Council's traffic engineer is satisfied that the site can accommodate the traffic numbers generated by the development in a safe manner without leading to unreasonable congestion across the site. Concerns with the accessibility arising from the utilisation of the road/laneway cannot be sustained. The traffic experts are satisfied that the proposed access to Regent Street is sufficient to provide safe access and egress for the site subject to conditions.

The increase in traffic from the subject development would not place an unreasonable load on the surrounding street network. No objections have been raised from Council's Climate Emergency and Sustainable Transport Unit regarding traffic on the local street network.

Proposal sets undesirable precedent

The possibility of setting an undesirable precedent is not a relevant planning consideration. Any future planning permit applications will be assessed against relevant planning policy, based on their own merits.

Consultation

An applicant/objector meeting for this application was not convened as both objectors occupy properties that are not located within the immediate proximity of the subject site and therefore would not be directly impacted via amenity impacts from the proposal.

PLANNING ASSESSMENT

Planning Policy Framework

- The starting point with respect to policy analysis is relevant Planning Policy Framework. The comprehensive redevelopment gathers widespread support from State policy, in particular:
 - Clause 11.03-1S encourages a diversity of housing types at higher densities in and around activity centres.
 - Clause 11.03-1R furthers the above policy with particular focus on growth within the metropolitan Melbourne region.
 - Clause 15.01-2S sets out urban design guidance to achieve a high-quality built environment and public realm.
 - Clause 16.01-2S supports developments that provide for housing diversity, access to services and planned for long term sustainability. This includes the provision of quality residential accommodation to meet community needs for housing and encourages the location of housing in designated locations that offer good access to jobs, services and transport.
 - Clause 17.02-1S encourages development that meets the community's needs for retail, entertainment, office and other commercial services and provides adequate supply of commercial land in appropriate locations.
- From the above, it is evident that the subject site is well located in proximity to an existing activity centre, is presently underutilised and therefore is suitable for redevelopment that facilitates a mixture of residential and commercial uses.
- The question therefore becomes one of execution and the form, scale and intensity of the redevelopment response. The provisions of the Local Planning Policy Framework provide further guidance on these matters.

Clause 21.03 - Darebin Housing Strategy

The Darebin Housing Strategy 2013-2033 provides a housing change framework plan that indicates *"the appropriate level of change in terms of the intensity and type of residential development that could be accommodated in areas that permit residential use."*

The subject site is identified as an area of substantial change in the Strategic Housing Framework Plan and is defined as:

"Residential, commercial and designated activity centres that have the capacity to accommodate substantial residential development over time. Substantial Change Areas will support increased residential densities and increased housing diversity. It is expected that the character of these areas will change substantially in the future."

Housing (Clause 21.03)

The Strategic Housing Framework Plan builds on the directions for residential land use and development in Darebin as set out by the Darebin Housing Strategy (2013). The policy states that Substantial Change Areas generally display one (1) or more of the following characteristics:

- Have an evolving character where there is an eclectic mix of new and old forms of architectural style and housing typologies. This includes more recent apartment developments at higher densities and in mixed-use formats.

- Are identified locations for increased residential densities to support economic investment and growth in the La Trobe National Employment Cluster.
- Are within or immediately adjacent to activity centres that possess superior access to the Principal Public Transport Network.
- Have a frontage to a strategic corridor.
- Are generally within 400 metres of a train station or tram route.

The proposed development of a seven (7) storey mixed-use building is considered to be an acceptable level of development envisaged in this context, given the site area and location on a strategic corridor and in proximity to services and public transport.

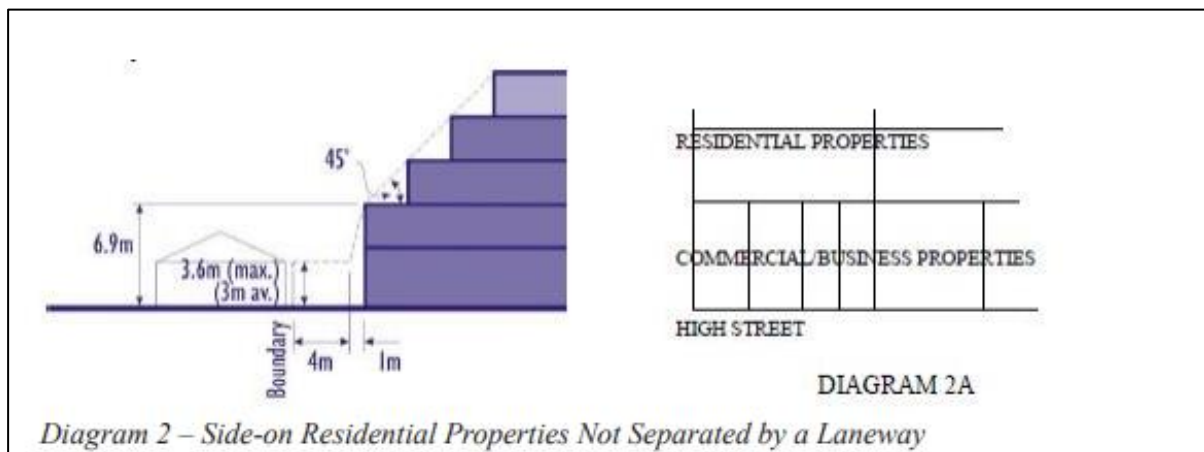
Complies

Clause 22.05 High Street Corridor Land Use and Urban Design

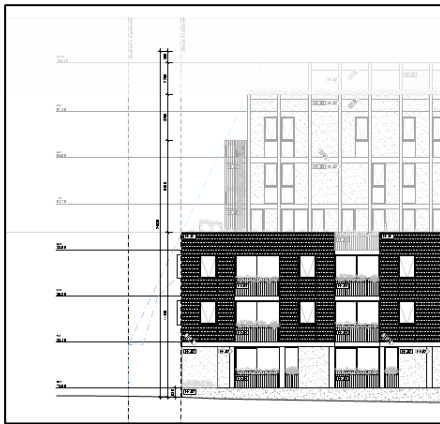
The subject site is located in Precinct 12 of the High Street Land Use and Urban Design Policy.

Policy requirements for all precincts include, in summary, the following which is responded to appropriately in the proposed development:

- Vehicle access is technically not obtained from a laneway, as the 'laneway' identified as Road R1 forms part of the subject site, therefore the laneway requirements are not applicable.



- The rear setback envelope of the proposal is in excess of the preferred 45 degree building envelope identified in the requirements. The proposal provides a 3.6 metre setback from the western boundary for the first three levels. The upper levels are setback at least 6.3 metres. The proposed rear setbacks provide a stepped transition from the built form of the proposed building to that of the dwelling at 4 Regent Street and avoids the wedding cake effect through increased setbacks on each level. Whilst the preferred 45 degree angle is not satisfied, Council's City Designer has advised that in this instance the proposed setbacks are acceptable given the non-sensitive interface between the subject site and 4 Regent Street which has a driveway and garage along the common boundary and no habitable room windows facing the common boundary. The proposed rear setbacks sufficiently address visual bulk.



Rear setback diagram.

- The ground floor commercial premises have been provided with a height of 4.34 metres. Above that the floor to floor levels have a height of 3.2 metres. The above heights include the services and slab dimensions, so that the proposed floor to ceiling heights are generally in accordance with the design guidelines.
- The street wall of 10 metres is exceeded by 2.1 metres. The variation is acceptable given the height relationship with adjoining buildings is not excessive.

The following are the policy outcome objectives for Precinct 12:

Precinct 12: Regent

It is policy:

- To encourage a mix of showrooms, offices and service industry uses in the area south of Regent Street and 626 High Street, Preston.
- To provide for a mixture of residential and commercial uses in the northern part of the Precinct.
- To ensure new development is designed to protect the amenity of adjoining residential properties.

Design guidelines

Buildings over 8 metres in height are:

- to be built to the front and side boundaries up to a height of between 8 and 10 metres above ground level, and then set back a minimum of 1.5 metres from the front boundary per floor
- to include measures (such as contrasting external wall materials) to ensure any part of the building above and set back from the front wall is visually recessive.

Extract of the policy for precinct 12.

The site proposes retail uses at ground floor. The size and format of the retail floor area is flexible and large enough to accommodate office/showroom if necessary. The final uses should be determined by market demand. The uses provide activation to the High Street frontage.

The development appropriately protects the amenity of adjoining residential properties (refer to other assessments later in this report).

The proposal is suitably designed and located to protect the amenity of the adjoining residential property to the west and north, noting the building is set back from the west property boundary a minimum of 3.66 metres and is located opposite non-sensitive interfaces (front yard and a garage boundary wall) of the dwelling to the west. The upper levels of the building have been set back from the boundaries to minimise the visual impact on the adjoining properties.

The street wall of the building is higher than 8 metres and is constructed to the front and side boundaries for the first 3 storeys. Although it would be built to a height of between 11.4 and 12.1 metres instead of the preferred maximum 10 metres, the anomaly is not significant and is acceptable in terms of the height transition presented to the streetscape; and in terms of any impacts on the adjoining site to the north which is also in the MUZ. The increase in the height of the street wall is necessitated by the overland flows from Council's assets which has required the finished floor levels of the ground level to be increased.

Upper levels have not been setback 1.5 metres per level from the High Street frontage. Instead, a consistent 2.0 metre front setback has been provided, which is acceptable given the corner location of the property and the accentuation of the corner element in this instance.

The tower component of the development has also been setback from the north, south and western boundaries with the setback utilised for terraces for apartments. Variations in materials from brick pre-cast concrete to the podium and cement sheet board to the tower components ensure the tower component is visually recessive from the podium.



Southern elevation of the proposal.

The height and scale of the development are also discussed under the assessment against Clause 22.06 and Clause 58 in other sections of this report.

Complies with Objectives

Clause 22.06 Multi-Residential and Mixed Use Development**Objectives:**

To facilitate residential and mixed use development which promotes housing choice, displays a high standard of urban design, limits off-site amenity impacts, and provides appropriate on-site amenity for residents.

To facilitate development that demonstrates the application of environmentally sustainable design principles.

To facilitate a high quality street edge that relates to the public realm.

To encourage efficient design outcomes that consider the development potential of adjoining sites.

To encourage the consolidation of lots to facilitate better design and amenity outcomes for higher density development in locations where substantial housing change is directed

The below assessment is to be read in conjunction with the requirements of Clause 58 as some elements to be considered are captured under Clause 58, so duplication of assessment is minimised.

Sustainability

The application has been accompanied by a Sustainable Management Plan (SMP) which shows that the development achieves a BESS score of 77%, which is an excellent score. A condition of approval will ensure that the development is constructed in accordance with the details provided in the SMP.

Complies subject to condition

Design & Materials

The proposal has adopted a podium and tower typology with both the podium and tower oriented towards both the High Street and Regent Street frontages. The design avoids the wedding cake affect towards the rear by reducing the number of varying setbacks of the proposal.

The development provides a high-quality design with clear horizontal elements to the building through materiality and setbacks. The exposed concrete walls to the ground level and recycled cream brick to levels 1 and 2 provide a robust form to the street corner.

The exposed concrete, face brickwork, and anodised aluminium are low maintenance and durable. The timber battens have been located to ensure they are readily accessible if maintenance is required. The design and materials have been referred to Council's City Designer and were supported.

Building Height

It is noted that the subject site is not subject to a preferred or mandatory overall maximum building height. As such there is no specific strategic direction for the height of any development on the subject site. As can be seen in the assessment against the relevant Standards of Clause 58 the development generally responds well to the requirements of the relevant policy considerations of the Darebin Planning Scheme. High Street in the vicinity of the subject site displays an emerging built form character, which includes numerous six storey buildings proximate the site.

The seventh storey has a reduced footprint that is associated with a rooftop element and communal facilities and mechanical plant storage. This element is substantially set back from the boundaries, so it is largely concealed from view by the lower levels. This ensures the development presents as a six-storey building when viewed from the public realm, which is consistent with the emerging character of High Street, Preston.

The western setback of the tower component has been informed by the sightline of a person standing at the property of 4 Regent Street (for simplicity the reference point is taken from the 3.6m height on the boundary as per the Standard B17 diagram and extended along the edge of the 3 storey podium wall) to ensure the tower is not be visible from this point and visual bulk of the proposal is minimised.

The proposal provides an appropriate set back from the western boundary with the three-storey podium being set back a minimum of 3.6 metres and the upper levels being set back at least 6.3 metres. These setbacks are considered to ensure the stepped transition from the built form of the proposed building to that of the dwellings along Regent Street. With the exception of the balconies the western façade is located on one plane. The balconies are slender in appearance and will not be visually dominant. They have been provided in this location to retain the central light well that provides separation in the upper level Regent Street façade and increases the amenity of the proposed dwellings.

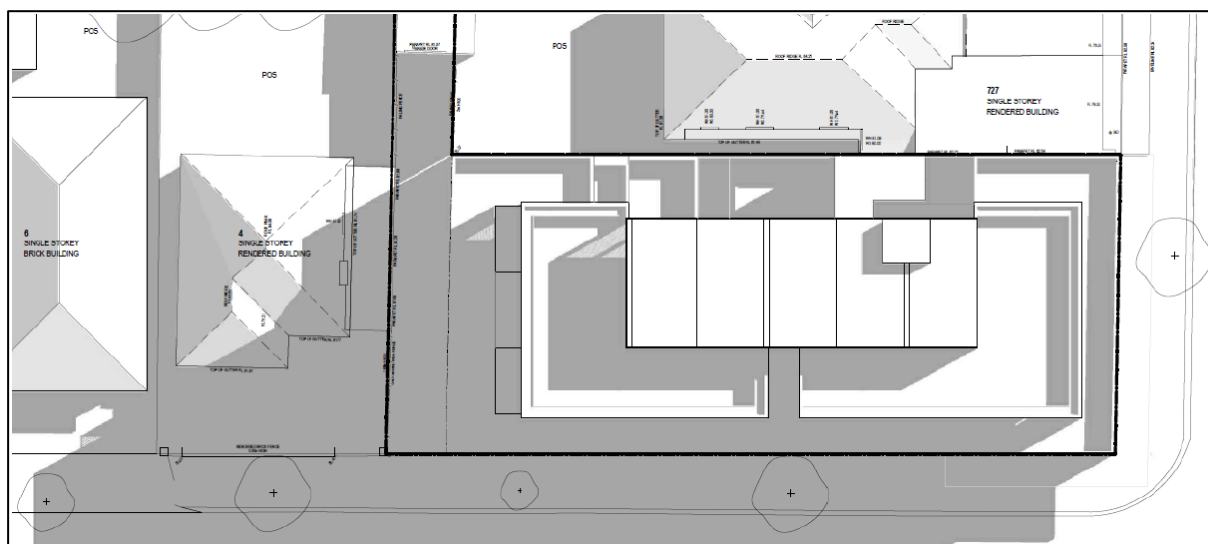
The proposal will not affect sunlight access to public spaces other than the street corridors of High Street (part of the day) and Regent Street, which is acceptable.

Dwelling Diversity

The proposal provides a range of dwelling sizes and types, particularly 1- and 2-bedroom apartments. No 3-bedroom units are included, however, this is considered acceptable given the context of the site within an area largely comprised of bigger standalone dwellings.

Parking and Vehicle Access and Waste Management under this policy are captured below under the assessment of *Traffic and car parking matters*. Street Address, Amenity Impacts, On-Site Facilities including Private Open Space, Waste Management and Equitable Access under this policy are generally captured in the assessment under Clause 58 and would constitute an unnecessary duplication of assessment.

However, Clause 58 does not include overshadowing impacts to be considered whereas Clause 22.06 does require consideration of overshadowing impacts. Based on the information submitted with the application, the development does not result in any overshadowing of adjoining private open spaces given the location of the private open space at 4 Regent Street and the two road reserves to the south and east.



9am shadow diagrams, 22 September.

On the whole, the orientation of dwellings, treatment of walls and articulation of the facades of the ground floor tenancies, provision of landscaping, the design of the residential entry, provision of a pedestrian weather protection along High Street and parts of Regent Street and integration of essential services into the building fabric are consistent with policy outcomes under this clause.

Clause 22.12 Environmentally Sustainable Development

In accordance with Clause 22.12-4, an application must be accompanied by a Sustainability Management Plan (SMP) as specified in Table 1 of the Clause.

Type of Development	Application requirements	Example tools
10 or more dwellings	Sustainability Management Plan (SMP)	BESS Green Star MUSIC STORM

The application has been accompanied by a SMP which is considered satisfactory subject to conditions requested via conditions of any approval.

Complies subject to conditions

Clause 32.04 Mixed Use Zone

The purpose of the zone is:

- *To implement the Municipal Planning Strategy and the Planning Policy Framework.*
- *To provide for a range of residential, commercial, industrial and other uses which complement the mixed-use function of the locality.*
- *To provide for housing at higher densities.*
- *To encourage development that responds to the existing or preferred neighbourhood character of the area.*
- *To facilitate the use, development and redevelopment of land in accordance with the objectives specified in a schedule to this zone.*

The development provides for residential and commercial uses with apartments representing the required housing at higher densities. Overall, this is in line with the preferred character for the area of substantial change. The proposal is considered to comply with the purpose of the zone.

Clause 52.02 Easements, Restrictions and Reserves

The proposal includes the removal of Easement E1 which is located on Lot 2 of the Plan of Subdivision. The decision guidelines of Clause 52.02 require consideration of the interests of affected people when assessing the removal of an easement. Due to the location of Easement E1 along a portion of the southern boundary of Lot 2 of Plan of Subdivision 030826, this drainage easement is only able to benefit Lot 2, which forms part of the overall subject site. Once the proposed development has been constructed, and drainage of the entire site has been connected, Easement E1 will no longer be required by Lot 3 and will become redundant. It is therefore considered orderly planning to remove the redundant easement. In addition to this the removal of the easement has been referred to Yarra Valley Water who did not object.

Traffic and car parking matters

Car Parking Provision

The proposed development generates the following statutory car parking demand as per Clause 52.06-5 of the Scheme:

<i>Use</i>	<i>Rate</i>	<i>Number / Area</i>	<i>Requirement</i>
Dwelling	1 to each 1& 2bedroom dwelling	3 x 1 Bedroom dwellings;	3
		28 x 2 Bedroom dwellings;	28
	2 to each 3 bedroom dwelling	0	0
Dwelling Visitor	N/A, as located within the PPTN	0	0
Shop	3.5 car spaces to each 100sqm of leasable floor area	109sqm	3
<i>Total Requirement</i>			<i>34</i>

The applicant seeks a reduction of two (2) car spaces as they have proposed 32 car parking spaces.

The overall reduction is acceptable and car parking spaces are provided to Council's satisfaction for the following reasons:

- The site has excellent access to public transport infrastructure, including trains and buses, and the use of public transport is considered a viable alternative to private motor vehicle use in this location.
- Each Dwelling will be provided with car parking in accordance with the statutory requirements.
- The relatively small sizes of the shops will likely generate a short-term parking demand. Thus, it would be reasonable to expect this demand will be accommodated on the streets nearby to the site. Council's Transport engineers raise no objection to the reduction in the provision of carparking and advise that car parking is to be provided to the satisfaction of Council.
- The sites proximity to public transport, the Preston Activity Centre and walking and cycling routes justifies a reduction of parking.
- Any overspill of parking can be readily accommodated within available on-street parking areas and would not be considered to represent any adverse impact upon the amenity of the surrounding area, noting the long-term parking demands associated with residents and some staff will be accommodated on-site.
- An additional five (5) motorcycle parking spaces are provided on-site.
- Adequate bicycle parking is provided on site (see below).

Car Parking Design

The proposed car parking layout is generally acceptable, or can be conditioned to comply with the relevant requirements as follows:

- Accessways have appropriate dimensions to allow for vehicles to enter and exit the site in a forward direction and generally comply with the requirements of design standard 1.
- A passing area at the entrance of the carpark is not provided. However, it is proposed to install a traffic management system to manage vehicle movements along the laneway and basement ramp. The signalling system will ensure that no vehicle departs the site when a vehicle is arriving. This arrangement is considered acceptable.
- Pedestrian splays will be required via condition.
- The applicant has prepared a vertical clearance diagram which confirms sufficient height clearance along the accessway, with a minimum headroom clearance of 2325mm.
- Car parking spaces and aisle width are provided generally in accordance with Clause 52.06-9 – Design Standard 2. Swept path diagrams demonstrate convenient ingress/egress. The cars at the dead end of the parking lots will require corrective manoeuvres to exit in the forward direction. However, this is acceptable as this is a residential car park.
- Ramp gradients are acceptable.

Traffic Impact

The applicant has submitted a traffic analysis of the proposed development indicating 124 vehicle movements, 12 of which are during peak periods. This increase in vehicle movements would be an acceptable increase and would not adversely impact the operation of the local or state arterial road network.

Loading / Unloading

Given the size of the retail tenancies in total, it is considered acceptable to not provide an on-site loading bay. The majority of deliveries is expected to occur via small vans and utility vehicles, which can utilise the existing on-street parking in the area. Of note is an existing loading bay located on the frontage of the site on Regent Street.

Bicycle Parking

The proposal generates the following statutory bicycle parking requirements:

<i>Use</i>	<u>Rate</u>		<u>Employee / Resident Requirement</u>	<u>Visitor / Shopper Requirement</u>
	<u>Employee / Resident</u>	<u>Visitor / Shopper</u>		
Dwelling (four or more storeys)	1 resident space to each 5 dwellings	1 visitor space to each 10 dwellings	6	3
Shop	None, as the leasable floor area does not exceed 1000 sqm	None, as the leasable floor area does not exceed 1000 sqm	0	0
Total Requirement			6	3

The applicant has proposed to provide 48 bicycle parking spaces, including four (4) on street spaces, for residents, staff and residential visitors. This is a significant oversupply of bicycle parking when measured against the requirements of the Scheme and is therefore acceptable.

The bicycle parking provided is in a range of configurations including at-grade and hanging style racks.

The applicant proposes to provide 12 ground mounted resident, residential visitor and staff bicycle parking on the ground floor. These are secured from public access and accessed directly from the residential front or rear entry. 32 bicycle parking spaces will be provided in the basement levels using a wall mounted system.

Waste Management

The applicant seeks to rely on private contractor collection for both residential and commercial waste. Given the scale of the development and accessibility, this is considered appropriate and the submitted waste management plan is considered generally acceptable. A condition of approval will require the waste storage area plan to be updated as per the reference drawings.

Clause 58 Assessment

The following sections provide discussion on fundamental areas of Clause 58 including variations of standards and matters informing conditions of the recommendation above.

Clause 58.03-4 D9 Safety

The main residential entry area to High Street is setback from the frontage of the property with the fully enclosed mailroom located within this 'setback' reducing passive surveillance. A condition of approval will require clear glazing to be provided to the eastern and southern walls of the mailroom to ensure the entry area does not have any obscured areas that could pose a safety risk.

Further to this the entry to apartment G.04 is currently provided off the laneway with the entry area to the apartment obscured from Regent Street with basically no passive surveillance from within the development or adjacent properties. A condition of approval will require the layout of apartment G.04 amended to relocate the entry and provide the apartment entry from the common areas within the development to ensure safety.

In conjunction with the changes to the layout of apartment G.04 the layout of the bin storage area has been amended. However, it is noted that this does not result in amenity impacts as overall boundary setbacks of the proposal have not been reduced nor does it affect the functionality of traffic manoeuvrability or waste management. The balcony of apartment G.04 facing the street has been increased to accommodate the AC area due to the removal of the private open space associated with the previous entry area.

It is noted that reference plans have been provided by the applicant addressing the above concerns. The conditions of approval will refer to these plans.

Complies subject to conditionClause 58.05-1 D17 Accessibility

Standard D17 requires that at least 50 per cent of dwellings should have:

- A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom.
- A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom and the living area.
- A main bedroom with access to an adaptable bathroom.
- At least one adaptable bathroom that meets all of the requirements of either Design A or Design B specified in Table D7.

Details in accordance with the above have been provided for all 18 apartments (58%) located within the podium indicating compliance with the requirements of the standard. However, apartments G.02, G.03, 1.04, 1.05, 2.04 and 2.05 had bathroom designs not complying with either design option. In addition to this all apartments displayed areas of minor non-compliance regarding the clear path requirements.

Following further discussions with the applicant simultaneously to the notification period, reference plans have been prepared addressing the issue of accessibility. No boundary setbacks have been reduced, window locations amended or the like, so that these changes do not cause any amenity impacts.

The number of accessible apartments in the reference plans has been reduced from 18 to 16, which represents 52% of all apartments and still complies with the minimum requirement of 50%.

Adaptable bathroom design:

The reference plans show bathroom designs to the affected apartments have been changed from design option A to design option B. All 16 accessible apartments have been provided with bathrooms meeting the design requirements.

Clear paths:

The main bedrooms for apartments G.02, G.03, 1.04, 1.05, 2.04, 2.05 have been relocated to the north. As a result, the clear path does not cross the functional layout area of the living room and the apartments comply.

The layout of apartments 1.02 and 2.02 has been changed on the reference plans to swap the kitchen bench and living rooms, so that the clear path does not overlap the functional layout area of the living rooms.

The clear path to apartments G.01, 1.03 and 2.03 only slightly overlaps the functional layout area of the living areas by approx. 200mm. This is considered acceptable given the apartments only have one bedroom utilising the living areas and the plans demonstrate that furniture can be reasonably accommodated within the living area without impact on the circulation path.

The clear paths traverse through the functional layout area of the living areas of apartments 1.01, 1.06., 1.07, 2.01 and 2.07. However, the reference plans have been updated to demonstrate that furniture can be reasonably accommodated in the living area without impact on the circulation path. This is considered to still meet the needs of people with limited mobility because the main bedroom, living areas and an adaptable bathroom can be reached without difficulties.

Overall, it is considered that, subject to changes to the apartment layouts as per the reference plans (addressed through conditions), the proposal is acceptable and complies with the objective of meeting an appropriate level of the needs of people with limited mobility.

Complies with objective subject to conditionClause 58.05-2 D18 Building Entry and Circulation

Entries to apartments and shops are generally visible and easily identifiable from High Street and provides shelter, a sense of personal address and a transitional space around the entry. A condition of approval will require adding the street number to the apartment entry area to improve sense of address.

The layout and design of the development clearly distinguishes entrances to residential and shop areas. Subject to changes to the mail room sufficient areas of windows/glazing are provided to the building entrance and lift areas. The stairs are external and provided with landscaping and therefore provide visible, safe and attractive stairs from the entry level to encourage use by residents.

Given the design with external corridors and stairs the development provides common areas and corridors that include natural light and natural ventilation. Clear sight lines are maintained along common areas and corridors.

Complies subject to condition

Clause 58.05-3 D19 Private Open Space

Generally, all dwellings are provided with a balcony that is conveniently accessible from a living room, with an area and dimensions meeting or exceeding those specified in Table D5. Specifically, the dwellings provide the following:

- Each one-bedroom apartment is provided with a balcony at a minimum of 8 sqm with a minimum width exceeding 1.8 metres.
- Each two-bedroom apartment is provided with a balcony with a minimum 8 sqm balcony with a minimum dimension exceeding 2 metres.

Where an air condition unit is located on the primary balcony, an additional 1.5 sqm of balcony is provided.

Apartments 3.01-3.05 are located on the podium level. It is noted that the standard requires at least 15 square metres, with a minimum dimension of 3 metres and convenient access from a living room. All apartments have been provided with areas of between 24-67 square metres clearly exceeding the minimum of 15 square metres.

However, the minimum dimensions of the private open spaces of apartments 3.02-3.4 at 2.39 and 2.64 metres are below the minimum of 3 metres. Landscaping further reduces the usable area to 1.77 metres. A condition of any approval will require the minimum dimension of the paved area to be increased to at least 2 metres for a width of 4 metres for apartments 3.02 and 3.03, which meets the minimum dimensions if this was a balcony and is considered sufficient to be functional to fit table and chairs comfortably. Apartment 3.04 has an area of this dimension in the south-west corner of the private open space which is considered to have convenient access from the living area.

Subject to this change the proposal will comply with the objective, also considering the private open spaces provided significantly exceed the required areas.

Complies with objective subject to condition

CLAUSE 58 COMPLIANCE SUMMARY

Clause	Std		Compliance	
			Std	Obj
58.02-1	D1	Urban Context		
		The design response is appropriate to the urban context and the site. The proposed design generally respects the preferred urban context anticipated and responds to the features and constraints of the site.	Y	Y
58.02-2	D2	Residential policy		
		The application has been accompanied by a satisfactory written statement and the proposal is considered to comply with the relevant residential policies outlined in the Darebin Planning Scheme.	Y	Y
58.02-3	D3	Dwelling diversity		
		The development provides a range of dwelling sizes and types, including dwellings with a different number of bedrooms.	Y	Y
58.02-4	D4	Infrastructure		
		Adequate infrastructure exists to support new development	Y	Y

Clause	Std		Compliance	
58.02-5	D5	Integration with the street		
		The development provides adequate vehicle and pedestrian links that maintain or enhance local accessibility. The development is oriented to front the adjoining streets and incorporates pedestrian entries, windows, balconies towards High Street and Regent Street. The development is not next to existing public open space.	Y	Y
58.03-1	D6	Energy Efficiency		
		The development is considered to be generally energy efficient and will not unreasonably impact on the energy efficiency of adjoining properties. The site is located in climate zone 21 identified in Table D1. The application has been accompanied by a Sustainable Management Plan which shows a BESS score of 77% for the development. A condition of approval will require the development to be constructed in accordance with the details of the Sustainable Management Plan provided as part of the application.	Y	Y
58.03-2	D7	Communal Open Space		
		Developments with 13 or more dwellings should provide a minimum area of communal open space (COS) of 30 square metres plus 2.5 square metres per dwelling or 220 square metres, whichever is lesser. 320 square metres of COS is provided in the development. The COS is accessible for all residents, provides areas for different uses, able to be efficiently managed, provides outlook for as many dwellings as possible and avoids overlooking into habitable rooms and POS areas.	Y	Y
58.03-3	D8	Solar Access to Communal Outdoor Open Space		
		The communal open space in the development is located on the rooftop with excellent exposure to the northern aspect. The entire communal outdoor open space receives a minimum of two hours of sunlight between 9am and 3pm on 21 June.	Y	Y
58.03-4	D9	Safety		
		The proposal complies with the requirements of the standard subject to conditions. See detailed assessment above.	Y	Y
58.03-5	D10	Landscaping		
		<p>The landscape layout and design is creative and provides an unusual approach providing great amenity for the residents and property to the north. The design is:</p> <ul style="list-style-type: none"> • Responsive to the site context. • Takes into account the drainage patterns of the site and integrates planting and water management. • Allows for intended vegetation growth and structural protection of buildings. 	Y	Y

Clause	Std		Compliance	
		<ul style="list-style-type: none"> Provides a safe, attractive and functional environment for residents. Landscaping is designed to reduce heat absorption such as green walls, green roofs and roof top gardens and improve on-site storm water infiltration. The development provides for the replacement of any vegetation to be removed. <p>A condition of approval will require a detailed landscape plan.</p>		
58.03-6	D11	Access		
		<p>The proposal utilises the R1 road that forms part of the western end of the subject site and an existing crossover is removed from Regent Street.</p> <p>The proposal maximises the retention of on-street car parking spaces.</p> <p>The development makes appropriate provision for access for service, emergency and delivery vehicles.</p>	Y	Y
58.03-7	D12	Parking Location		
		Parking facilities are proximate to the dwellings they serve, the access is observable and secure.	Y	Y
58.03-8	D13	Integrated water and stormwater management		
		<p>The development proposes use of alternative water sources such as rainwater, stormwater and recycled water to reduce the impact of stormwater run-off on the drainage system and filtration of sediment and waste from stormwater prior to discharge from the site.</p> <p>The development has been designed to meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater – Best Practice Environmental Management Guidelines (Victorian Stormwater Committee 1999) as amended, subject to conditions.</p>	Y	Y
58.04-1	D14	Building setback		
		<p>Building setbacks are covered in the assessment in earlier sections of this report.</p> <p>Generally, the development is set back sufficiently from the side and rear boundaries to:</p> <ul style="list-style-type: none"> Ensure adequate daylight is available into new habitable room windows. Avoid direct views into habitable room windows and private open space of new and existing dwellings. Avoid relying excessively on screening to reduce 	Y	Y

Clause	Std		Compliance	
		views into habitable room windows and private open space of new and existing dwellings. <ul style="list-style-type: none"> • Provide an outlook from dwellings that creates a reasonable visual connection to the external environment. • Ensure the dwellings are designed to meet the objectives of Clause 58. 		
58.04-2	D15	Internal Views		
		The windows in the development are designed and located to limit views into the private open space and habitable room windows of dwellings within the same development. Windows and balconies are be designed to prevent overlooking of more than 50 per cent of the private open space of a lower-level dwelling directly below and within the same development.	Y	Y
58.04-3	D16	Noise Impacts		
		Noise sources, such as mechanical plants are not located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms (such as living areas and bedrooms) are located to avoid noise impacts from mechanical plants, lifts, building services, non-residential uses, car parking, communal areas and other dwellings. The subject site is not located within a noise influence area.	Y	Y
58.04-4	D32	Wind impacts		
		Given the relatively small scale of the development in the context of wind impacts the proposal is considered to not generate unacceptable wind impacts within the site or on surrounding land.	Y	Y
58.05-1	D17	Accessibility		
		See detailed assessment above.	N	Y
58.05-2	D18	Building Entry and Circulation		
		See detailed assessment above.	Y	Y
58.05-3	D19	Private Open Space		
		The development is considered to provide adequate private open spaces for the reasonable recreation and service needs of residents. See detailed assessment above.	N	Y
58.05-4	D20	Storage		
		The provision of storage for each dwelling is in accordance with the capacities shown in Table D6.	Y	Y
58.06-1	D21	Common Property		
		The development clearly delineates public, communal and private areas. Common property is functional and capable of efficient management.	Y	Y
58.06-2	D22	Site Services		

Clause	Std		Compliance	
		<p>The design and layout of dwellings provide sufficient space and facilities for services to be installed and maintained efficiently and economically.</p> <p>All services, where visible from public areas, are appropriately integrated with the design of the development and provide high quality urban design outcomes.</p> <p>Mailboxes and other site facilities are adequate in size, durable, waterproof and blend in with the development.</p> <p>Mailboxes are to be provided and located for convenient access as required by Australia Post. This can be included as a permit condition/any approval given.</p>	Y	Y
58.06-3	D23	Waste and Recycling		
		<p>The development is generally designed to encourage waste recycling.</p> <p>The waste and recycling facilities are accessible, adequate and attractive. As noted elsewhere in the report minor changes to the layout of the waste storage room will be required, however, the space available will ensure efficient waste management is maintained. However, the plan on page 6 will need to be updated in accordance with the latest plans.</p> <p>The waste and recycling facilities are designed to manage waste in a way that minimises impacts on residential amenity, health and the public realm.</p> <p>Waste and recycling management facilities are to be designed and managed in accordance with a Waste Management Plan. A Waste Management Plan has been submitted with the application and a condition of approval will require the development to comply with the requirements of the Waste Management Plan.</p>	Y	Y
58.06-4	D24	External walls and materials		
		The proposed materials brick, concrete and cement sheet are considered appropriate and acceptable.	Y	Y
58.07-1	D25	Functional Layout		
		<p>The dwellings are considered to provide functional areas that meet the needs of residents.</p> <p>All bedrooms and living areas meet the minimum internal room dimensions specified in Table D7 and D8.</p>	Y	Y
58.07-2	D26	Room Depth		
		All dwellings within the development either have multiple aspects or where single aspect provide	Y	Y

Clause	Std		Compliance	
		adequate daylight access into all habitable rooms due to the combined living dining and kitchen areas and the 2.7 metre floor to ceiling height.		
58.07-3	D27	Windows		
		All habitable rooms within the development comprise a window in an external wall of the building providing good daylight access to all habitable rooms. No bedrooms are provided with windows from a secondary area.	Y	Y
58.07-4	D28	Natural Ventilation		
		<p>The breeze path analysis submitted with the application demonstrates that the development includes at least 40% of dwellings that provide effective cross-ventilation that has:</p> <ul style="list-style-type: none"> • A maximum breeze path through the dwelling of 18 metres. • A minimum breeze path through the dwelling of 5 metres. • Ventilation openings with approximately the same area 	Y	Y

REFERRAL SUMMARY

Department/Authority	Response
Assets & Capital Delivery	No objection, subject to condition included in recommendation
Tree Management	No objection, subject to condition included in recommendation
City Designer	No objection.
Climate Emergency and Sustainable Transport	No objection, subject to condition included in recommendation
City Design	No objection, subject to condition included in recommendation
ESD Officer	No objection
Property Management	No objection, subject to condition included in the recommendation
Strategic Planning	No objection
Yarra Valley Water	No objection

PLANNING SCHEME SUMMARY**Darebin Planning Scheme clauses under which a permit is required**

- Clause 32.04-6 - Construct two or more dwellings on a lot.
- Clause 52.02 - A permit is required before a person proceeds under Section 26 of the Subdivision Act 1988 to acquire or remove an easement or remove a right of way.
- Clause 52.06-3 - Reduce the number of car parking spaces required under Clause 52.06-5.

Applicable provisions of the Darebin Planning Scheme

Section of Scheme	Relevant Clauses
SPPF	11.02-1, 15.01-1, 15.01-5, 15.02, 16.01, 18.02, 19.03-1
LPPF	21.02, 21.03, 22.05, 22.06, 22.12
Zone	32.04
Overlay	45.06
Particular provisions	52.02, 52.06, 52.34, 53.18, 53.34, 58
General provisions	65.01
Neighbourhood Character Precinct	N/A

POLICY IMPLICATIONS

Environmental Sustainability

All new dwellings are required to achieve a minimum six (6) star energy rating under the relevant building controls.

Social Inclusion and Diversity

Nil

Other

Nil

FINANCIAL AND RESOURCE IMPLICATIONS

There are no financial or resource implications as a result of the determination of this application.




FUTURE ACTIONS

Nil

RELATED DOCUMENTS

- Darebin Planning Scheme
- Planning and Environment Act 1987

Attachments

- Aerial (**Appendix A**) [↓](#) 
- Plans (**Appendix B**) [↓](#) 
- Condition reference plans (**Appendix C**) [↓](#) 

DISCLOSURE OF INTEREST

Section 130 of the *Local Government Act 2020* requires members of Council staff and persons engaged under contract to provide advice to Council to disclose any conflicts of interest in a matter to which the advice relates.

The Officer reviewing this report, having made enquiries with relevant members of staff, reports that no disclosable interests have been raised in relation to this report.

721-725 High Street Preston



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721-725 High Street Preston

Proposed Residential Development
Job Number: 0175
Client: McMillan Property Group

Stage: Town Planning Application
Date: 20.10.2021
Issue: 1

PREPARED DOCUMENT 01/10/2021 Page 1 of 4
Ola Architecture Studio
 607/1 Princess Street
 Kew Victoria 3101
 03 9942 0812 | olastudio.com.au

DEVELOPMENT SUMMARY

APT	TYPE	GFA (m ²)	POS (m ²)	INTERNAL STORAGE (m ³)	TOTAL STORAGE (m ³)	ACCESSIBLE	ADAPTABLE BATHROOM OPTION (A or B)
GROUND LEVEL							
G.01	1B/OFFICE	58.88	9.513	12.09	14.34	YES	A
G.02	2B/OFFICE	72.64	9.510	11.51	15.33	YES	A
G.03	2B/OFFICE	72.64	9.510	11.51	15.13	YES	A
G.04	2B/OFFICE	69.80	14.375	11.27	14.22	YES	B
LEVEL 01							
1.01	2B	75.00	15.794	11.51	15.13	YES	A
1.02	2B	85.45	11.909	15.63	17.88	YES	A
1.03	1B	59.00	9.512	12.09	14.34	YES	A
1.04	2B	73.62	9.505	12.76	35.32	YES	A
1.05	2B	73.62	9.505	12.76	15.71	YES	A
1.06	2B	82.02	9.501	14.94	18.04	YES	A
1.07	2B	74.01	15.489	11.06	14.16	YES	A
LEVEL 02							
2.01	2B	73.41	9.611	11.51	14.46	YES	A
2.02	2B	85.45	11.909	15.63	17.88	YES	A
2.03	1B	59.00	9.512	12.09	14.34	YES	A
2.04	2B	73.62	9.505	12.76	15.54	YES	A
2.05	2B	73.62	9.505	12.76	16.58	YES	A
2.06	2B	82.02	9.501	14.94	17.19	YES	A
2.07	2B	74.01	16.265	11.06	14.01	YES	A
LEVEL 03							
3.01	2B	80.45	67.410	10.48	45.12		
3.02	2B	70.17	23.916	12.35	14.60		
3.03	2B	70.17	23.916	12.35	14.60		
3.04	2B	70.11	47.266	12.26	34.82		
3.05	2B	88.25	46.073	19.82	34.24		
LEVEL 04							
4.01	2B	72.60	9.452	12.04	15.71		
4.02	2B	7.287	9.422	15.44	19.11		
4.03	2B	82.55	13.394	17.03	20.51		
4.04	2B	93.11	13.394	18.52	22.00		
LEVEL 05							
5.01	2B	72.60	9.452	12.04	15.71		
5.02	2B	77.28	9.422	15.44	19.09		
5.03	2B	82.55	9.648	17.03	44.66		
5.04	2B	93.11	9.648	18.52	32.94		
TOTAL NSA		2348.04	492.344				

COMMERCIAL

SHOP 1	54.20
SHOP 2	53.06
TOTAL	107.26

COMMON

BASEMENT (L1 & L2)	1461.78
LOBBY	99.15
WALKWAY	194.31
LIFT	64.53
STAIRS	100.26
SERVICES	96.74
MAIL ROOM	3.65
CLEANER	3.44
GARDEN	107.66
SHARED OPEN SPACE	235.77
SHOP OPEN SPACE	10.19
MULTI-PURPOSE ROOM	24.71
COVERED BBQ	32.53
SHARED DDA WC	6.96
CLOTHES DRYING	10.41
GARDEN SHED	4.26
GREEN WASTE	3.47
WASTE MANAGEMENT	24.67
BIKE REPAIR	6.29
ROOF	181.79

UNIT SUMMARY

TYPE	No.	
1B	2	(6%)
1B/OFFICE	1	(3%)
2B	25	(81%)
2B/OFFICE	3	(10%)
TOTAL	31	
ACCESSIBLE UNITS	18	(58%)

AMENITY

CAR SPACES	32
EV charging car space	1
EV ready car spaces	31

MOTORBIKE PARKING

motorbike spaces	5
------------------	---

BIKE PARKING

on ground - shop visitor	2
on ground - shop employee	2
on ground - resident visitor	7
on ground - resident	5 (including 2 with trailers)
wall hung - resident	32
total - resident bikes	37
on ground - EB charging	2
bike repair bay	1

ACCESSIBILITY NOTES

- ADAPTABLE BATHROOM DESIGN OPTION A:
- DOOR TO ADAPTABLE BATHROOM INCLUDES READILY REMOVABLE HINGES
 - A HOBLESS (STEP-FREE) SHOWER
- ADAPTABLE BATHROOM DESIGN OPTION B:
- DOOR TO ADAPTABLE BATHROOM INCLUDES READILY REMOVABLE HINGES
 - A HOBLESS (STEP-FREE) SHOWER THAT HAS A REMOVABLE SHOWER SCREEN

1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

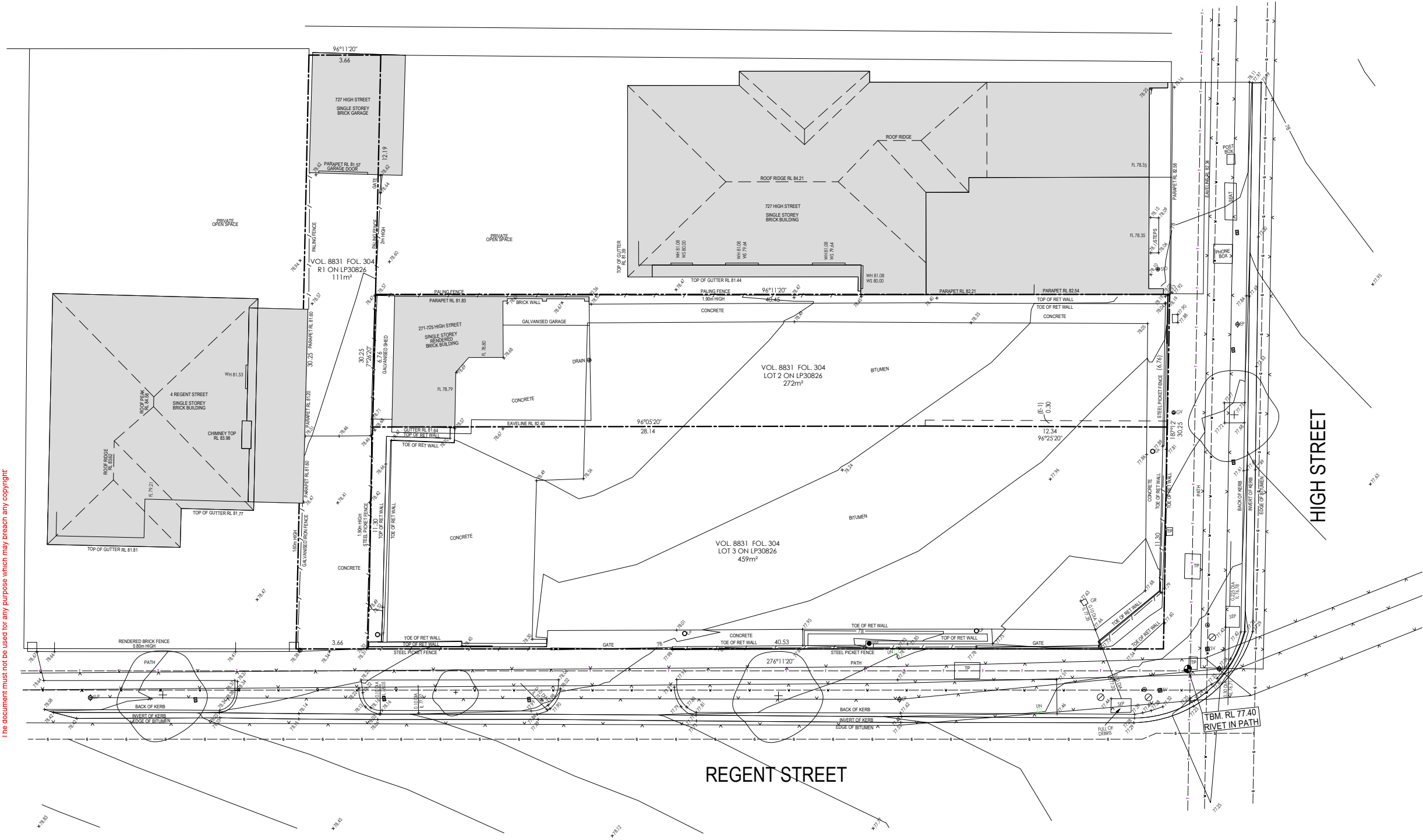
721-725 High St Preston

Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

SITE SURVEY

Scale 1:100 @ A1
Issue 1
Date 20.10.2021

A0.00
 Purvis City Council Received 9/11/2021



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1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston
Client: McMillan Property Group
Job No: 0175
Stage: Town Planning Application
Drawn: MM, PS

SITE SURVEY
Scale: 1:100 @ A1
Issue: 1
Date: 20.10.2021

A0.01 Perth City Council Received 9/11/2023



DEMOLITION NOTES

*THE EXISTING BUILDING ON SUBJECT SITE IS PROPOSED TO BE DEMOLISHED AND REMOVED IN TOTAL. ALL EXISTING SANITARY FIXTURES ARE TO BE REMOVED. ALL EXISTING SERVICES TO BE STOPPED OFF PRIOR TO DEMOLITION WORKS.

*EXISTING REDUNDANT CROSSOVERS TO BE REMOVED. FOOTPATH & KERB TO BE REINSTATED TO COUNCILS REQUIREMENT.

1	Planning Permit Application	20.10.2021
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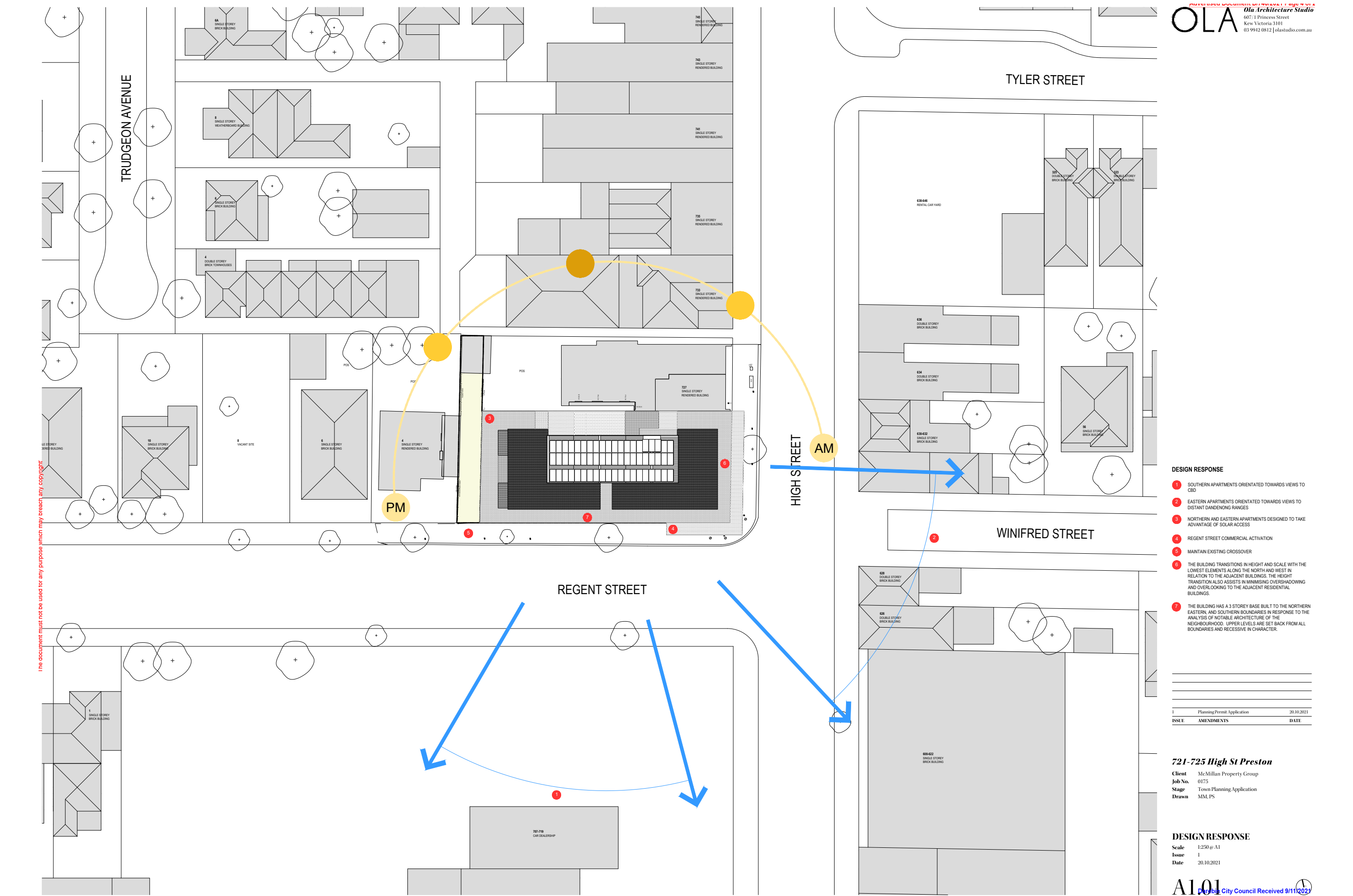
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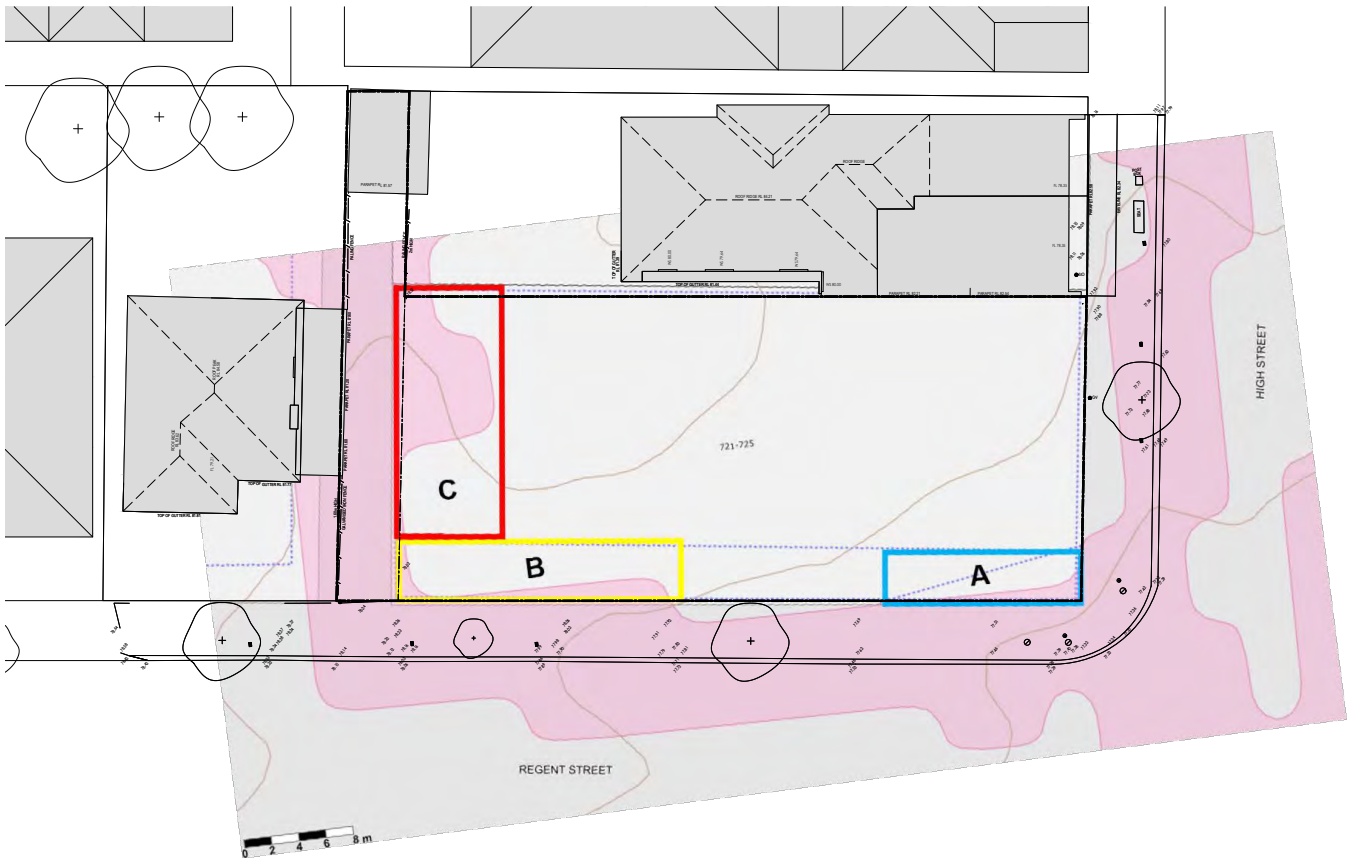
Client	McMillan Property Group
Job No.	0175
Stage	Town Planning Application
Drawn	MM, PS

EXISTING CONDITIONS

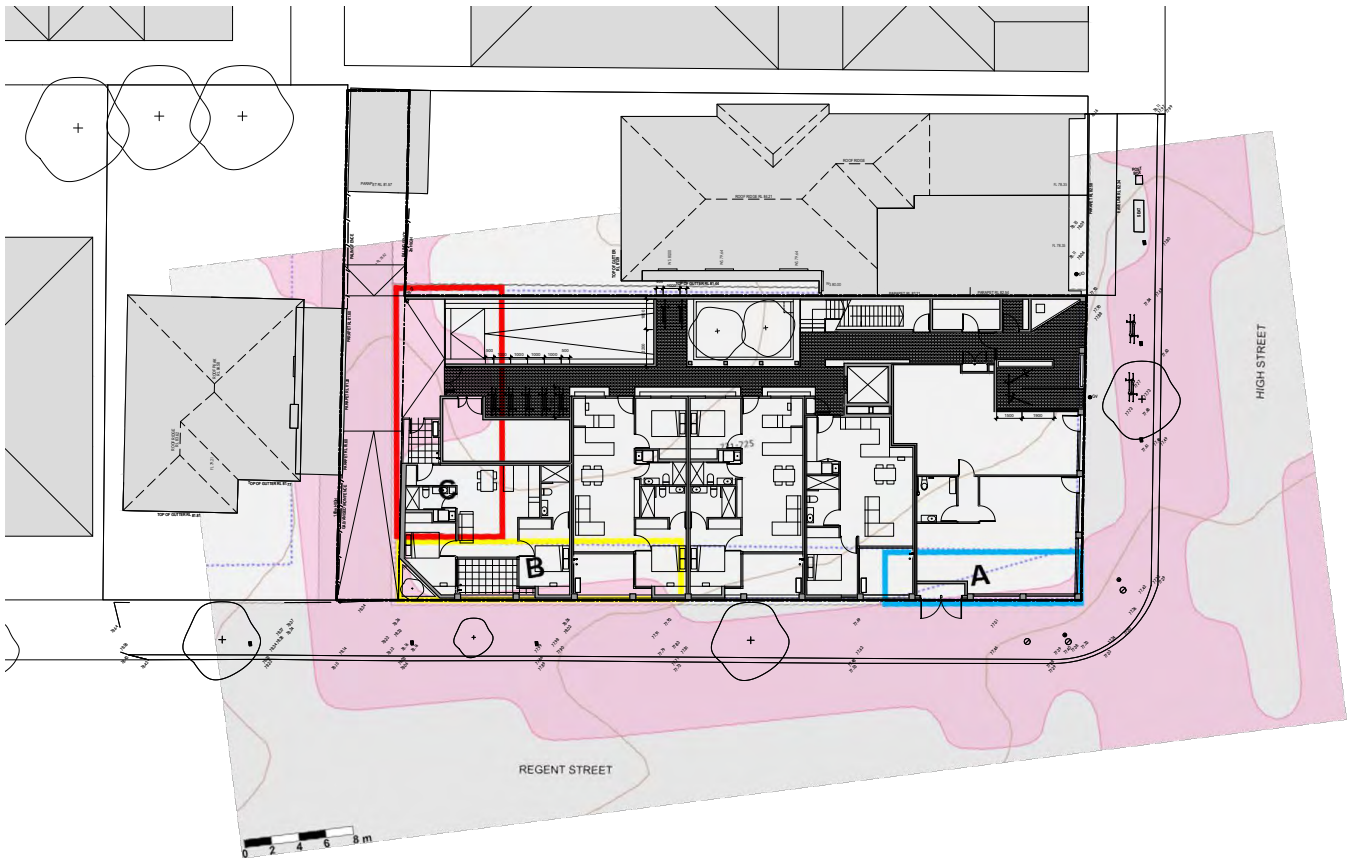
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Issue 1
Date 20.10.2021

A0.02  Darbhanga City Council Received 9/11/2022





EXISTING FLOOD MAP



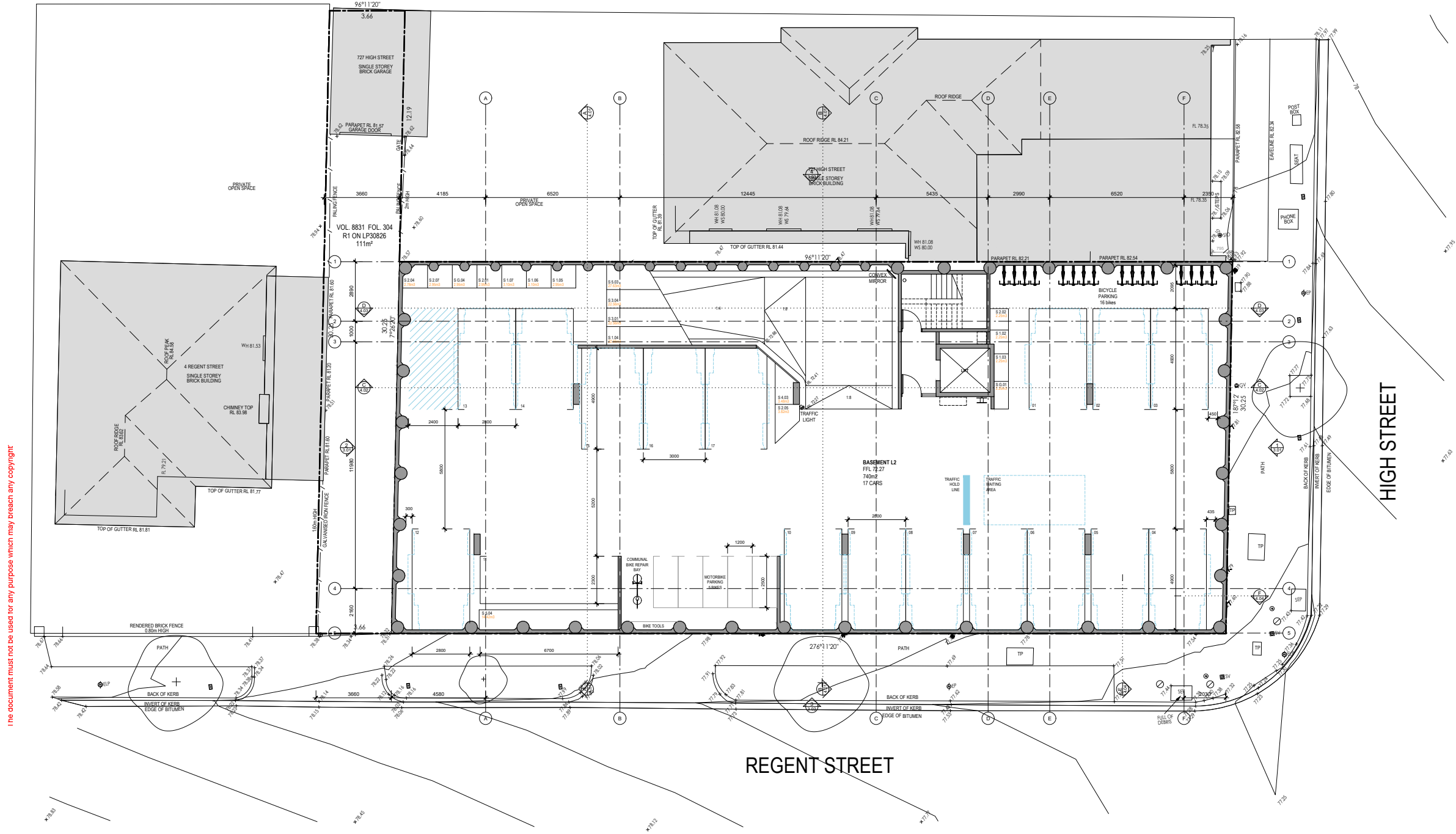
PROPOSED FLOOD MAP

- FLOOD LEVEL LEGEND**
- A SOUTH EAST CORNER (SHOP 2): 77.71 TO AHD
 - B SOUTH WEST CORNER: 78.49 TO AHD
 - C WEST SIDE (RAMP ENTRY): 78.66 TO AHD

1	Planning Permit Application	20.10.2021
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721-725 High St Preston
Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

FLOOD MAP
Scale 1:200 @ A1
Issue 1
Date 20.10.2021

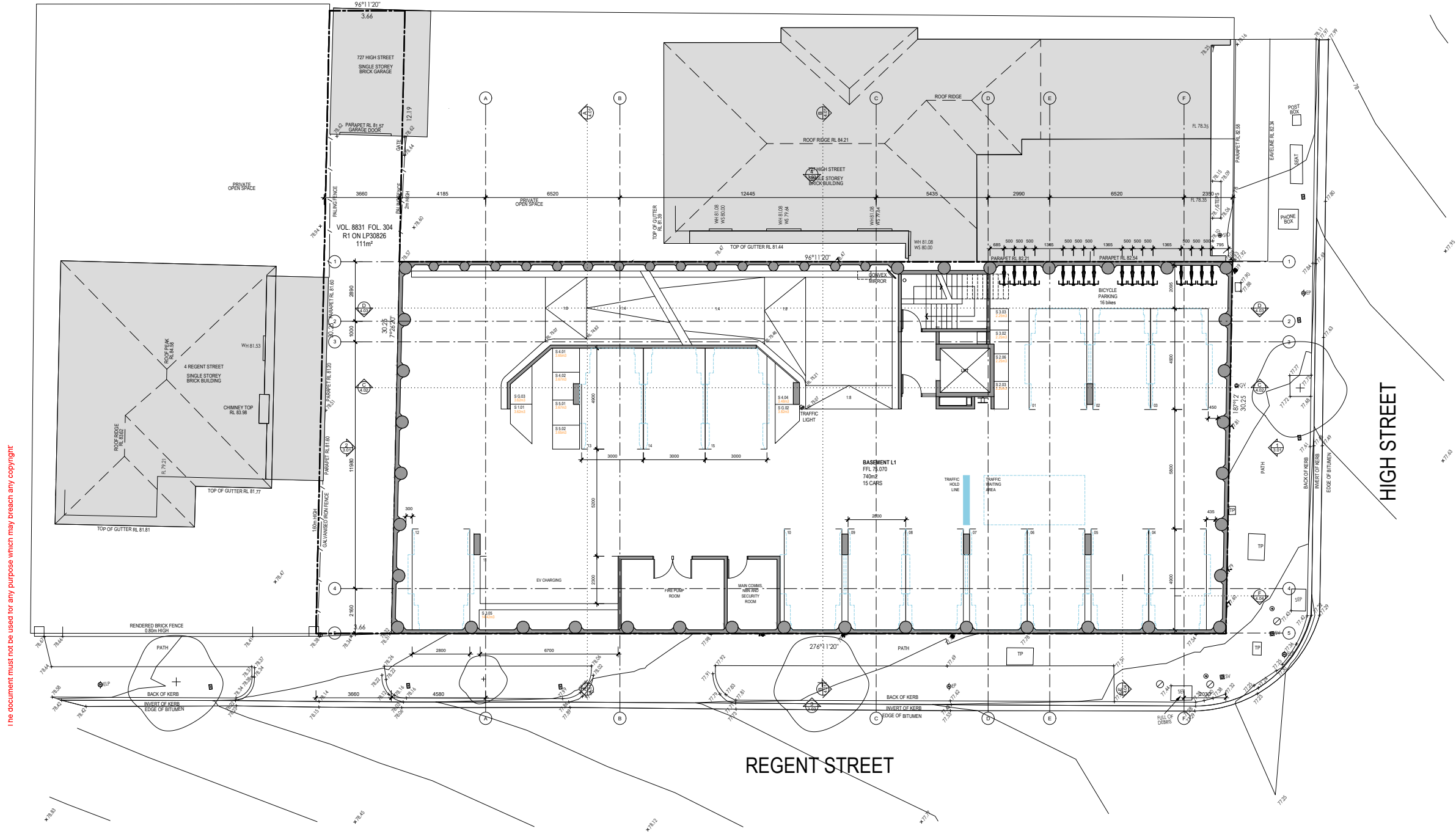


1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston
Client: McMillan Property Group
Job No: 0175
Stage: Town Planning Application
Drawn: MM, PS

BASEMENT LEVEL 2
Scale: 1:100 @ A1
Issue: 1
Date: 20.10.2021

A2.01
City Council Received 9/11/2022



1	Planning Permit Application	20.10.2021
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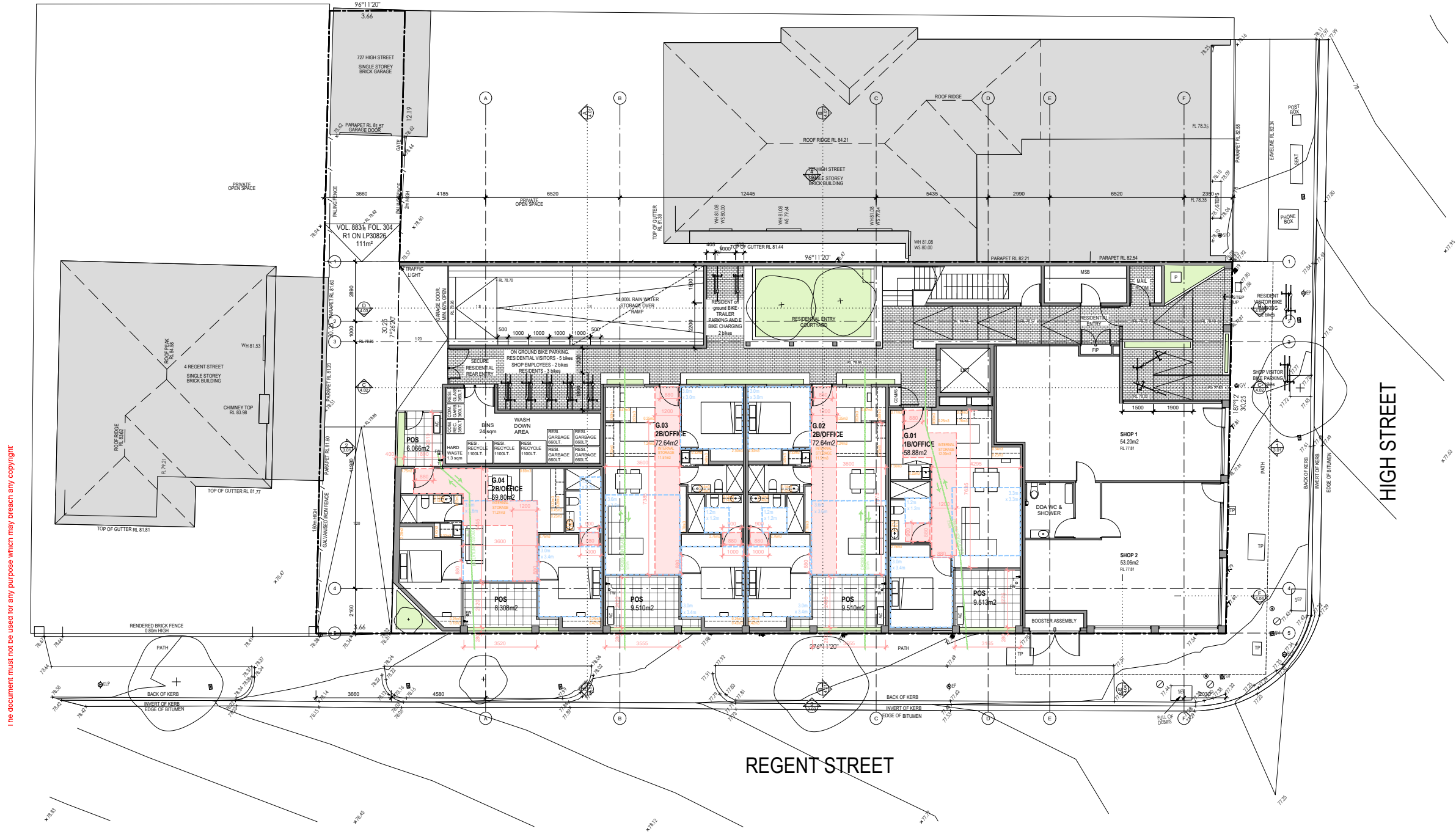
721-725 High St Preston

Client: McMillan Property Group
Job No.: 0175
Stage: Town Planning Application
Drawn: MM, PS

BASEMENT LEVEL 1

Scale: 1:100 @ A1
Issue: 1
Date: 20.10.2021

A2.02
Preston City Council Received 9/11/2022



ACCESSIBILITY NOTES

- ADAPTABLE BATHROOM DESIGN OPTION A:
- DOOR TO ADAPTABLE BATHROOM INCLUDES READILY REMOVABLE HINGES
 - A HOBLESS (STEP-FREE) SHOWER

- ADAPTABLE BATHROOM DESIGN OPTION B:
- DOOR TO ADAPTABLE BATHROOM INCLUDES READILY REMOVABLE HINGES
 - A HOBLESS (STEP-FREE) SHOWER THAT HAS A REMOVABLE SHOWER SCREEN

ROOM DEPTH NOTES

- MINIMUM LIVING AREA CEILING HEIGHT 2.85m.
- MINIMUM BEDROOM CEILING HEIGHT 2.55m.
- MINIMUM BATHROOM CEILING HEIGHT 2.4m.

BIN ROOM NOTES

- THE BIN STORAGE ROOM WILL:
1. BE VERMIN PROOF
 2. HAVE APPROPRIATE VENTILATION
 3. HAVE APPROPRIATE LIGHTING
 4. HAVE APPROPRIATE DRAINAGE

1	Planning Permit Application	20.10.2021
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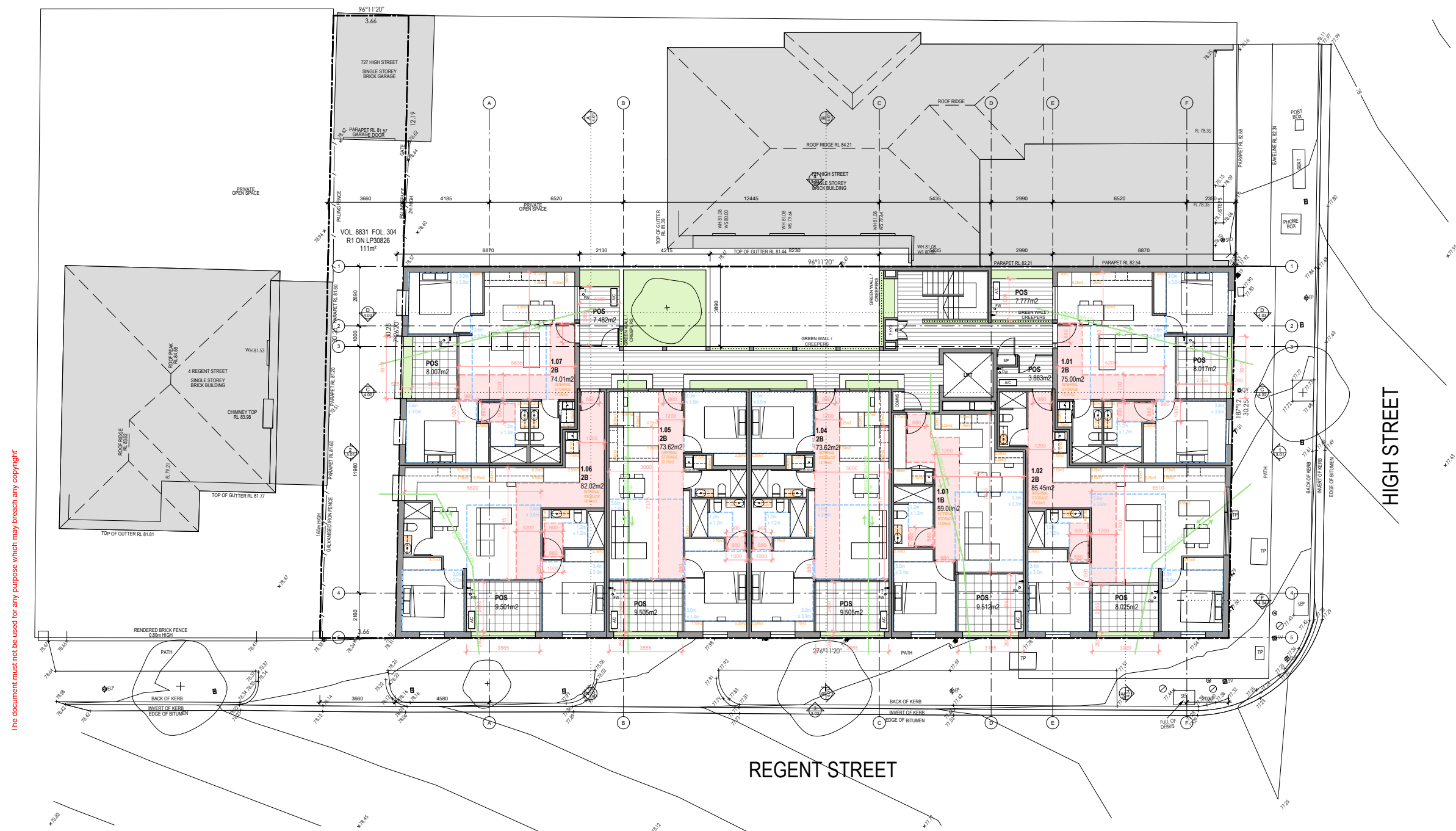
721-725 High St Preston

Client: McMillan Property Group
Job No.: 0175
Stage: Town Planning Application
Drawn: MM, PS

GROUND FLOOR PLAN

Scale: 1:100 @ A1
Issue: 1
Date: 20.10.2021

A2.03 Preston City Council Received 9/11/2023



ACCESSIBILITY NOTES

ADAPTABLE BATHROOM DESIGN OPTION A:

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ROOM DEPTH NOTES

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1	Planning Permit Application	20.10.2021
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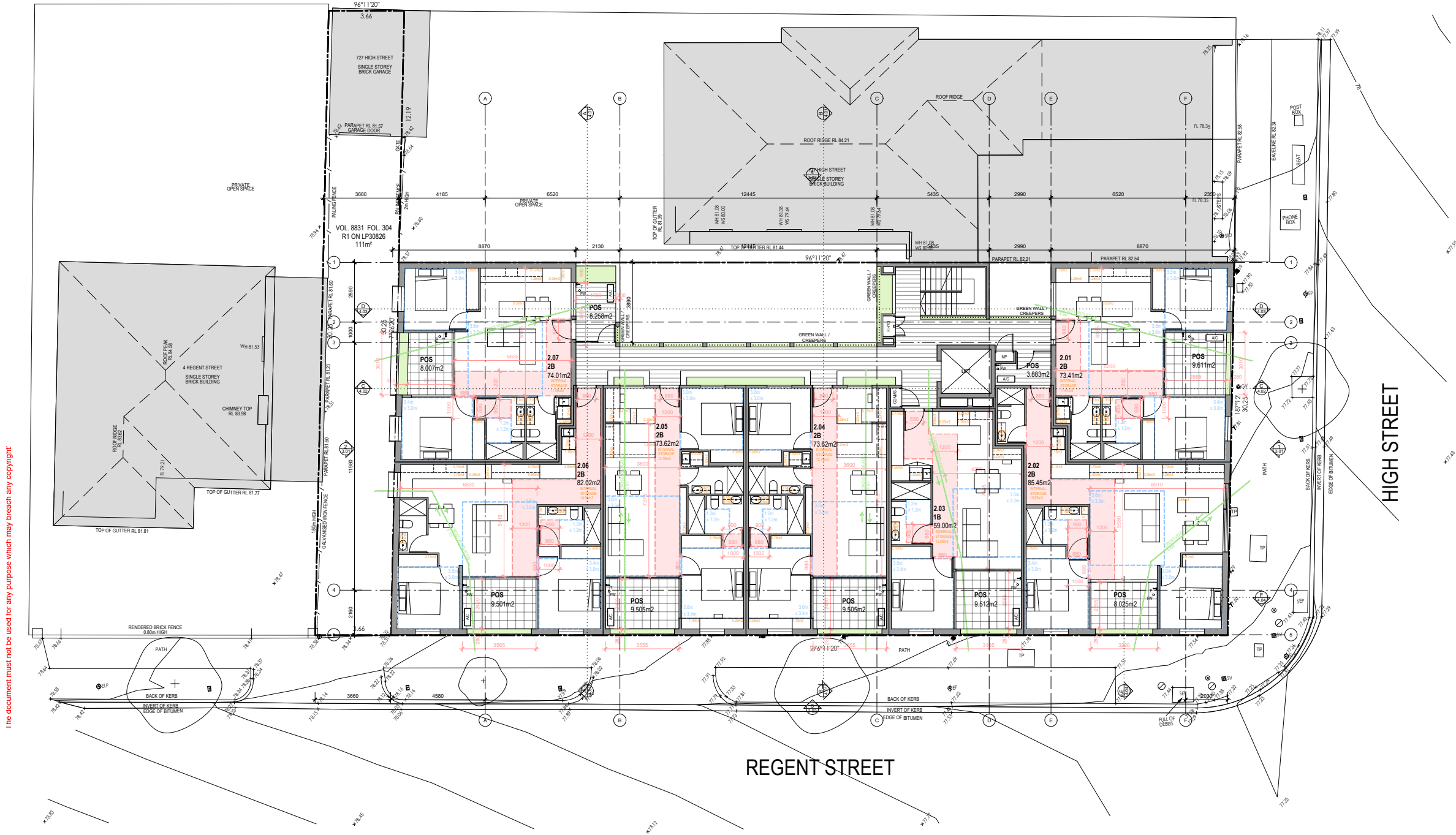
721-725 High St Preston

Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

LEVEL 01 FLOOR PLAN

Scale	1:100 @ A1
Issue	1
Date	20.10.2021

A2.04 



ACCESSIBILITY NOTES

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1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

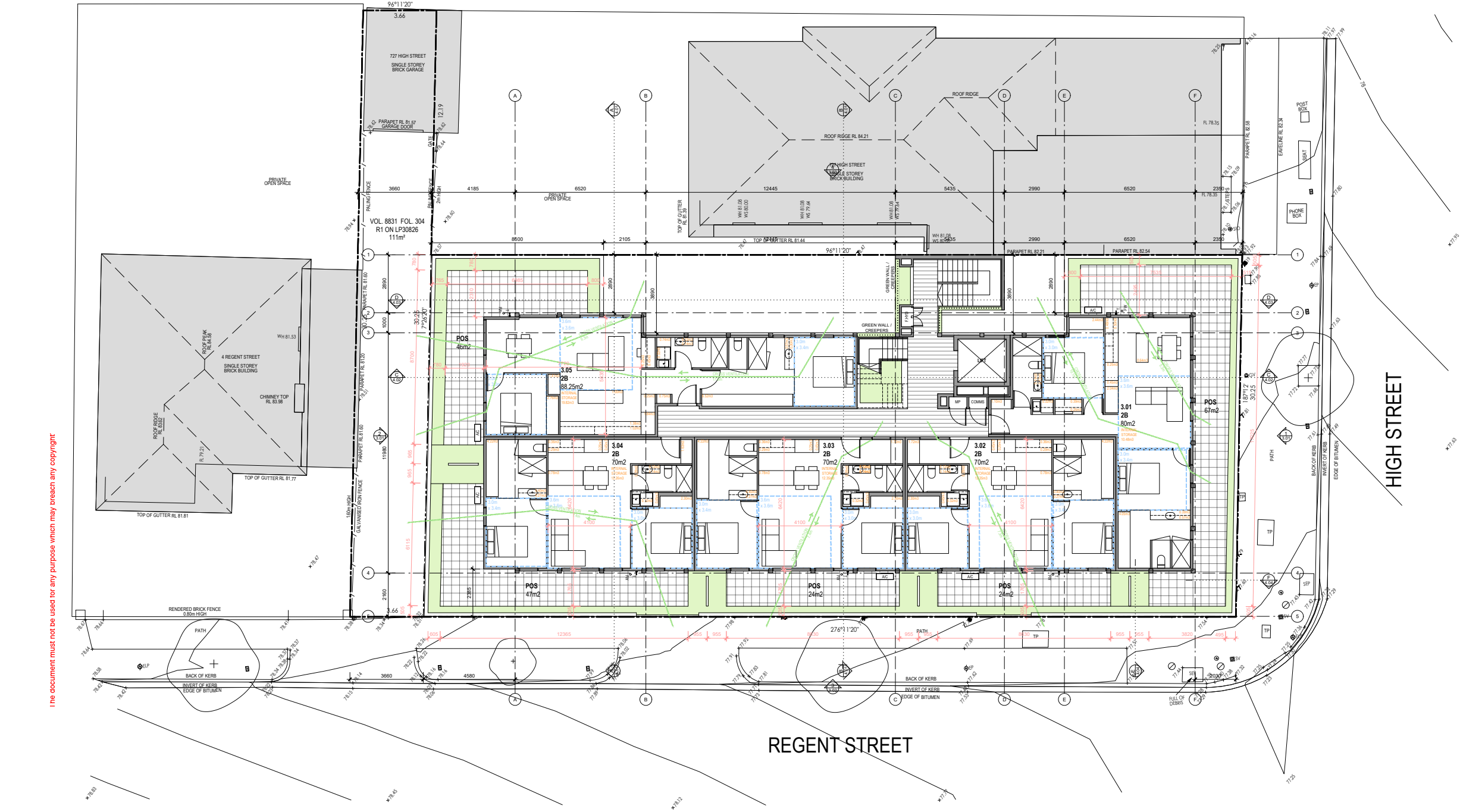
721-725 High St Preston

Client: McMillan Property Group
Job No.: 0175
Stage: Town Planning Application
Drawn: MM, PS

LEVEL 02 FLOOR PLAN

Scale: 1:100 @ A1
Issue: 1
Date: 20.10.2021

A205
Preston City Council Received 9/11/2021



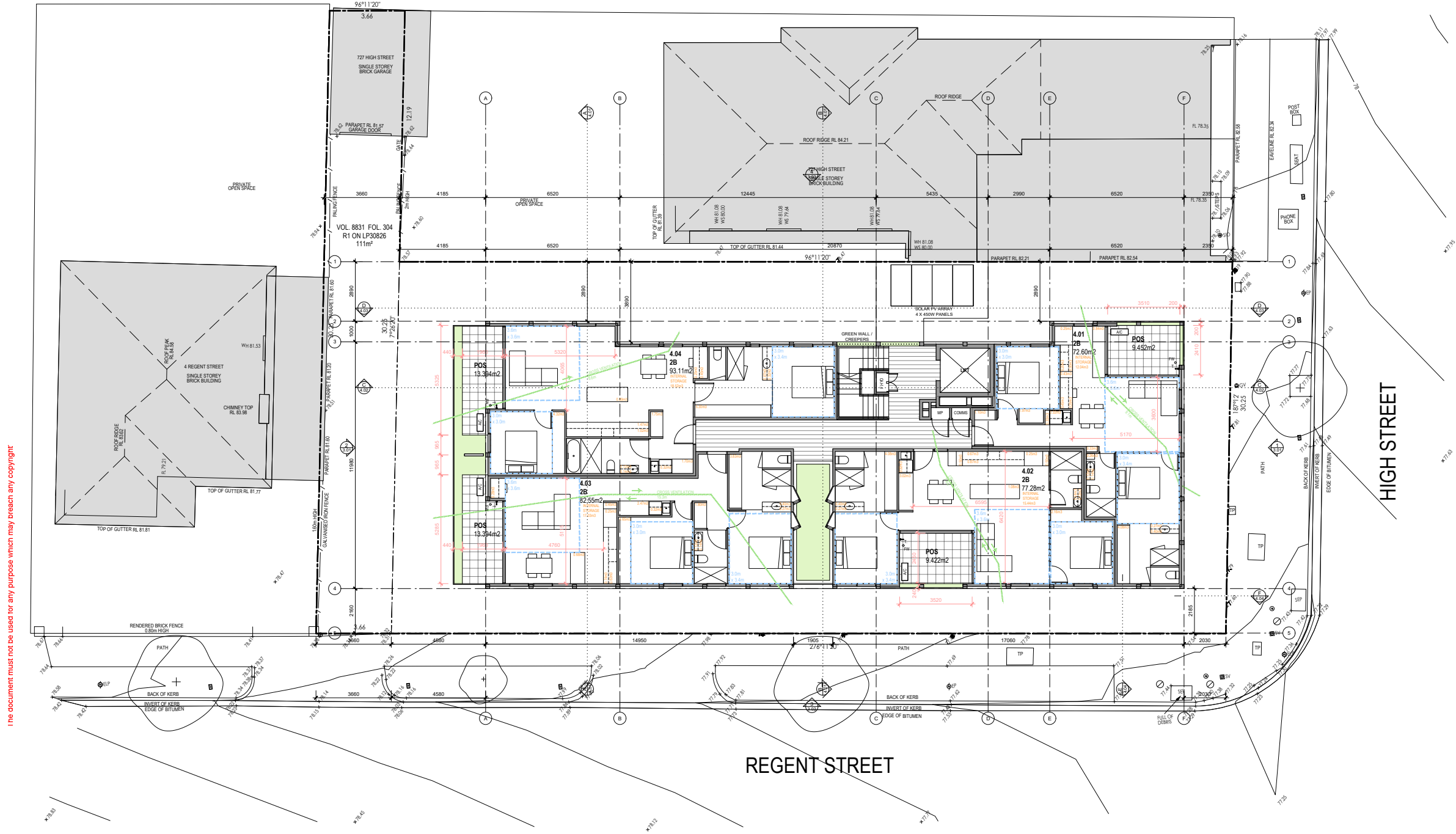
- ROOM DEPTH NOTES
- MINIMUM LIVING AREA CEILING HEIGHT 2.85m.
 - MINIMUM BEDROOM CEILING HEIGHT 2.55m.
 - MINIMUM BATHROOM CEILING HEIGHT 2.4m.

1	Planning Permit Application	20.10.2021
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721-725 High St Preston
Client: McMillan Property Group
Job No: 0175
Stage: Town Planning Application
Drawn: MM, PS

LEVEL 03 FLOOR PLAN
Scale: 1:100 @ A1
Issue: 1
Date: 20.10.2021

A2.06
Planning City Council Received 9/11/2022



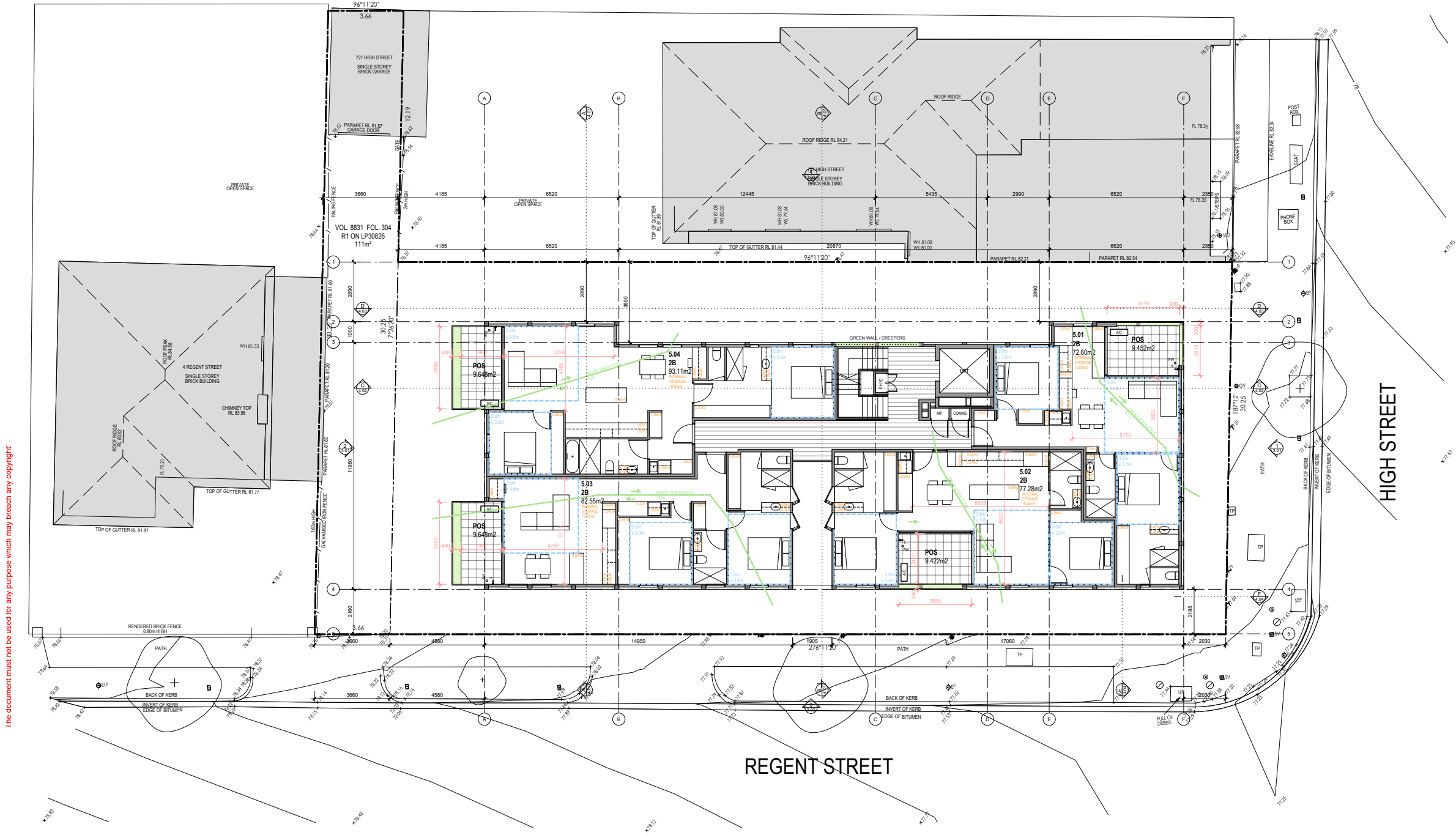
- ROOM DEPTH NOTES
- MINIMUM LIVING AREA CEILING HEIGHT 2.85m.
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1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston
Client: McMillan Property Group
Job No: 0175
Stage: Town Planning Application
Drawn: MM, PS

LEVEL 04 FLOOR PLAN
Scale: 1:100 @ A1
Issue: 1
Date: 20.10.2021

A2.07
Preston City Council Received 9/11/2023



ROOM DEPTH NOTES

- MINIMUM LIVING AREA CEILING HEIGHT 2.85m.
- MINIMUM BEDROOM CEILING HEIGHT 2.55m.
- MINIMUM BATHROOM CEILING HEIGHT 2.4m.

1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

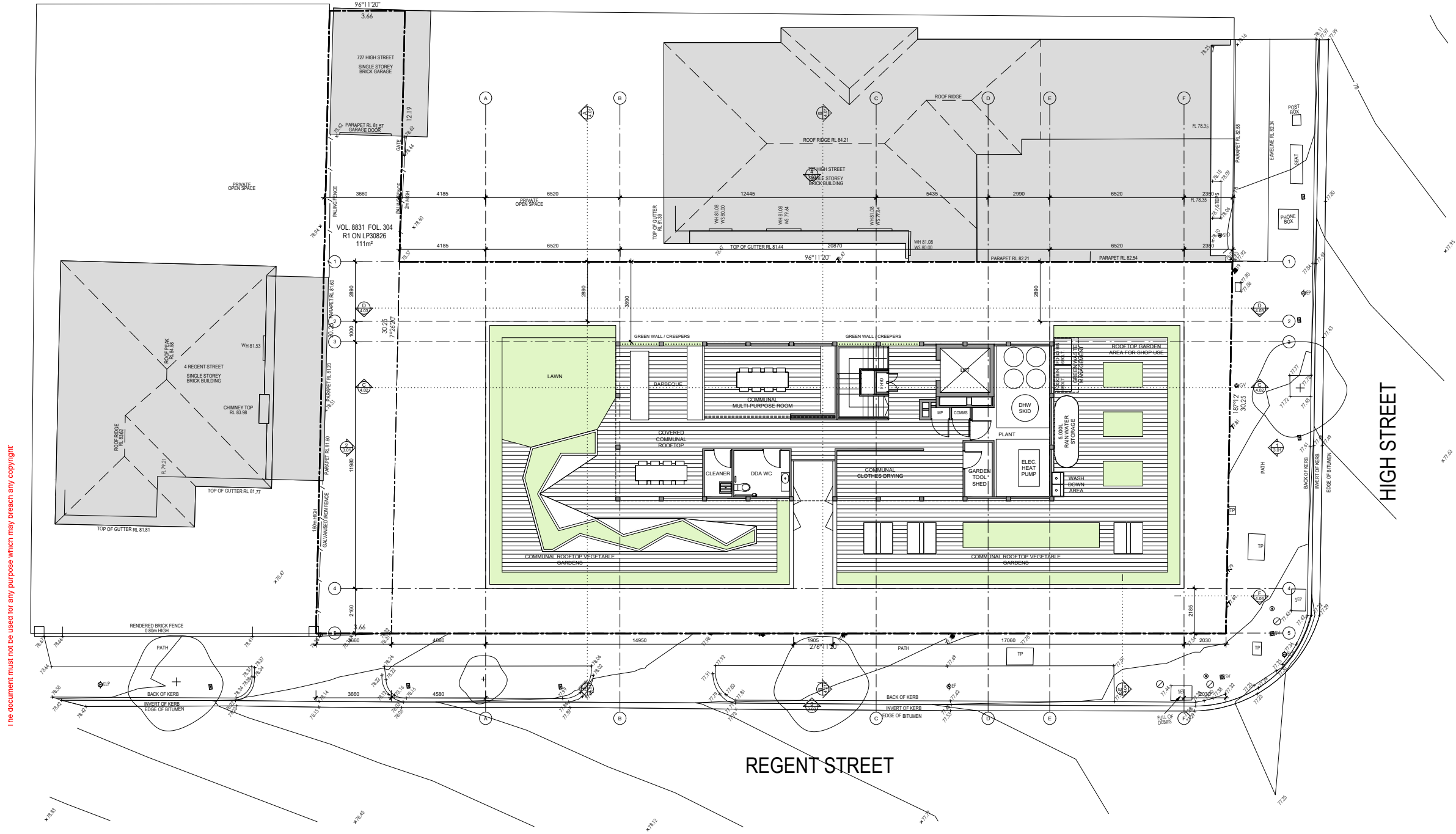
721-725 High St Preston

Client: McMillan Property Group
Job No.: 0175
Stage: Town Planning Application
Drawn: MM, PS

LEVEL 05 FLOOR PLAN

Scale: 1:100 @ A1
Issue: 1
Date: 20.10.2021

A2.08
Preston City Council Received 9/11/2023

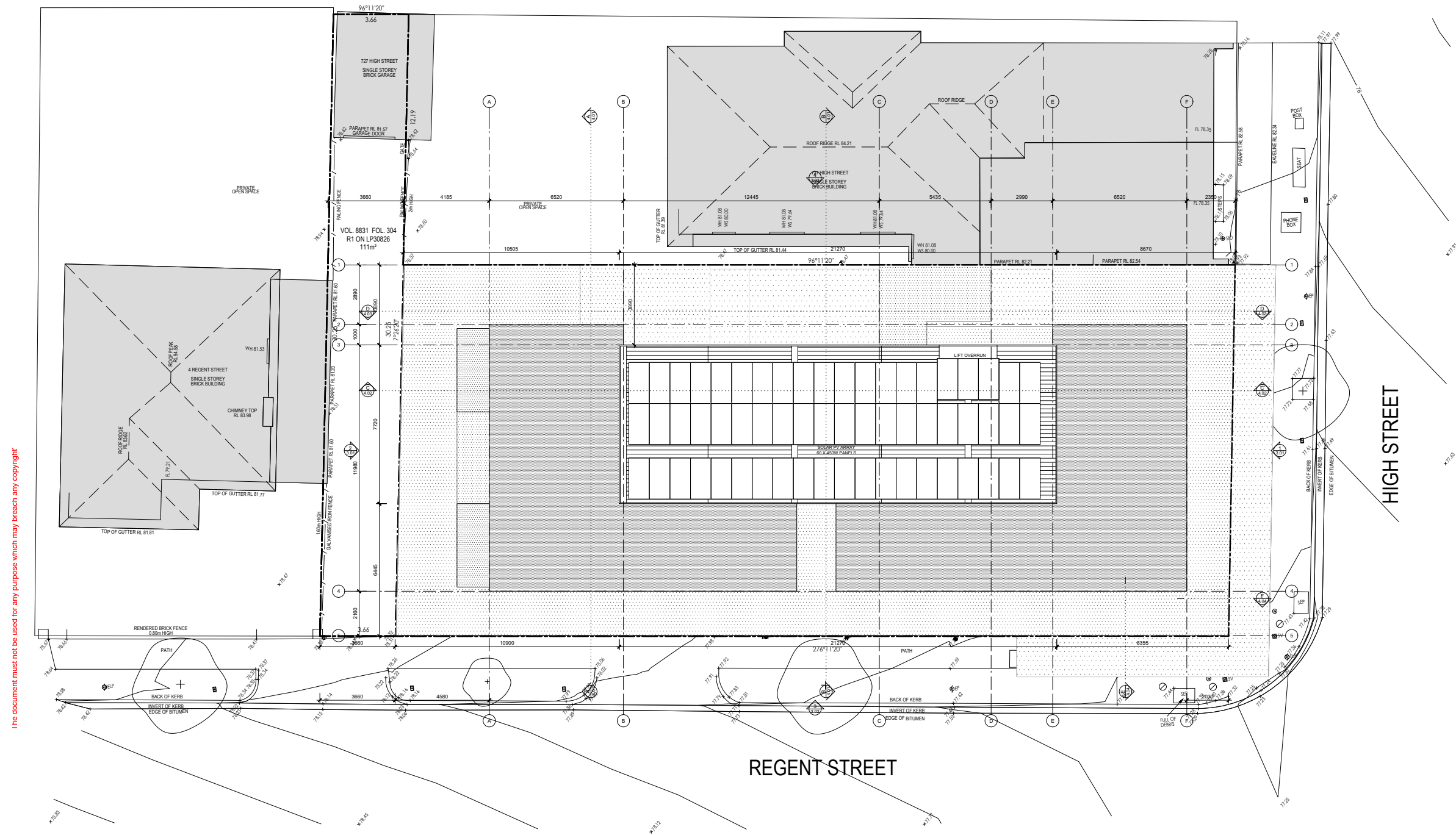


1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston
Client: McMillan Property Group
Job No: 0175
Stage: Town Planning Application
Drawn: MM, PS

ROOF TOP PLAN
Scale: 1:100 @ A1
Issue: 1
Date: 20.10.2021

A2.09
Preston City Council Received 9/11/2022



1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston

Client	McMillan Property Group
Job No.	0175
Stage	Town Planning Application
Drawn	MM, PS

ROOF PLAN

Scale 1:100 @ A1
Issue 1
Date 20.10.2021

A2.10  Darlington City Council Received 9/11/2021

FINISHES

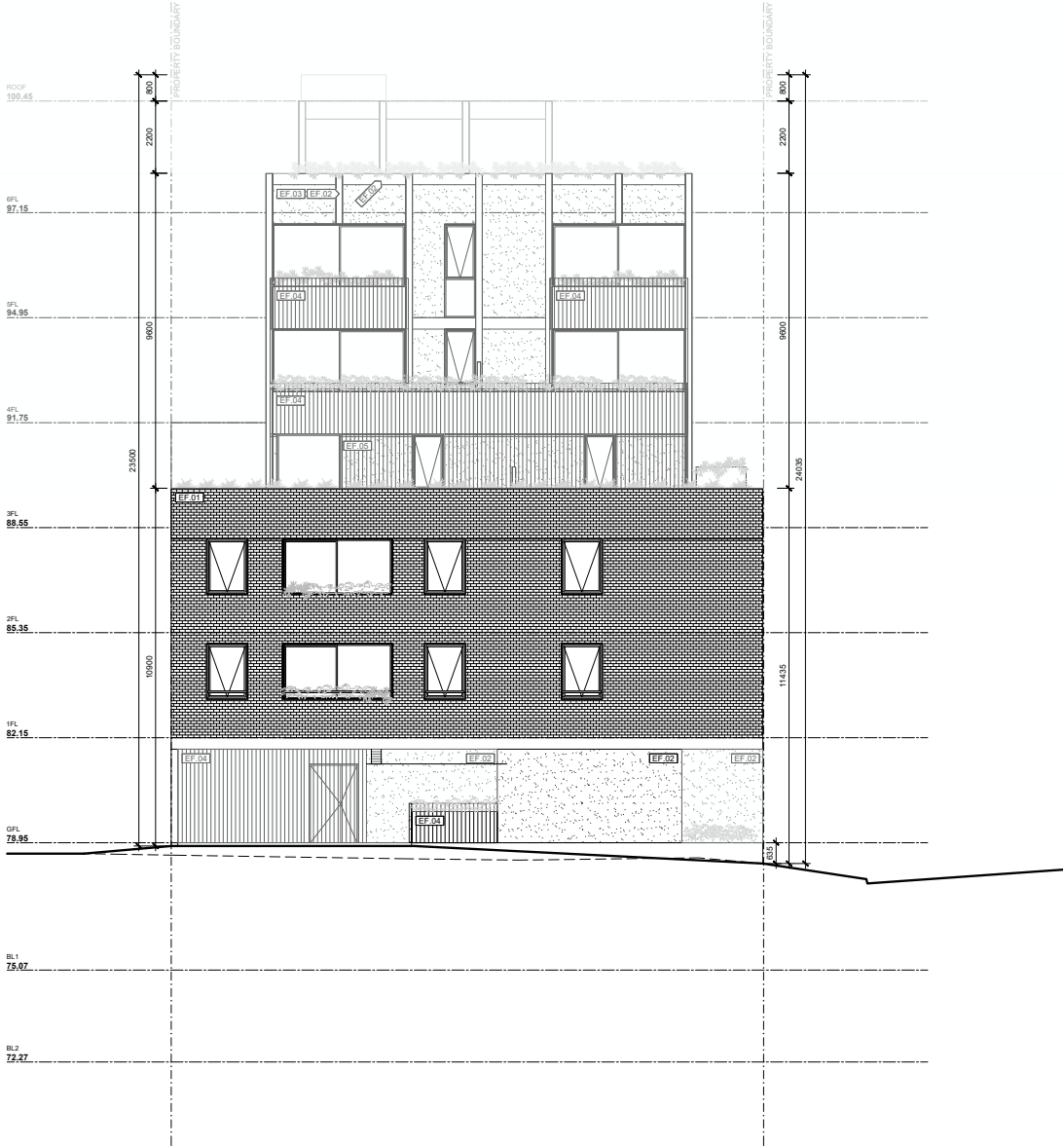
- EF.01 RECYCLED CREAM BRICK FACED PRE-CAST CONCRETE
- EF.02 CONCRETE
- EF.03 CEMENT SHEET BOARD - RAW FINISH
- EF.04 BALUSTRADE - ANODISED ALUMINIUM
- EF.05 ANODISED ALUMINIUM SCREEN OVER CEMENT SHEET BOARD
- EF.06 BROWN BRICK PAVING
- EF.07 VERTICALLY ALIGNED TIMBER CLADDING - CLEAR FINISH
- EF.08 TIMBER DECKING
- EF.09 CONCRETE PAVER
- EF.10 CREEPER CLIMBER SUPPORT

LEGEND - WINDOW OPERATION

- A AWNING WINDOW
- L LOUVRE WINDOW
- C CASEMENT WINDOW
- B BI-FOLD WINDOW
- S SLIDING WINDOW/DOOR



EAST ELEVATION (HIGH STREET)



WEST ELEVATION (REAR LANE)

1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston

- Client McMillan Property Group
- Job No. 0175
- Stage Town Planning Application
- Drawn MM, PS

ELEVATIONS

- Scale 1:100 @ A1
- Issue 1
- Date 20.10.2021

FINISHES

- EF.01 RECYCLED CREAM BRICK FACED PRE-CAST CONCRETE
- EF.02 CONCRETE
- EF.03 CEMENT SHEET BOARD - RAW FINISH
- EF.04 BALUSTRADE - ANODISED ALUMINIUM
- EF.05 ANODISED ALUMINIUM SCREEN OVER CEMENT SHEET BOARD
- EF.06 BROWN BRICK PAVING
- EF.07 VERTICALLY ALIGNED TIMBER CLADDING - CLEAR FINISH
- EF.08 TIMBER DECKING
- EF.09 CONCRETE PAVER
- EF.10 CREEPER CLIMBER SUPPORT

LEGEND - WINDOW OPERATION

- A AWNING WINDOW
- L LOUVRE WINDOW
- C CASEMENT WINDOW
- B BI-FOLD WINDOW
- S SLIDING WINDOW/DOOR



SOUTH ELEVATION (REGENT STREET)

1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston

Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

ELEVATIONS

Scale 1:100 @ A1
Issue 1
Date 20.10.2021

FINISHES

EF.01	RECYCLED CREAM BRICK FACED PRE-CAST CONCRETE
EF.02	CONCRETE
EF.03	CEMENT SHEET BOARD - RAW FINISH
EF.04	BALUSTRADE - ANODISED ALUMINIUM
EF.05	ANODISED ALUMINIUM SCREEN OVER CEMENT SHEET BOARD
EF.06	BROWN BRICK PAVING
EF.07	VERTICALLY ALIGNED TIMBER CLADDING - CLEAR FINISH
EF.08	TIMBER DECKING
EF.09	CONCRETE PAVER
EF.10	CREEPER CLIMBER SUPPORT

LEGEND - WINDOW OPERATION

A	AWNING WINDOW
L	LOUVRE WINDOW
C	CASEMENT WINDOW
B	BI-FOLD WINDOW
S	SLIDING WINDOW/DOOR



NORTH ELEVATION

1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston

Client	McMillan Property Group
Job No.	0175
Stage	Town Planning Application
Drawn	MM, PS

ELEVATIONS

Scale	1:100 @ A1
Issue	1
Date	20.10.2021

- FINISHES
- EF.01

RECYCLED CREAM BRICK FACED PRE-CAST CONCRETE
- EF.02

CONCRETE
- EF.03

CEMENT SHEET BOARD - RAW FINISH
- EF.04

BALUSTRADE - ANODISED ALUMINIUM
- EF.05

ANODISED ALUMINIUM SCREEN OVER CEMENT SHEET BOARD
- EF.06

BROWN BRICK PAVING
- EF.07

VERTICALLY ALIGNED TIMBER CLADDING - CLEAR FINISH
- EF.08

TIMBER DECKING
- EF.09

CONCRETE PAVER
- EF.10

CREEPER CLIMBER SUPPORT
- LEGEND - WINDOW OPERATION
- A

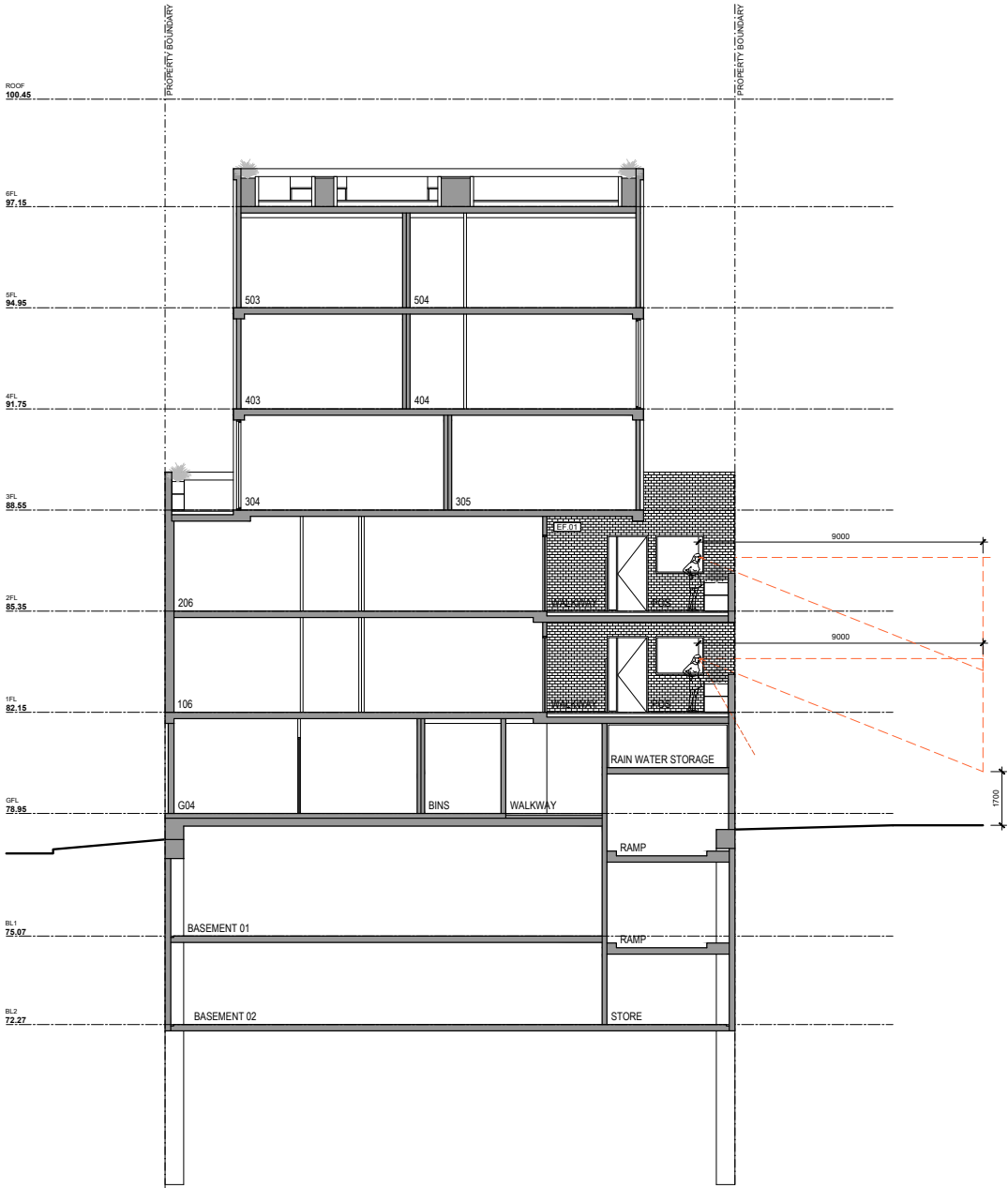
AWNING WINDOW
- L

LOUVRE WINDOW
- C

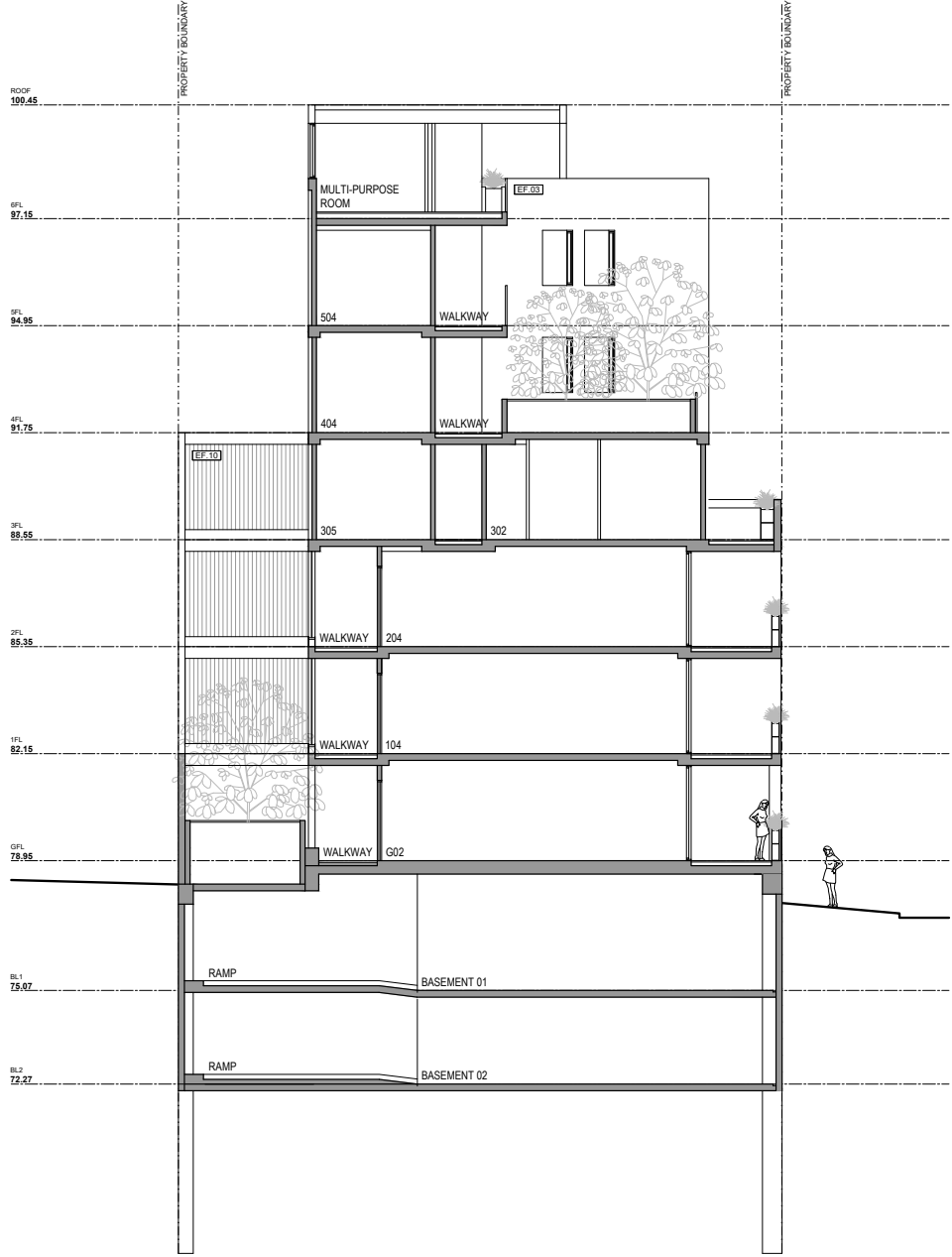
CASEMENT WINDOW
- B

BI-FOLD WINDOW
- S

SLIDING WINDOW/DOOR



SECTION AA



SECTION BB

1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

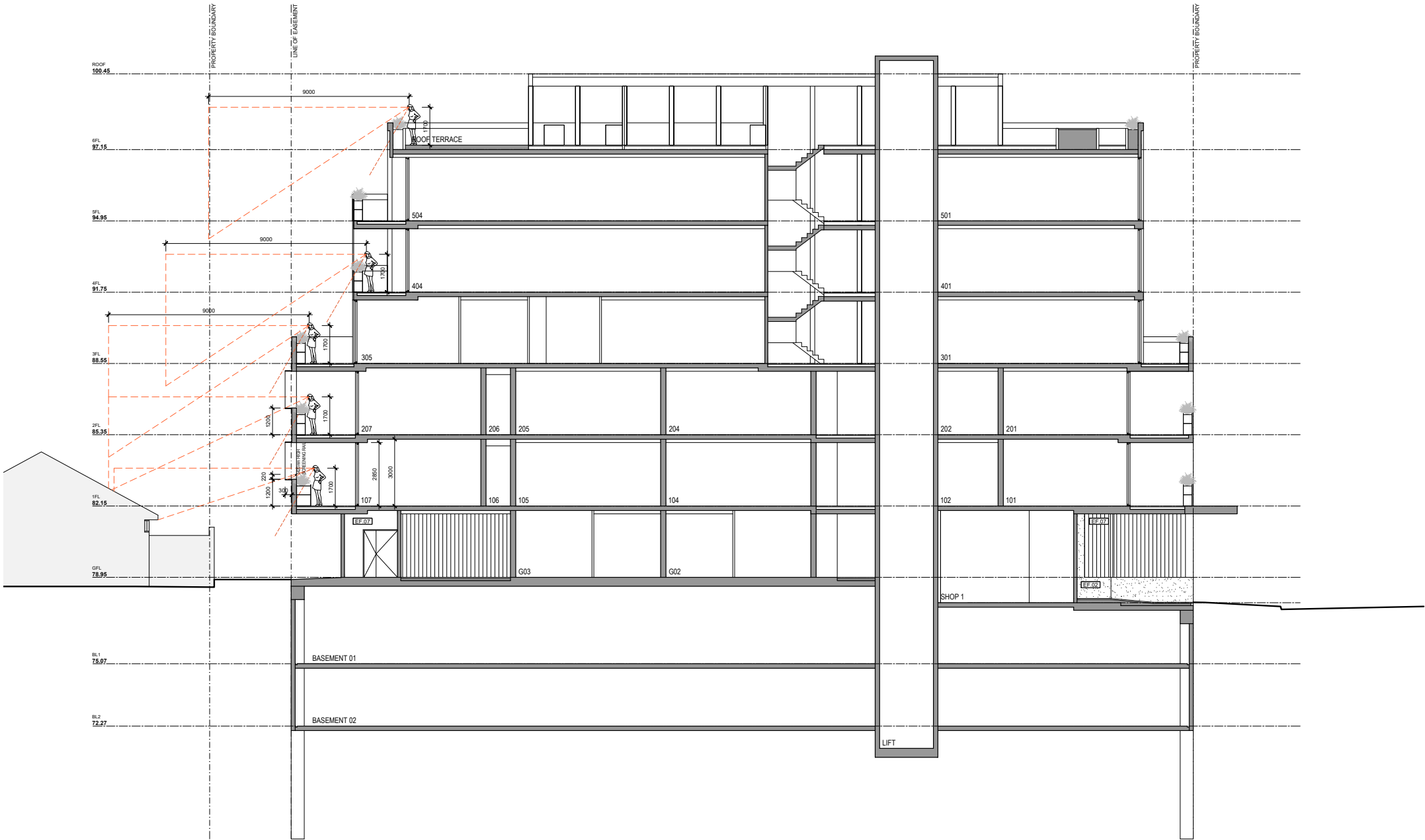
721-725 High St Preston

Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

SECTIONS

Scale 1:100 @ A1
Issue 1
Date 20.10.2021

- FINISHES**
- EF.01 RECYCLED CREAM BRICK FACED PRE-CAST CONCRETE
 - EF.02 CONCRETE
 - EF.03 CEMENT SHEET BOARD - RAW FINISH
 - EF.04 BALUSTRADE - ANODISED ALUMINIUM
 - EF.05 ANODISED ALUMINIUM SCREEN OVER CEMENT SHEET BOARD
 - EF.06 BROWN BRICK PAVING
 - EF.07 VERTICALLY ALIGNED TIMBER CLADDING - CLEAR FINISH
 - EF.08 TIMBER DECKING
 - EF.09 CONCRETE PAVER
 - EF.10 CREEPER CLIMBER SUPPORT
- LEGEND - WINDOW OPERATION**
- A AWNING WINDOW
 - L LOUVRE WINDOW
 - C CASEMENT WINDOW
 - B BI-FOLD WINDOW
 - S SLIDING WINDOW/DOOR



SECTIONCC

1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston

Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

SECTIONS

Scale 1:100 @ A1
Issue 1
Date 20.10.2021

FINISHES

EF.01	RECYCLED CREAM BRICK FACED PRE-CAST CONCRETE
EF.02	CONCRETE
EF.03	CEMENT SHEET BOARD - RAW FINISH
EF.04	BALUSTRADE - ANODISED ALUMINIUM
EF.05	ANODISED ALUMINIUM SCREEN OVER CEMENT SHEET BOARD
EF.06	BROWN BRICK PAVING
EF.07	VERTICALLY ALIGNED TIMBER CLADDING - CLEAR FINISH
EF.08	TIMBER DECKING
EF.09	CONCRETE PAVER
EF.10	CREEPER CLIMBER SUPPORT

LEGEND - WINDOW OPERATION

A	AWNING WINDOW
L	LOUVRE WINDOW
C	CASEMENT WINDOW
B	BI-FOLD WINDOW
S	SLIDING WINDOW/DOOR



SECTION DD

1	Planning Permit Application	20.10.20
ISSUE	AMENDMENTS	DATE

721-725 High St Preston

Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

SECTIONS

Scale 1:100 @ A1
Issue 1
Date 20.10.2021

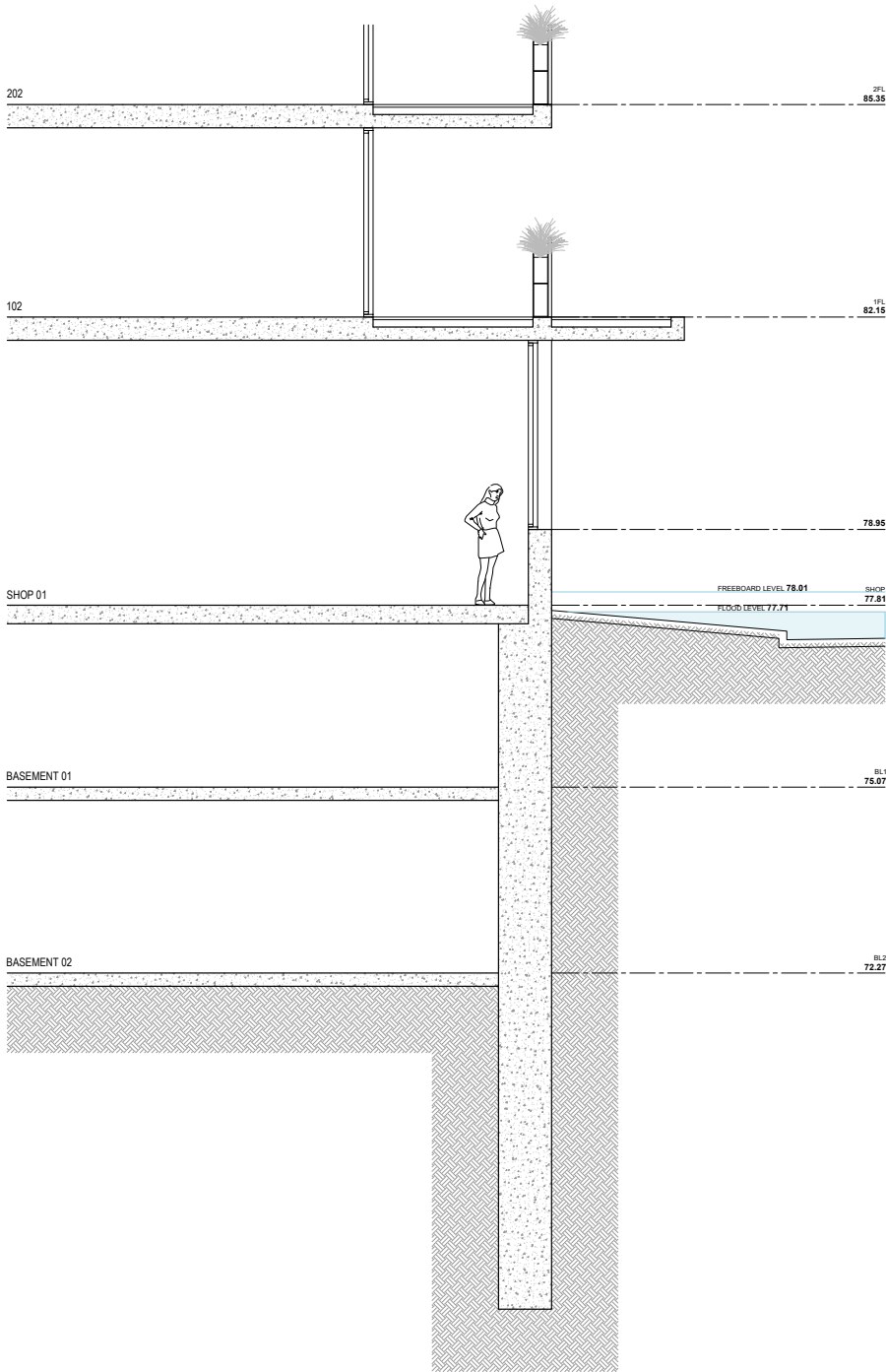
A4.03

FINISHES

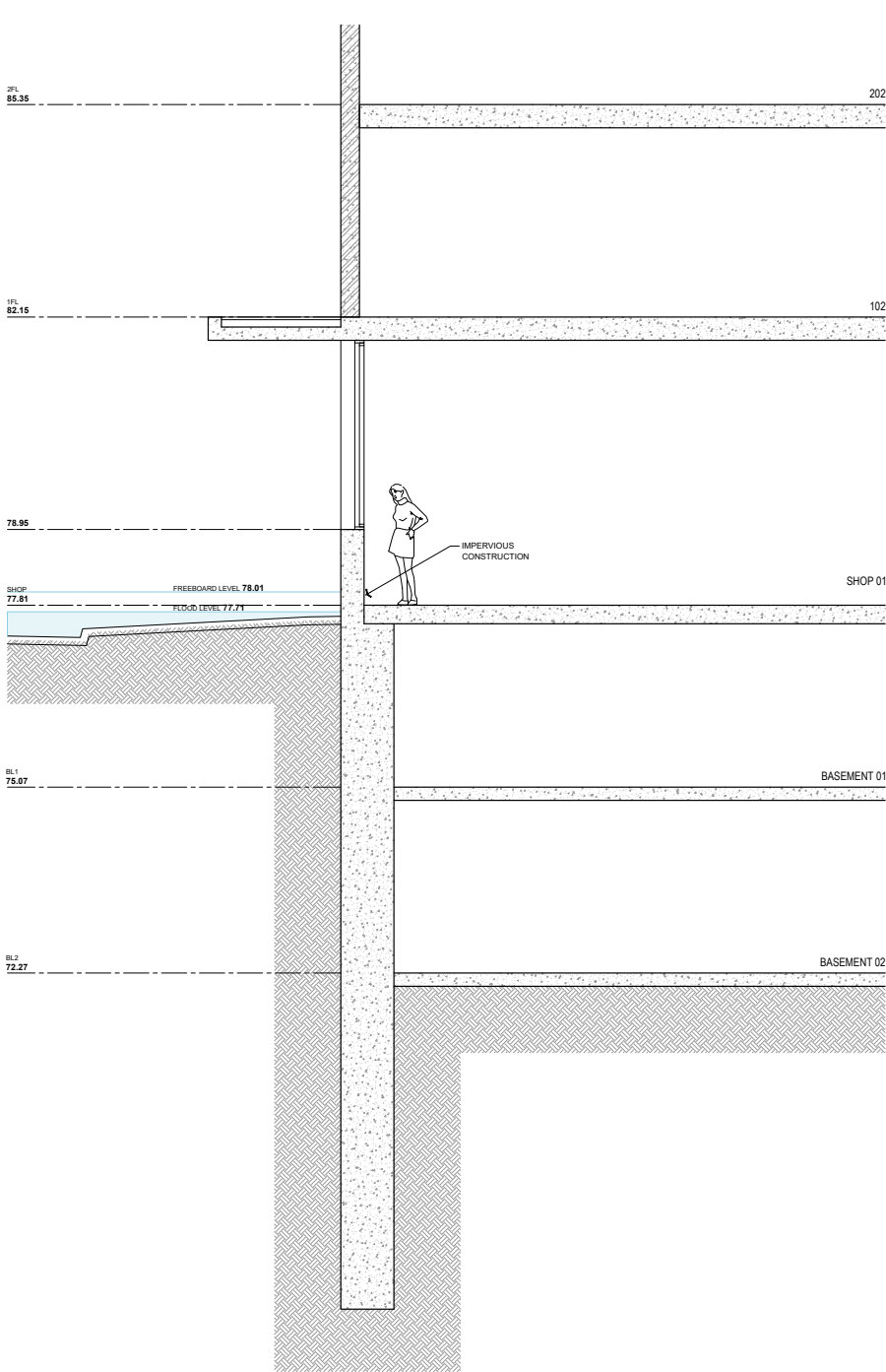
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- EF.02 CONCRETE
- EF.03 CEMENT SHEET BOARD - RAW FINISH
- EF.04 BALUSTRADE - ANODISED ALUMINIUM
- EF.05 ANODISED ALUMINIUM SCREEN OVER CEMENT SHEET BOARD
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- EF.10 CREEPER CLIMBER SUPPORT

LEGEND - WINDOW OPERATION

- A AWNING WINDOW
- L LOUVRE WINDOW
- C CASEMENT WINDOW
- B BI-FOLD WINDOW
- S SLIDING WINDOW/DOOR



SECTION E



SECTION F

1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston

Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

SECTIONS

Scale 1:50 @ A1
Issue 1
Date 20.10.2021

A404
Preston City Council Received 9/11/2021

721-725 High Street Preston

Proposed Residential Development
Job Number: 0175
Client: McMillan Property Group

Stage: Town Planning Application
Date: 07.02.2022
Issue: 2

OLA
Ola Architecture Studio
607/1 Princess Street
Kew Victoria 3101
03 9942 0812 | olastudio.com.au

DEVELOPMENT SUMMARY

APT	TYPE	GFA (m ²)	POS (m ²)	INTERNAL STORAGE (m ³)	TOTAL STORAGE (m ³)	ACCESSIBLE	ADAPTABLE BATHROOM OPTION (A or B)
GROUND LEVEL							
G.01	1B/OFFICE	58.88	9.513	12.11	14.36	YES	A
G.02	2B/OFFICE	72.64	9.510	10.96	14.78	YES	B
G.03	2B/OFFICE	72.64	9.510	10.96	14.58	YES	B
G.04	2B/OFFICE	69.19	9.648	8.09	11.04		
LEVEL 01							
1.01	2B	75.00	15.794	11.55	15.17	YES	A
1.02	2B	85.45	11.909	18.00	20.25	YES	A
1.03	1B	59.00	9.512	12.11	14.36	YES	A
1.04	2B	73.62	9.505	11.66	34.22	YES	B
1.05	2B	73.62	9.505	11.66	14.61	YES	B
1.06	2B	82.02	9.501	15.26	18.36	YES	A
1.07	2B	74.01	15.489	11.15	14.25	YES	A
LEVEL 02							
2.01	2B	73.41	9.611	11.55	14.50	YES	A
2.02	2B	85.45	11.909	18.00	20.25	YES	A
2.03	1B	59.00	9.512	12.09	14.34	YES	A
2.04	2B	73.62	9.505	12.76	15.54	YES	B
2.05	2B	73.62	9.505	12.76	16.58	YES	B
2.06	2B	82.02	9.501	15.26	17.51		
2.07	2B	74.01	16.265	11.15	14.10	YES	A
LEVEL 03							
3.01	2B	80.45	67.410	10.48	45.12		
3.02	2B	70.17	23.916	12.35	14.60		
3.03	2B	70.17	23.916	12.35	14.60		
3.04	2B	70.11	47.266	12.26	34.82		
3.05	2B	88.25	46.073	19.82	34.24		
LEVEL 04							
4.01	2B	72.60	9.452	12.04	15.71		
4.02	2B	7.287	9.422	15.44	19.11		
4.03	2B	82.55	13.394	17.03	20.51		
4.04	2B	93.11	13.394	18.52	22.00		
LEVEL 05							
5.01	2B	72.60	9.452	12.04	15.71		
5.02	2B	77.28	9.422	15.44	19.09		
5.03	2B	82.55	9.648	17.03	44.66		
5.04	2B	93.11	9.648	18.52	32.94		
TOTAL NSA		2348.04	492.344				

COMMERCIAL

SHOP 1	54.20
SHOP 2	53.06
TOTAL	107.26

COMMON

BASEMENT (L1 & L2)	1461.78
LOBBY	99.15
WALKWAY	194.31
LIFT	64.53
STAIRS	100.26
SERVICES	96.74
MAIL ROOM	3.65
CLEANER	3.44
GARDEN	107.66
SHARED OPEN SPACE	235.77
SHOP OPEN SPACE	10.19
MULTI-PURPOSE ROOM	24.71
COVERED BBQ	32.53
SHARED DDA WC	6.96
CLOTHES DRYING	10.41
GARDEN SHED	4.26
GREEN WASTE	3.47
WASTE MANAGEMENT	24.67
BIKE REPAIR	6.29
ROOF	181.79

UNIT SUMMARY

TYPE	No.	
1B	2	(6%)
1B/OFFICE	1	(3%)
2B	25	(81%)
2B/OFFICE	3	(10%)
TOTAL	31	
ACCESSIBLE UNITS	16	(52%)

AMENITY

CAR SPACES	32
EV charging car space	1
EV ready car spaces	31

MOTORBIKE PARKING

motorbike spaces	5
------------------	---

BIKE PARKING

on ground - shop visitor	2
on ground - shop employee	2
on ground - resident visitor	7
on ground - resident	5 (including 2 with trailers)
wall hung - resident	32
total - resident bikes	37
on ground - EB charging	2
bike repair bay	1

ACCESSIBILITY NOTES

- ADAPTABLE BATHROOM DESIGN OPTION A:
- DOOR TO ADAPTABLE BATHROOM INCLUDES READILY REMOVABLE HINGES
 - A HOBLESS (STEP-FREE) SHOWER
- ADAPTABLE BATHROOM DESIGN OPTION B:
- DOOR TO ADAPTABLE BATHROOM INCLUDES READILY REMOVABLE HINGES
 - A HOBLESS (STEP-FREE) SHOWER THAT HAS A REMOVABLE SHOWER SCREEN

2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

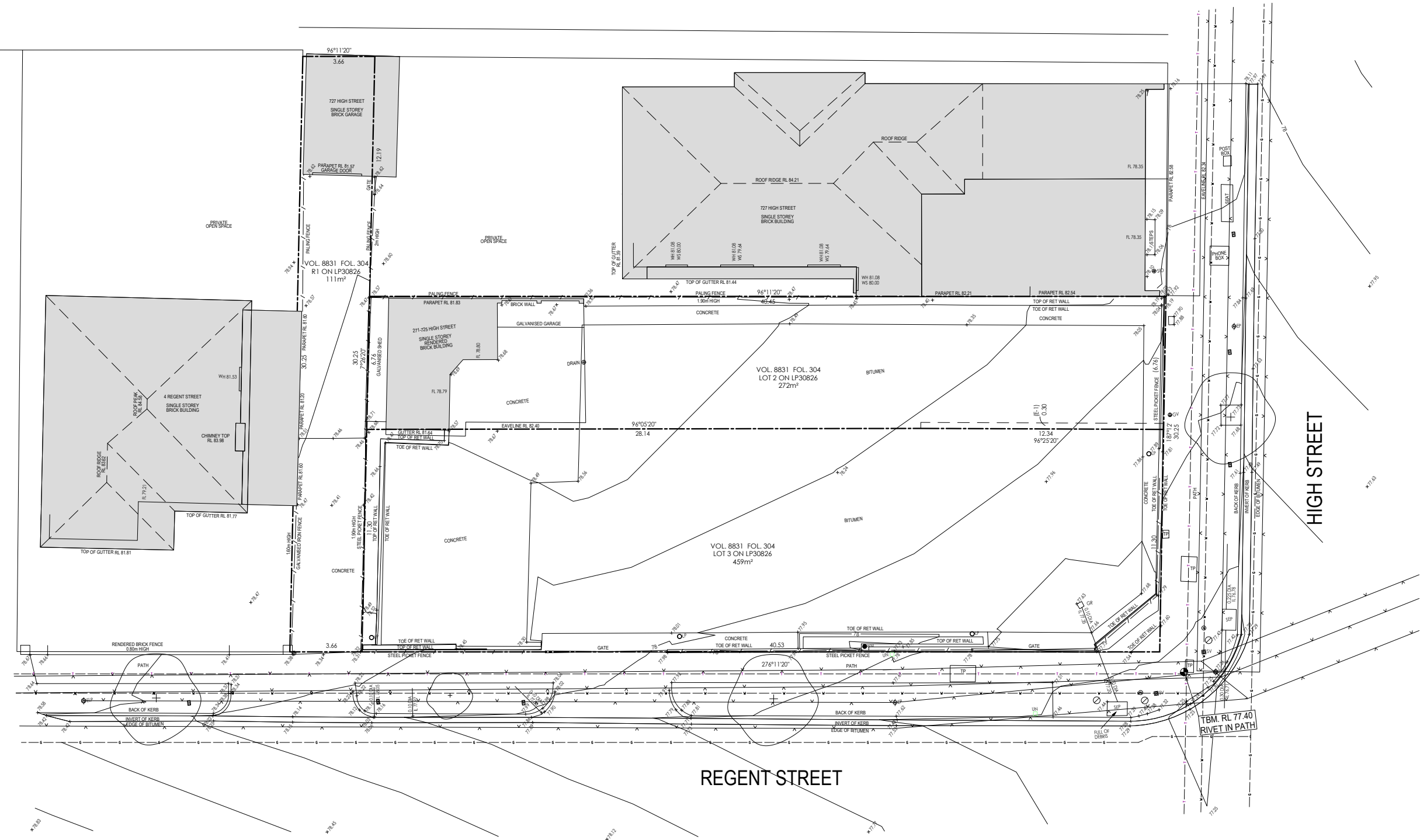
721-725 High St Preston

Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

SITE SURVEY

Scale 1:100 @ A1
Issue 2
Date 07.02.2022

A0.00
D:\p175\City Council Received 07/02/2022

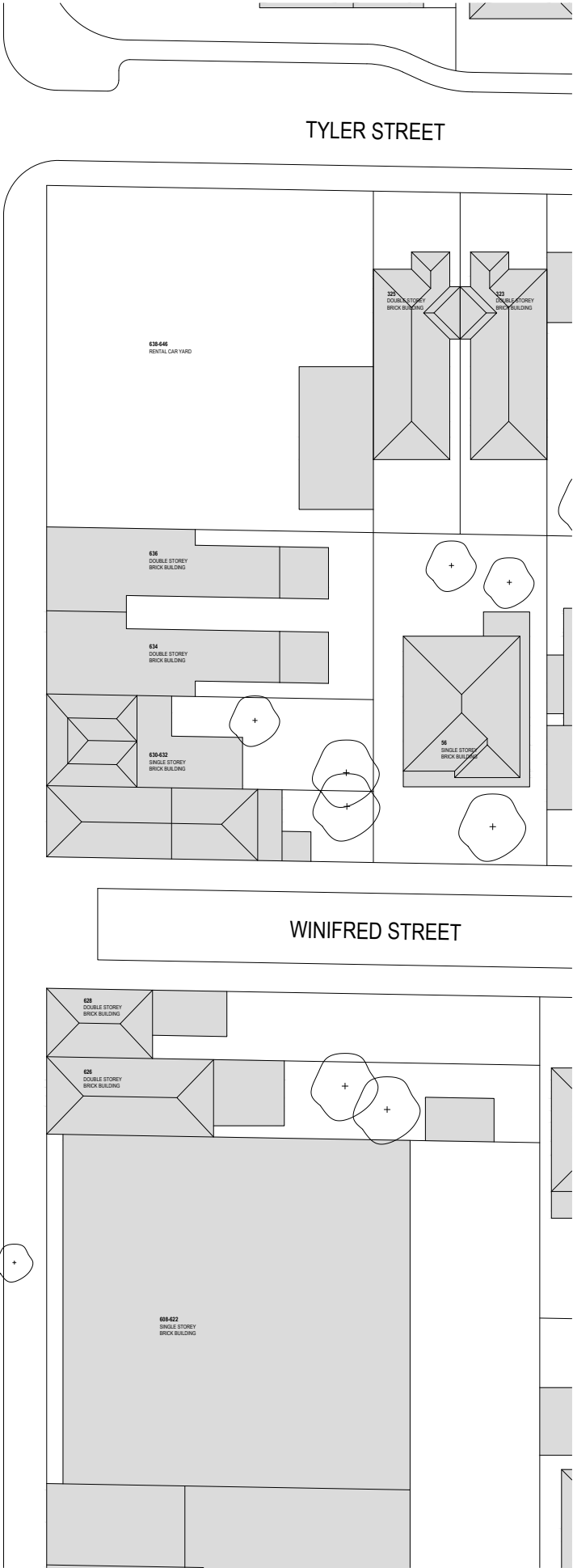
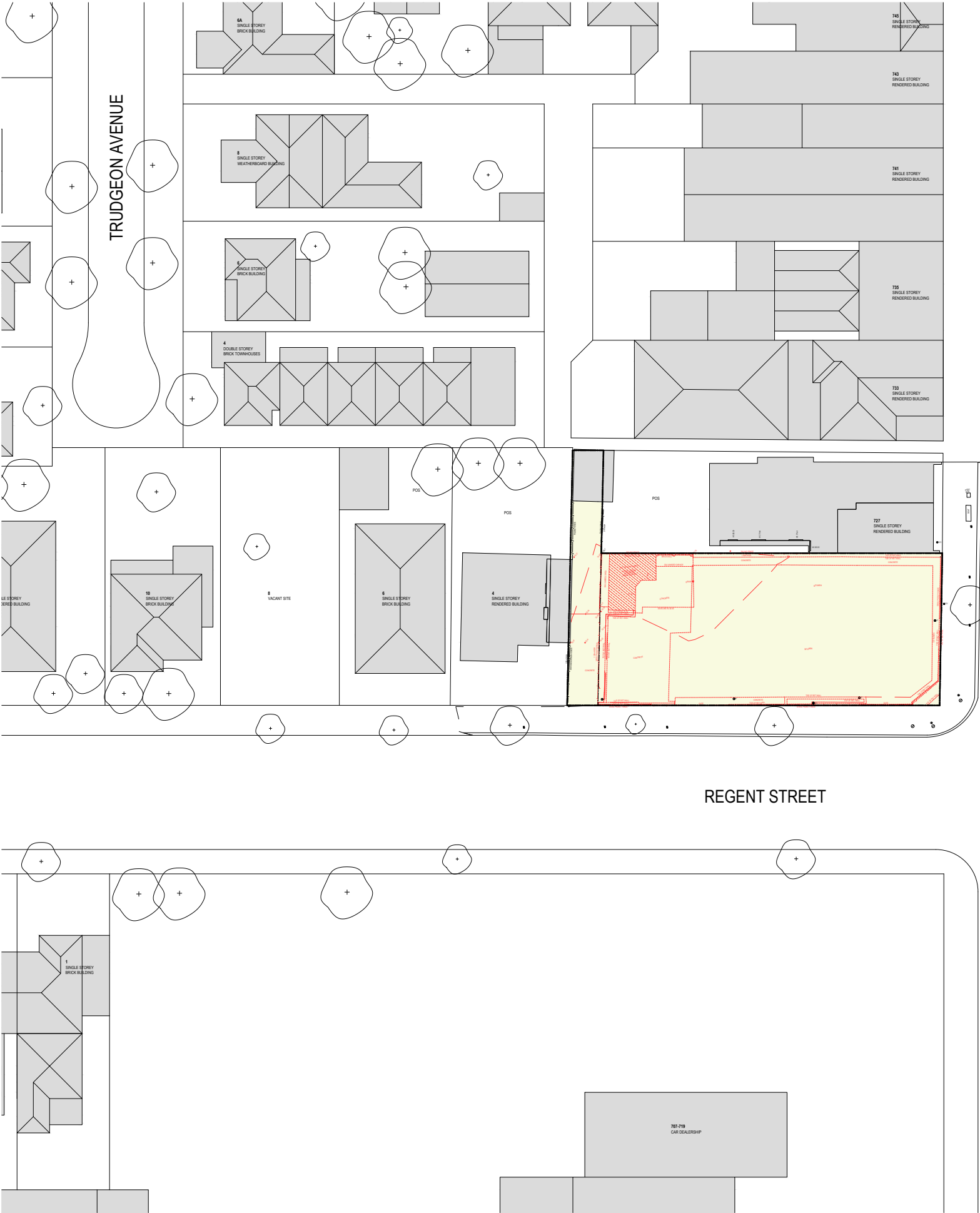


2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston
Client: McMillan Property Group
Job No: 0175
Stage: Town Planning Application
Drawn: MM, PS

SITE SURVEY
Scale: 1:100 @ A1
Issue: 2
Date: 07.02.2022

A0.01 Accepted by City Council Received 07/02/2022



OLA *Ola Architecture Studio*
607/1 Princess Street
Kew Victoria 3101
03 9942 0812 | olastudio.com.au

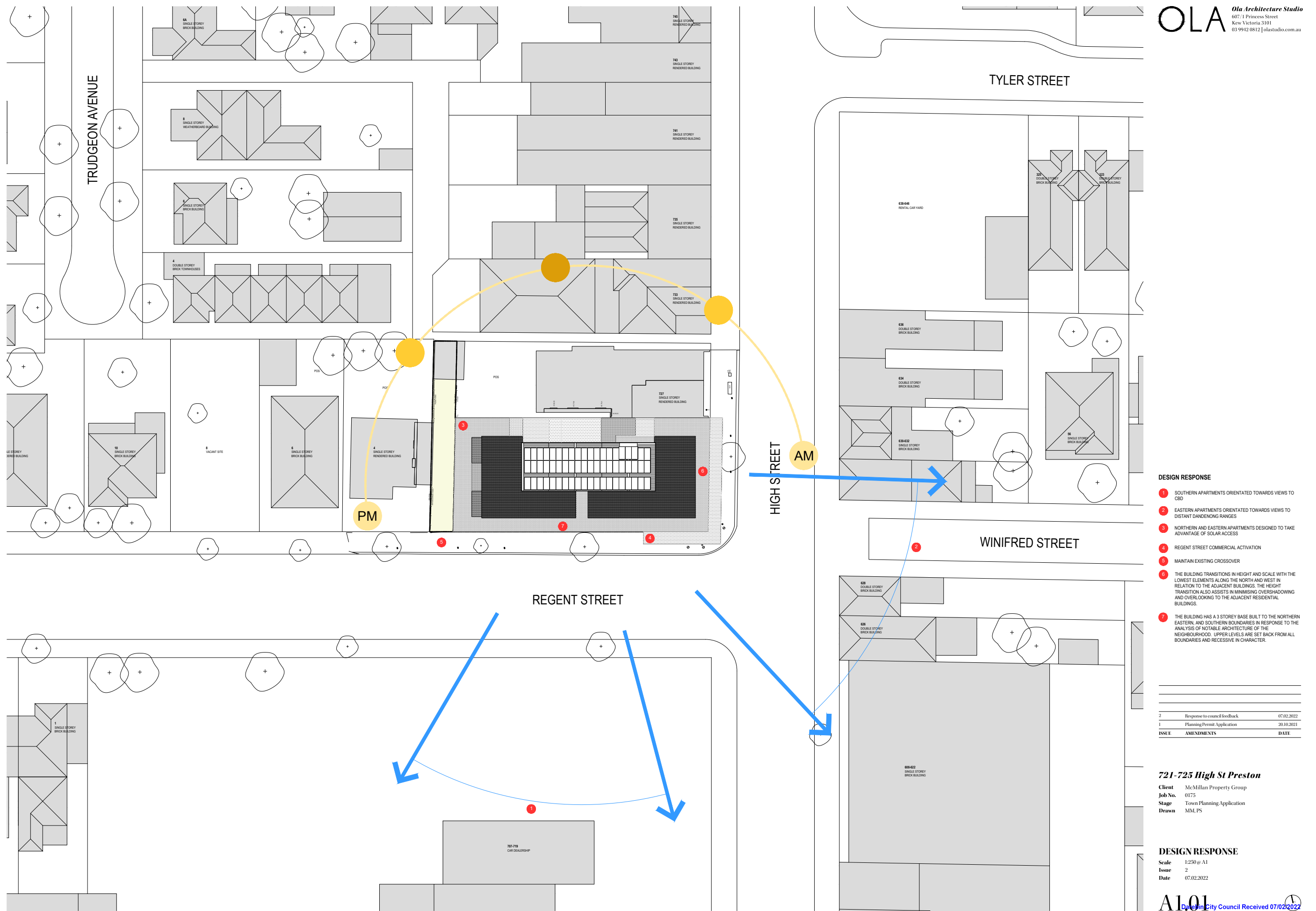
DEMOLITION NOTES
*THE EXISTING BUILDING ON SUBJECT SITE IS PROPOSED TO BE DEMOLISHED AND REMOVED IN TOTAL. ALL EXISTING SANITARY FIXTURES ARE TO BE REMOVED. ALL EXISTING SERVICES TO BE STOPPED OFF PRIOR TO DEMOLITION WORKS.
*EXISTING REDUNDANT CROSSEOVERS TO BE REMOVED. FOOTPATH & KERB TO BE REINSTATED TO COUNCILS REQUIREMENT.

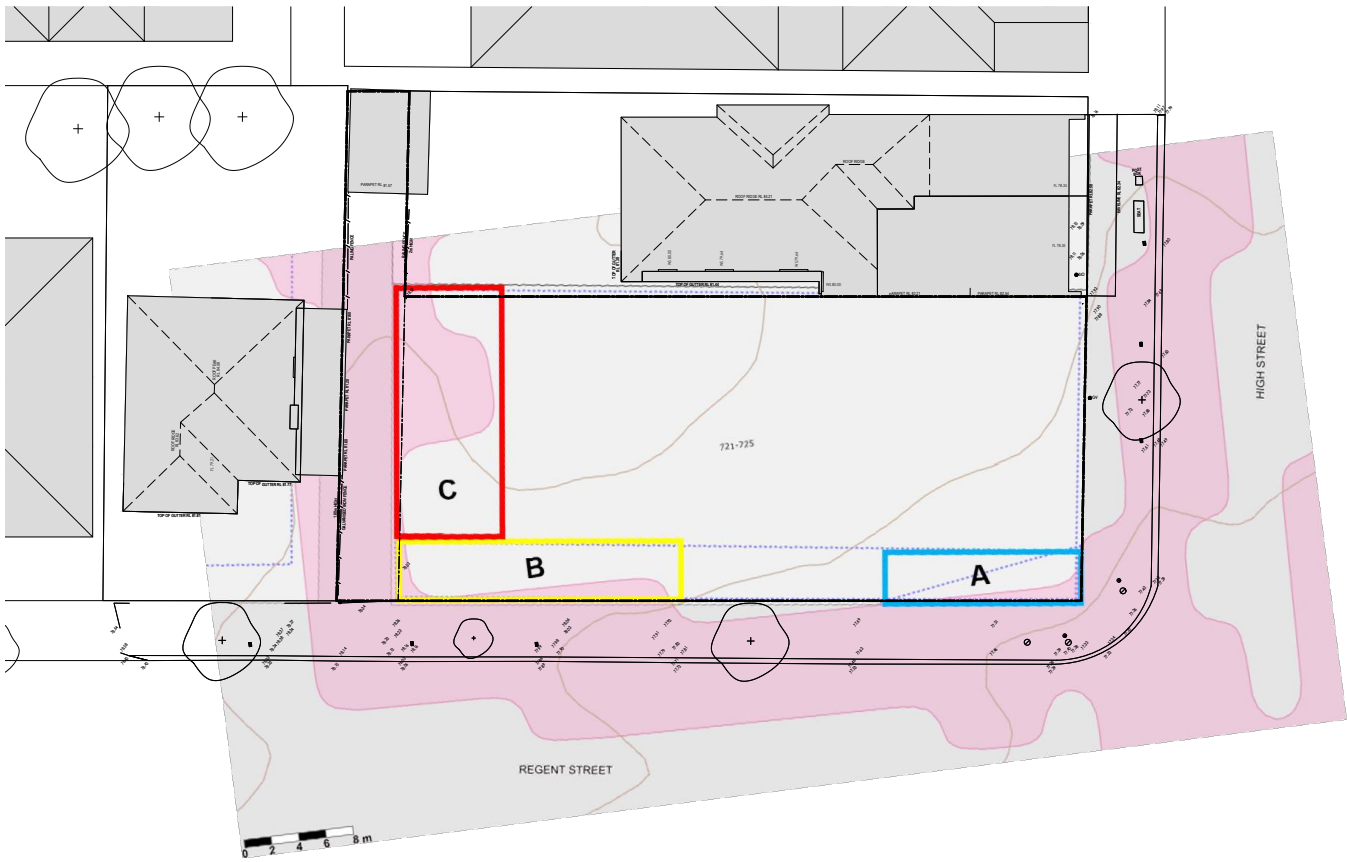
2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston
Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

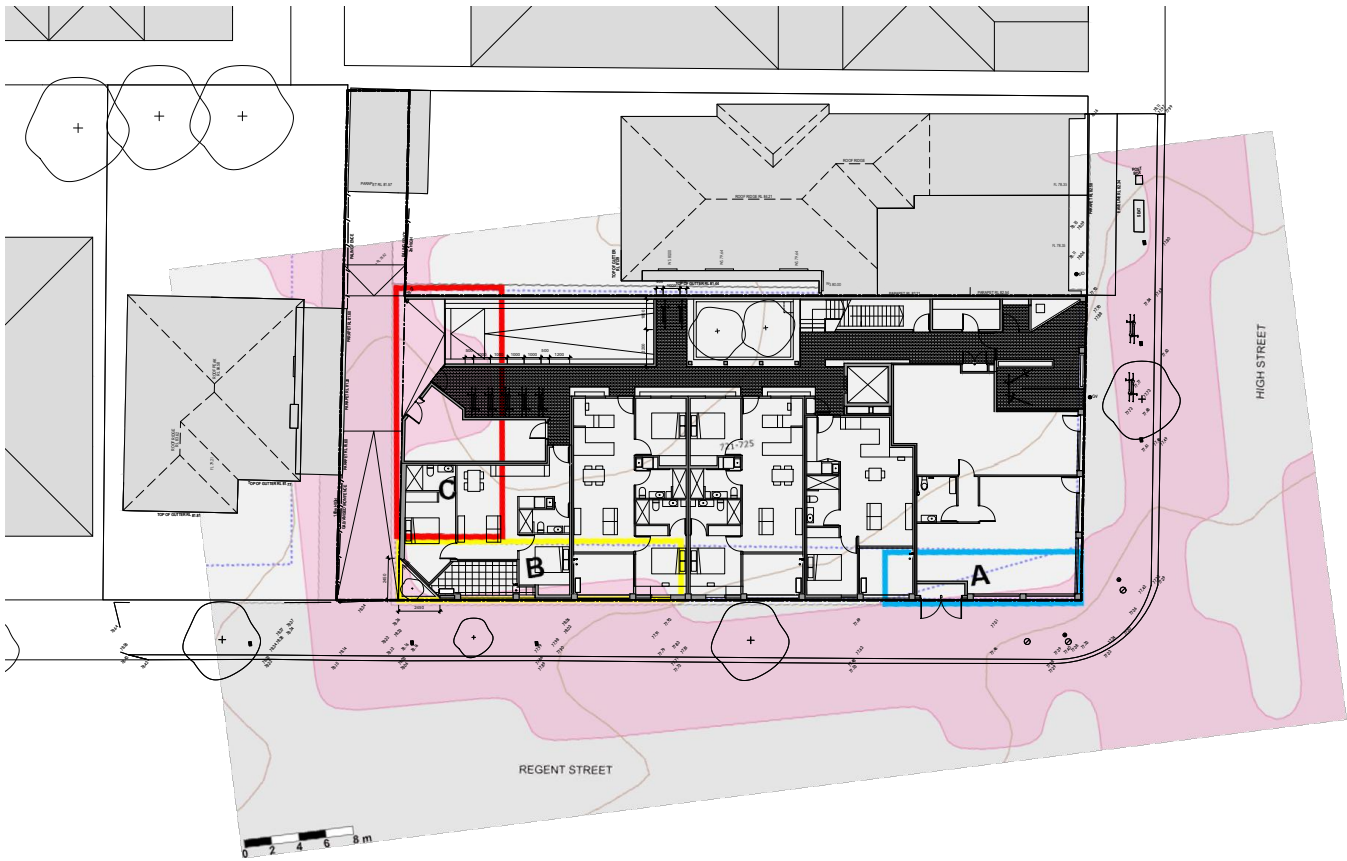
EXISTING CONDITIONS
Scale 1:250 @ A1
Issue 2
Date 07.02.2022

A0.02 Accepted by City Council Received 07/02/2022





EXISTING FLOOD MAP



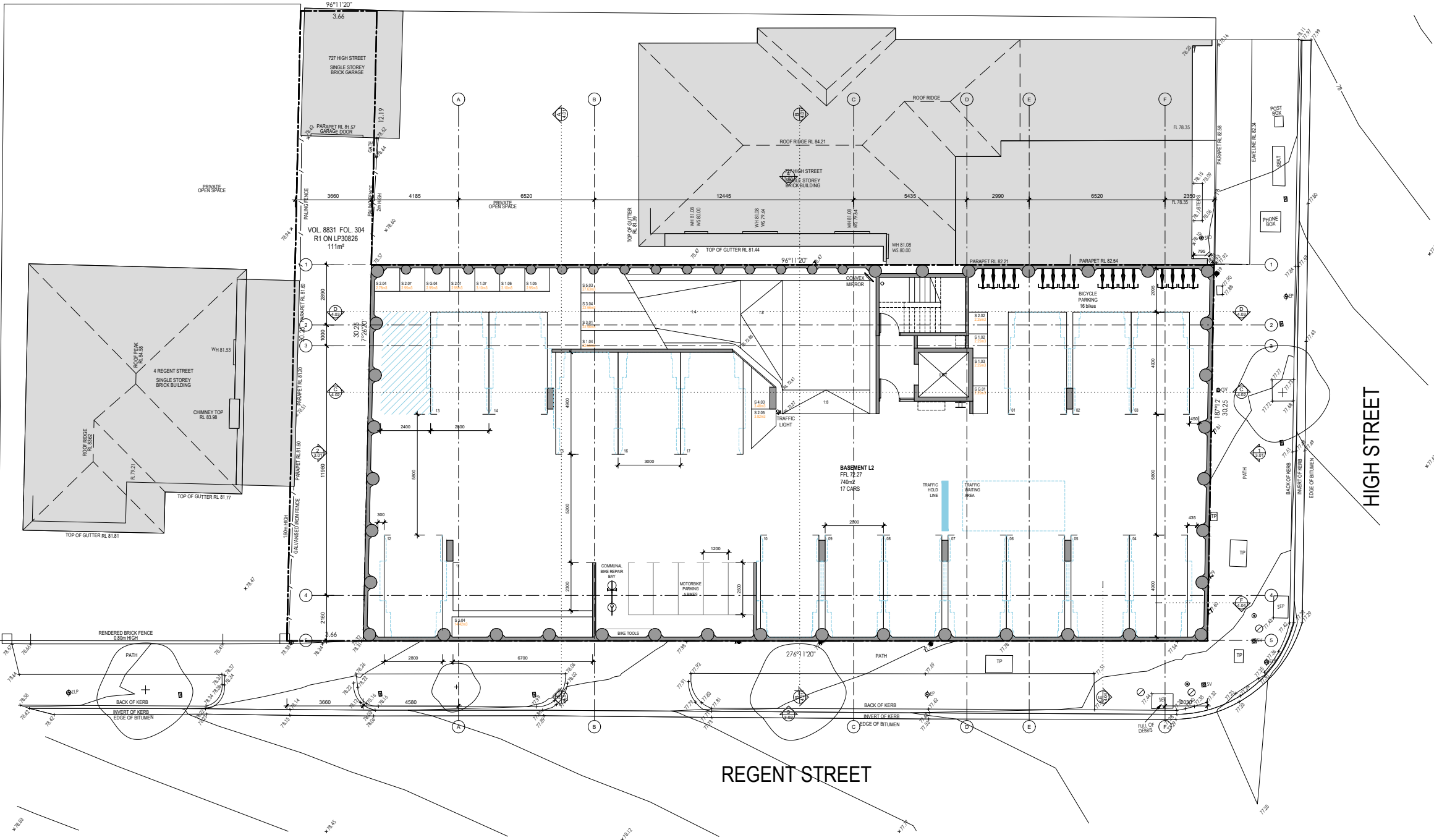
PROPOSED FLOOD MAP

- FLOOD LEVEL LEGEND
- A SOUTH EAST CORNER (SHOP 2): 77.71 TO AHD
 - B SOUTH WEST CORNER: 78.49 TO AHD
 - C WEST SIDE (RAMP ENTRY): 78.66 TO AHD

2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston
Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

FLOOD MAP
Scale 1:200 @ A1
Issue 2
Date 07.02.2022



2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

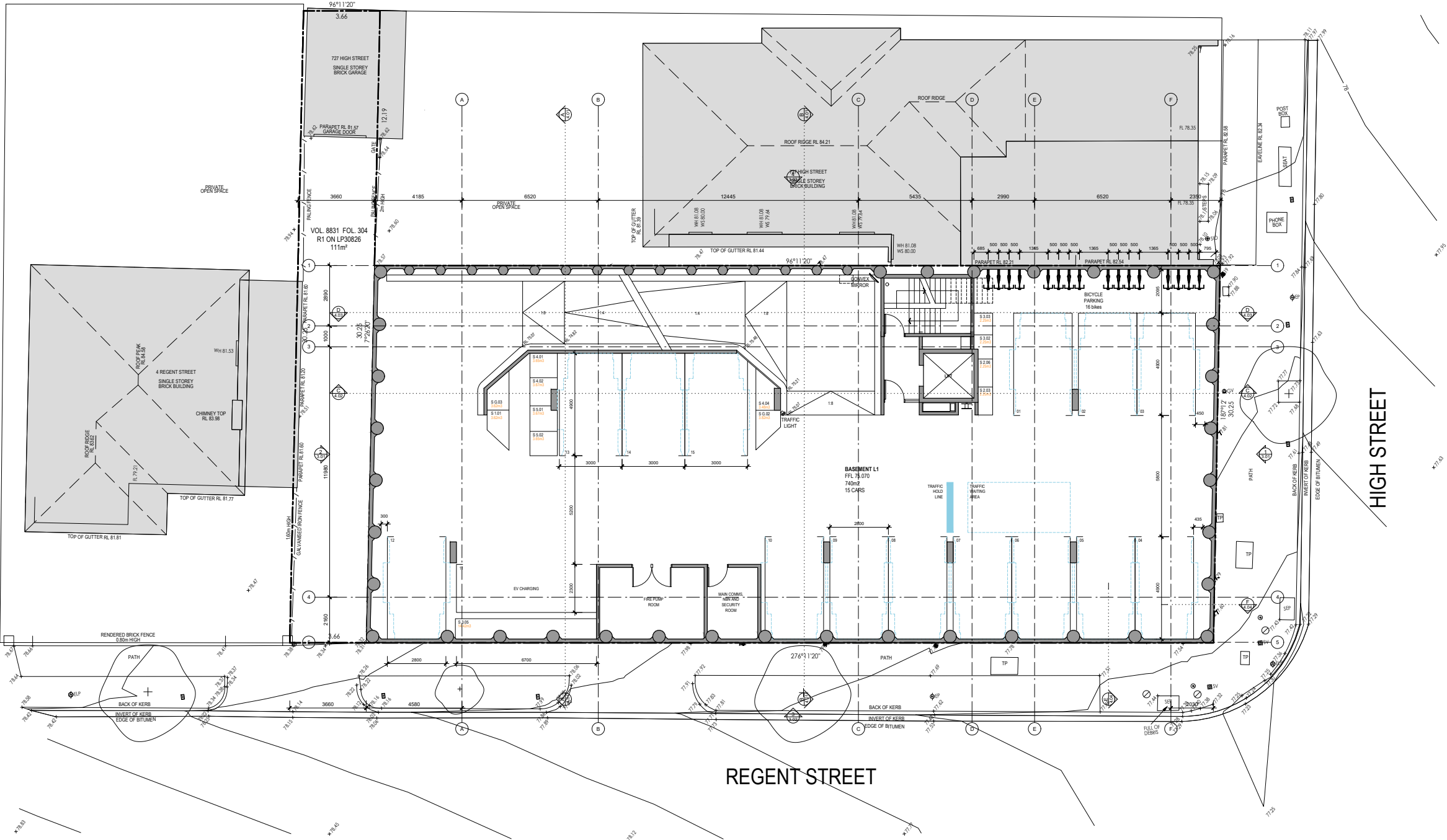
721-725 High St Preston

Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

BASEMENT LEVEL 2

Scale 1:100 @ A1
Issue 2
Date 07.02.2022

A2.01 Planning City Council Received 07/02/2022



2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

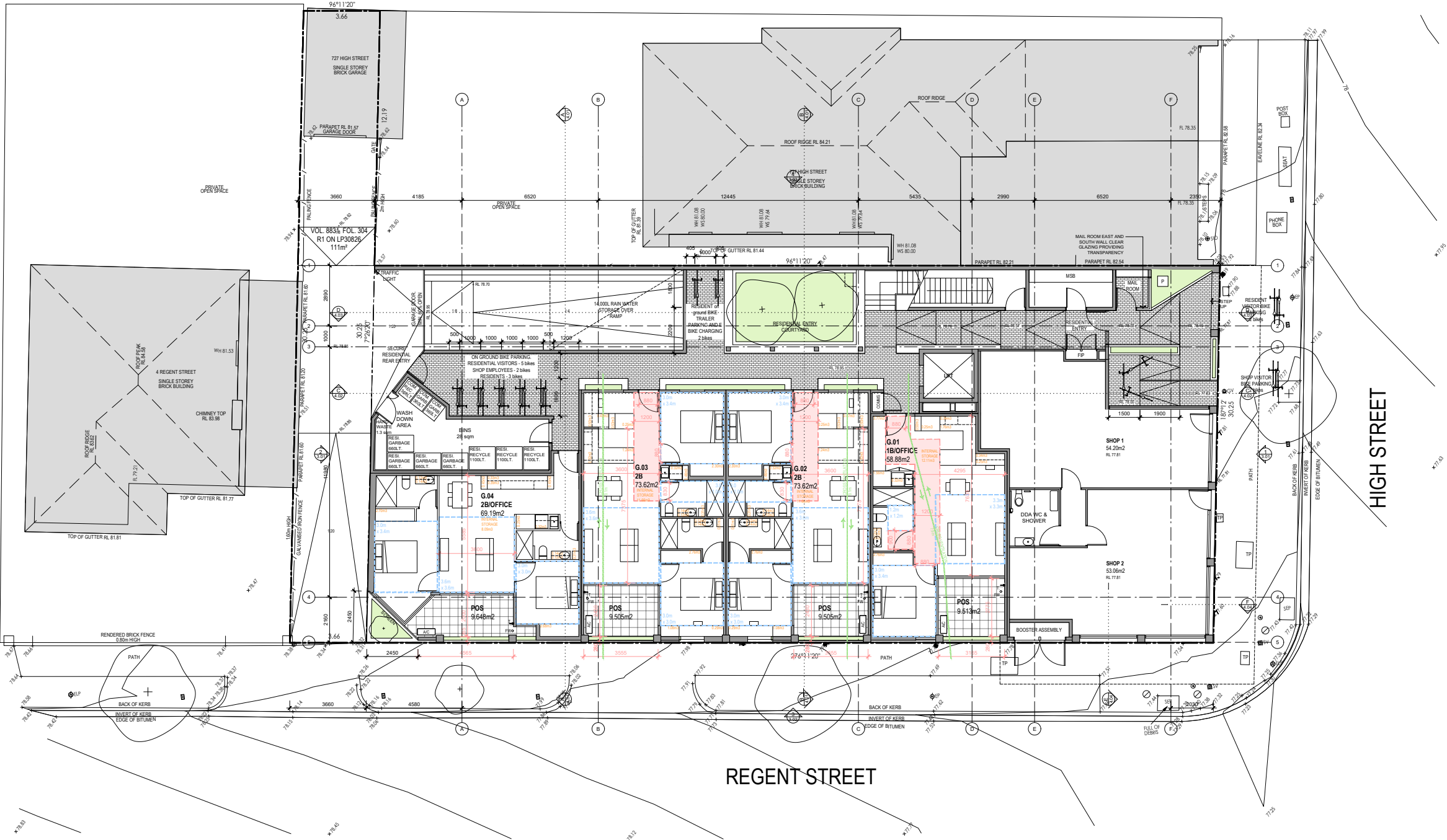
721-725 High St Preston

Client: McMillan Property Group
Job No.: 0175
Stage: Town Planning Application
Drawn: MM, PS

BASEMENT LEVEL 1

Scale: 1:100 @ A1
Issue: 2
Date: 07.02.2022

A2.02
Date of City Council Received 07/02/2022



ACCESSIBILITY NOTES

- ADAPTABLE BATHROOM DESIGN OPTION A:
- DOOR TO ADAPTABLE BATHROOM INCLUDES READILY REMOVABLE HINGES
 - A HOBLESS (STEP-FREE) SHOWER

- ADAPTABLE BATHROOM DESIGN OPTION B:
- DOOR TO ADAPTABLE BATHROOM INCLUDES READILY REMOVABLE HINGES
 - A HOBLESS (STEP-FREE) SHOWER THAT HAS A REMOVABLE SHOWER SCREEN

ROOM DEPTH NOTES

- MINIMUM LIVING AREA CEILING HEIGHT 2.85m.
- MINIMUM BEDROOM CEILING HEIGHT 2.55m.
- MINIMUM BATHROOM CEILING HEIGHT 2.4m.

BIN ROOM NOTES

- THE BIN STORAGE ROOM WILL:
1. BE VERMIN PROOF
 2. HAVE APPROPRIATE VENTILATION
 3. HAVE APPROPRIATE LIGHTING
 4. HAVE APPROPRIATE DRAINAGE

2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

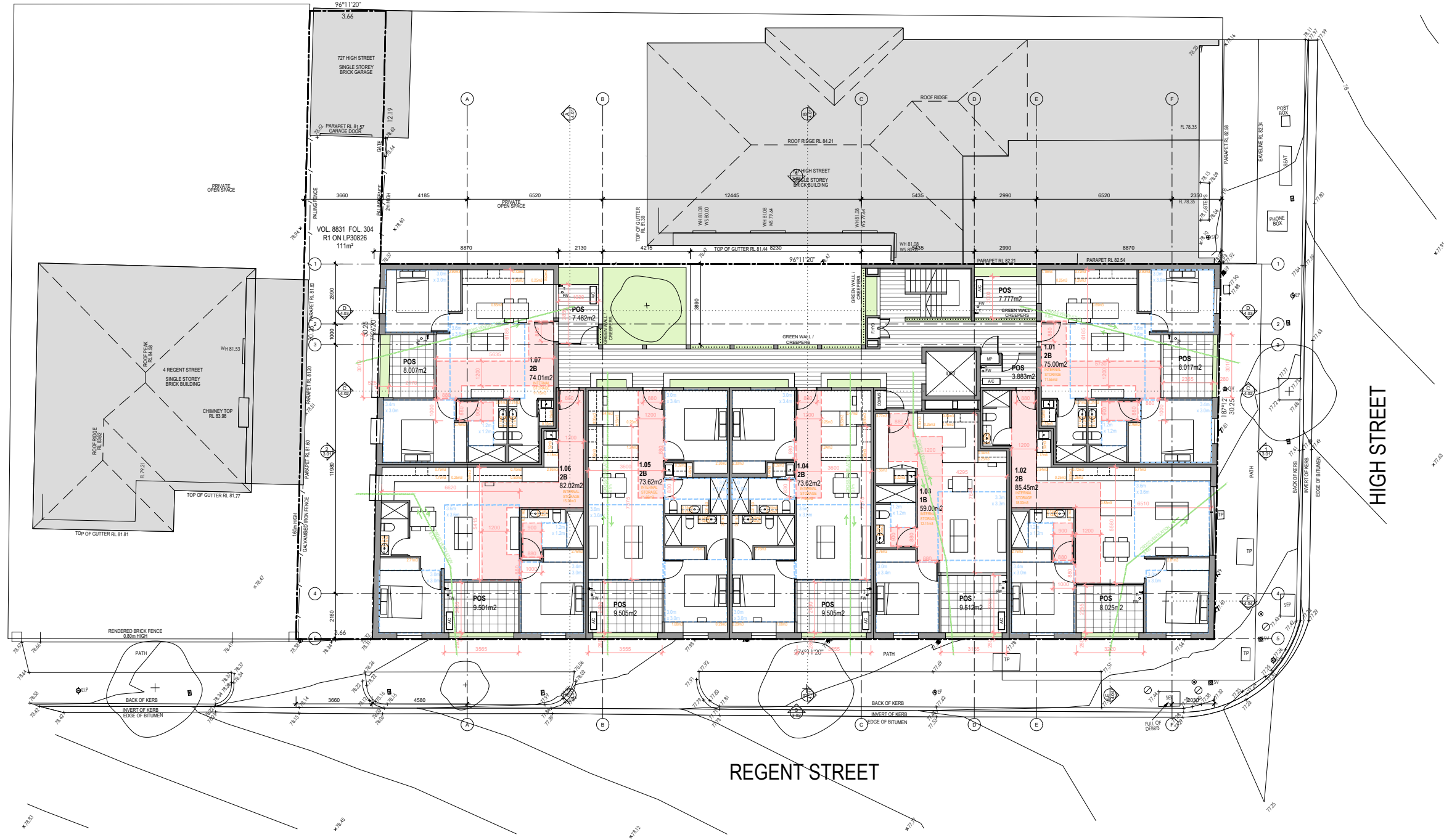
721-725 High St Preston

Client: McMillan Property Group
Job No.: 0175
Stage: Town Planning Application
Drawn: MM, PS

GROUND FLOOR PLAN

Scale: 1:100 @ A1
Issue: 2
Date: 07.02.2022

A2.03 Accepted by City Council Received 07/02/2022



ACCESSIBILITY NOTES

ADAPTABLE BATHROOM DESIGN OPTION A:

- DOOR TO ADAPTABLE BATHROOM INCLUDES READILY REMOVABLE HINGES
- A HOBLESS (STEP-FREE) SHOWER

ADAPTABLE BATHROOM DESIGN OPTION B:

- DOOR TO ADAPTABLE BATHROOM INCLUDES READILY REMOVABLE HINGES
- A HOBLESS (STEP-FREE) SHOWER THAT HAS A REMOVABLE SHOWER SCREEN

ROOM DEPTH NOTES

- MINIMUM LIVING AREA CEILING HEIGHT 2.85m.
- MINIMUM BEDROOM CEILING HEIGHT 2.55m.
- MINIMUM BATHROOM CEILING HEIGHT 2.4m.

2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

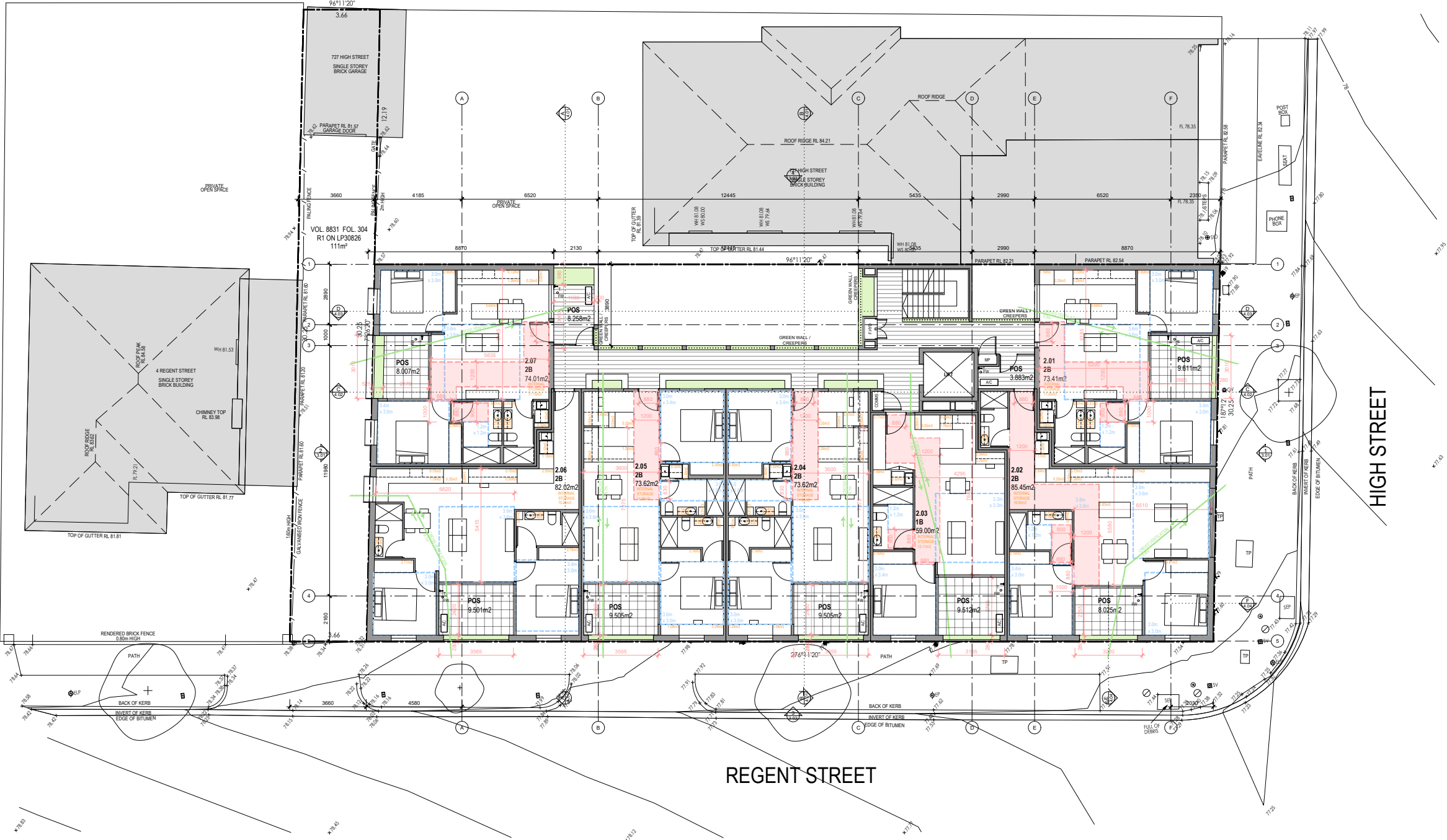
721-725 High St Preston

Client	McMillan Property Group
Job No.	0175
Stage	Town Planning Application
Drawn	MM, PS

LEVEL 01 FLOOR PLAN

Scale 1:100 @ A1
Issue 2
Date 07.02.2022

A2.04 
Darwin City Council Received 07/02/2022



ACCESSIBILITY NOTES

- ADAPTABLE BATHROOM DESIGN OPTION A:
- DOOR TO ADAPTABLE BATHROOM INCLUDES READILY REMOVABLE HINGES
 - A HOBLESS (STEP-FREE) SHOWER

- ADAPTABLE BATHROOM DESIGN OPTION B:
- DOOR TO ADAPTABLE BATHROOM INCLUDES READILY REMOVABLE HINGES
 - A HOBLESS (STEP-FREE) SHOWER THAT HAS A REMOVABLE SHOWER SCREEN

ROOM DEPTH NOTES

- MINIMUM LIVING AREA CEILING HEIGHT 2.85m.
- MINIMUM BEDROOM CEILING HEIGHT 2.55m.
- MINIMUM BATHROOM CEILING HEIGHT 2.4m.

2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

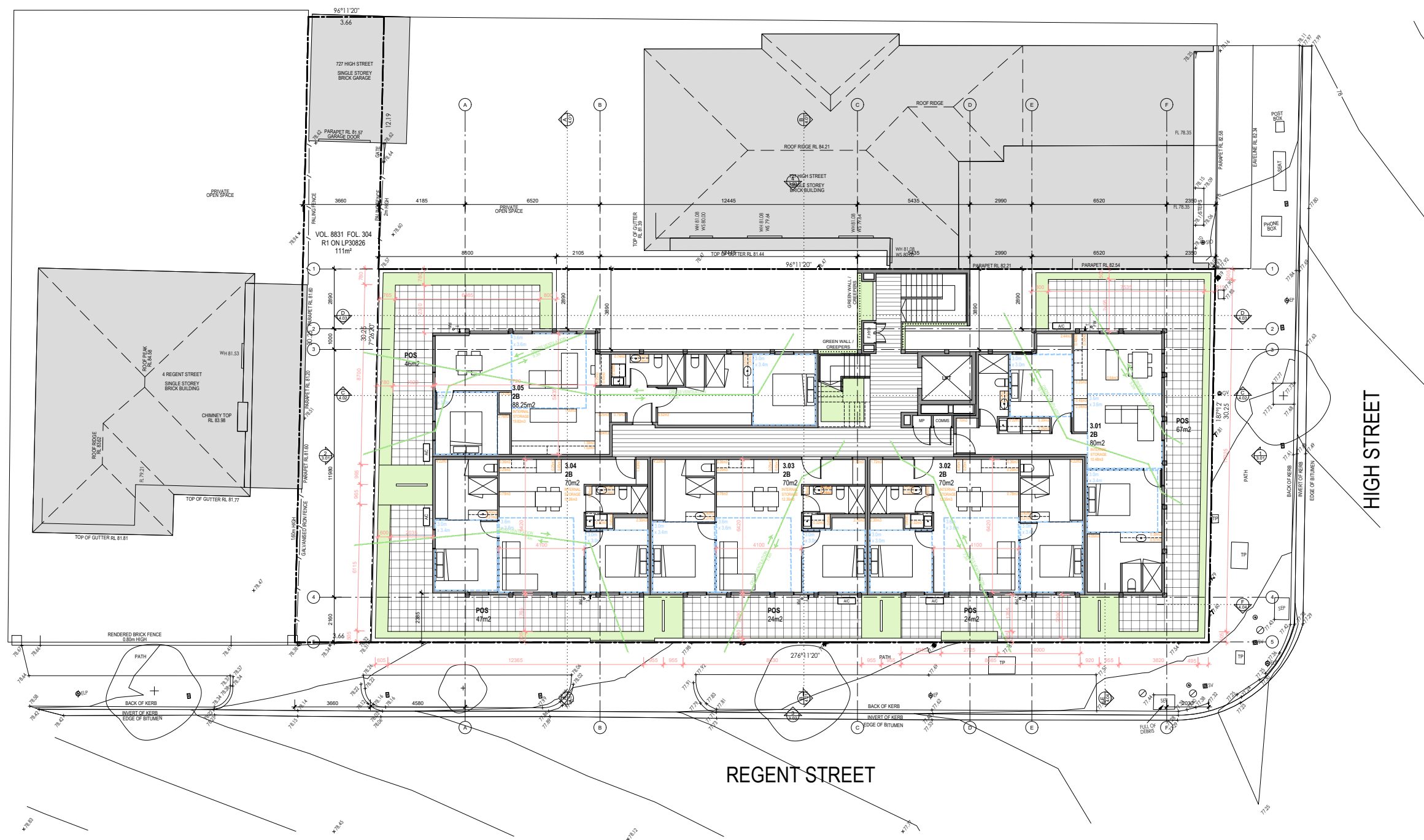
721-725 High St Preston

Client: McMillan Property Group
Job No.: 0175
Stage: Town Planning Application
Drawn: MM, PS

LEVEL 02 FLOOR PLAN

Scale: 1:100 @ A1
Issue: 2
Date: 07.02.2022

A2.05 Accepted by City Council Received 07/02/2022



ROOM DEPTH NOTES

- MINIMUM LIVING AREA CEILING HEIGHT 2.85m
- MINIMUM BEDROOM CEILING HEIGHT 2.55m.
- MINIMUM BATHROOM CEILING HEIGHT 2.4m

2	Response to council feedback	07.02.20
1	Planning Permit Application	20.10.20
ISSUE	AMENDMENTS	DATE

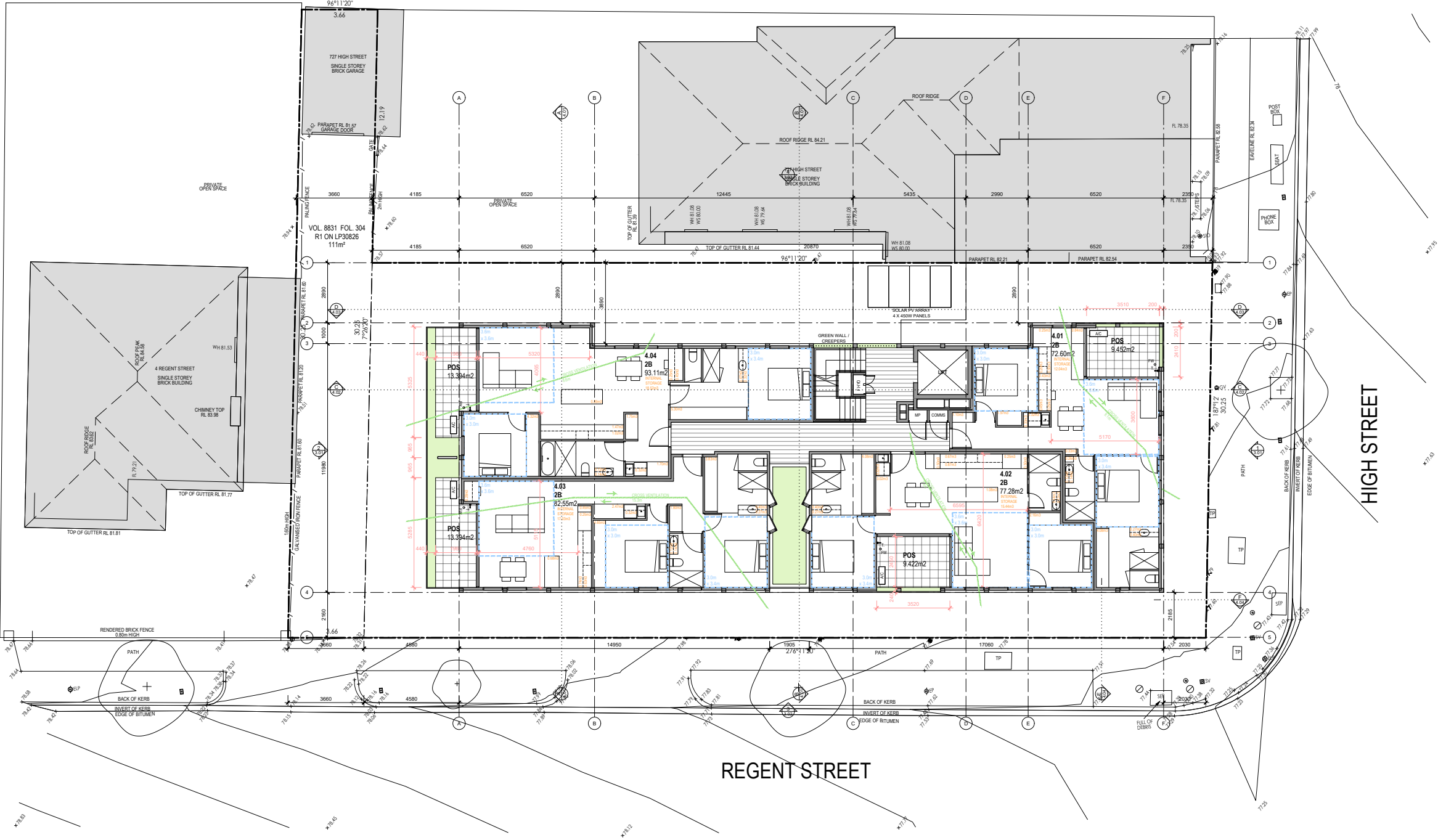
721-725 High St Preston

Client	McMillan Property Group
Job No.	0175
Stage	Town Planning Application
Drawn	MM, PS

LEVEL 03 FLOOR PLAN

Scale	1:100 @ A1
Issue	2
Date	07.02.2022

A2.06  Darebin City Council Received 07/02/2022



- ROOM DEPTH NOTES
- MINIMUM LIVING AREA CEILING HEIGHT 2.85m.
 - MINIMUM BEDROOM CEILING HEIGHT 2.55m.
 - MINIMUM BATHROOM CEILING HEIGHT 2.4m.

2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

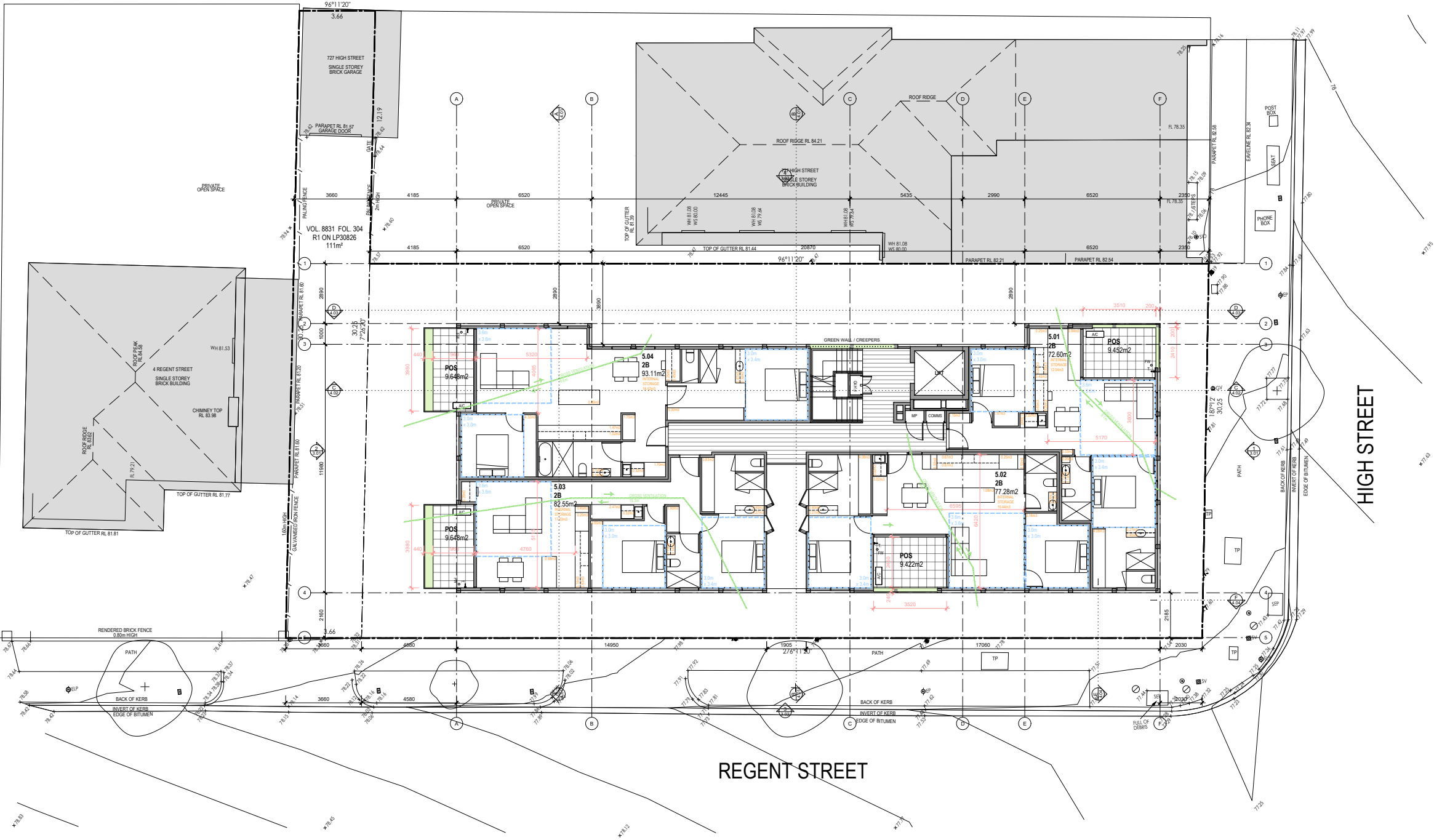
721-725 High St Preston

Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

LEVEL 04 FLOOR PLAN

Scale 1:100 @ A1
Issue 2
Date 07.02.2022

A2.07
Date City Council Received 07.02.2022



- ROOM DEPTH NOTES
- MINIMUM LIVING AREA CEILING HEIGHT 2.85m.
 - MINIMUM BEDROOM CEILING HEIGHT 2.55m.
 - MINIMUM BATHROOM CEILING HEIGHT 2.4m.

2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

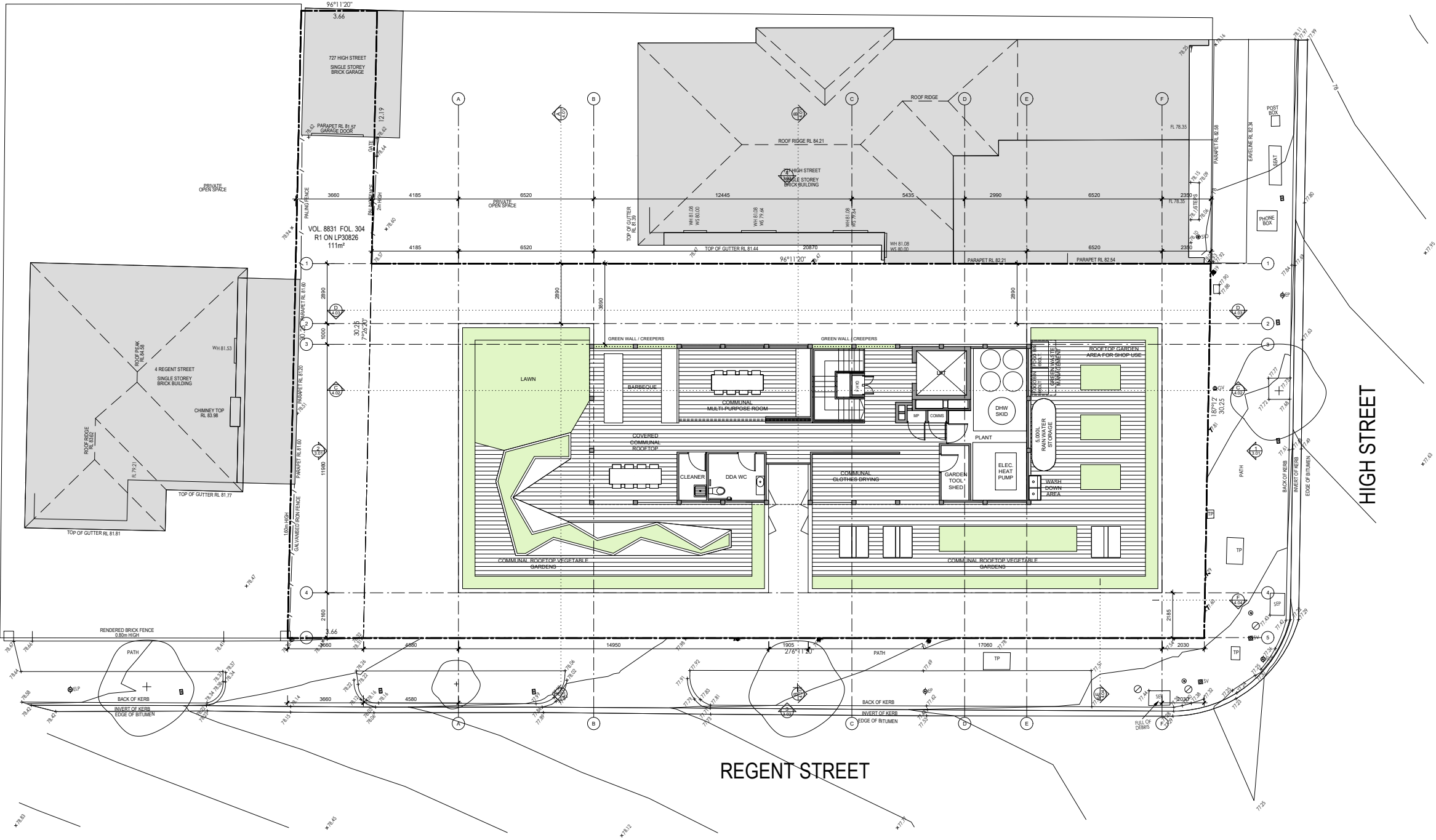
721-725 High St Preston

Client: McMillan Property Group
Job No.: 0175
Stage: Town Planning Application
Drawn: MM, PS

LEVEL 05 FLOOR PLAN

Scale: 1:100 @ A1
Issue: 2
Date: 07.02.2022

A2.08 Prepared for City Council Received 07/02/2022

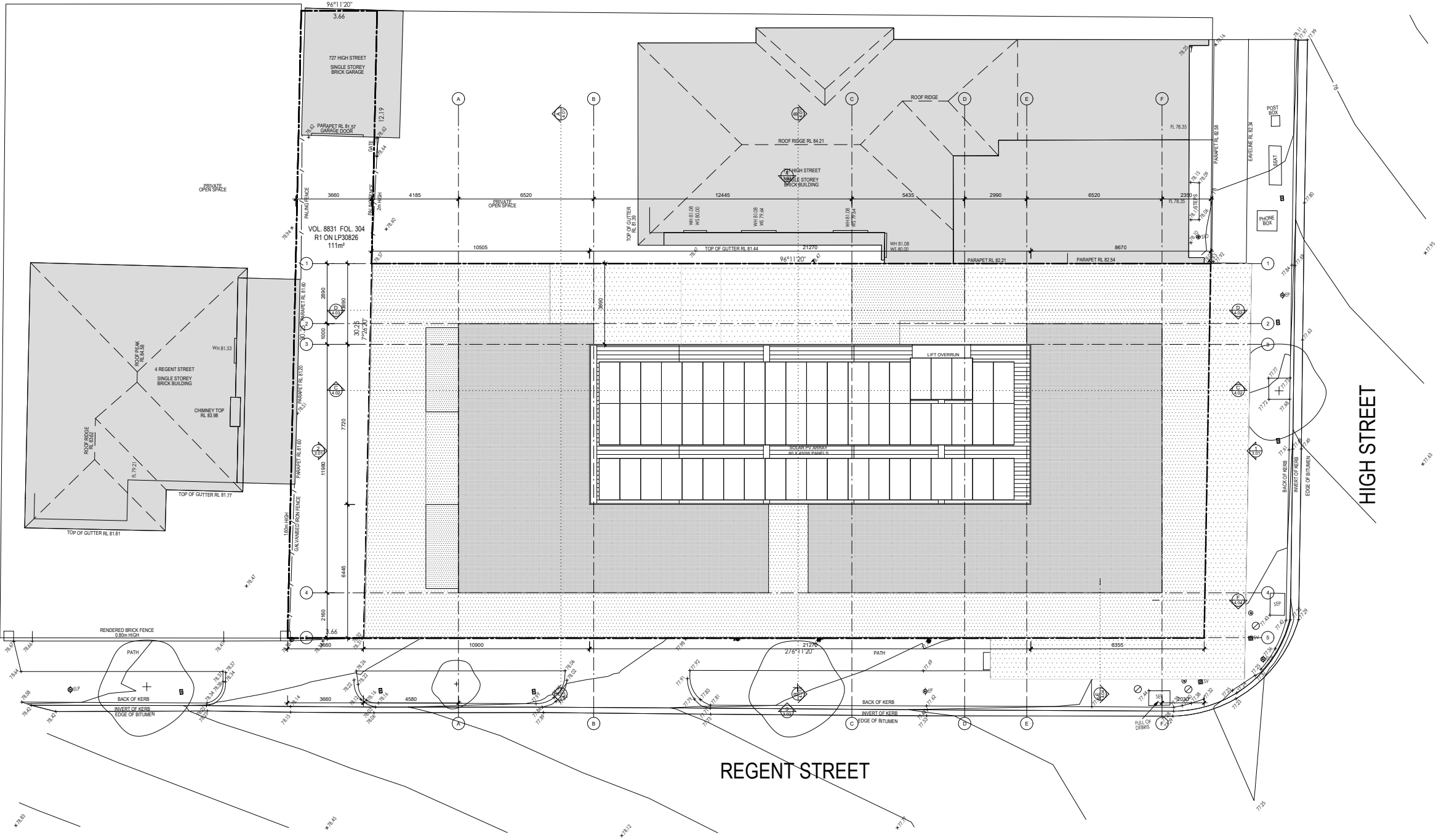


2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston
Client: McMillan Property Group
Job No: 0175
Stage: Town Planning Application
Drawn: MM, PS

ROOF TOP PLAN
Scale: 1:100 @ A1
Issue: 2
Date: 07.02.2022

A2.09 Prepared for City Council Received 07/02/2022



2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

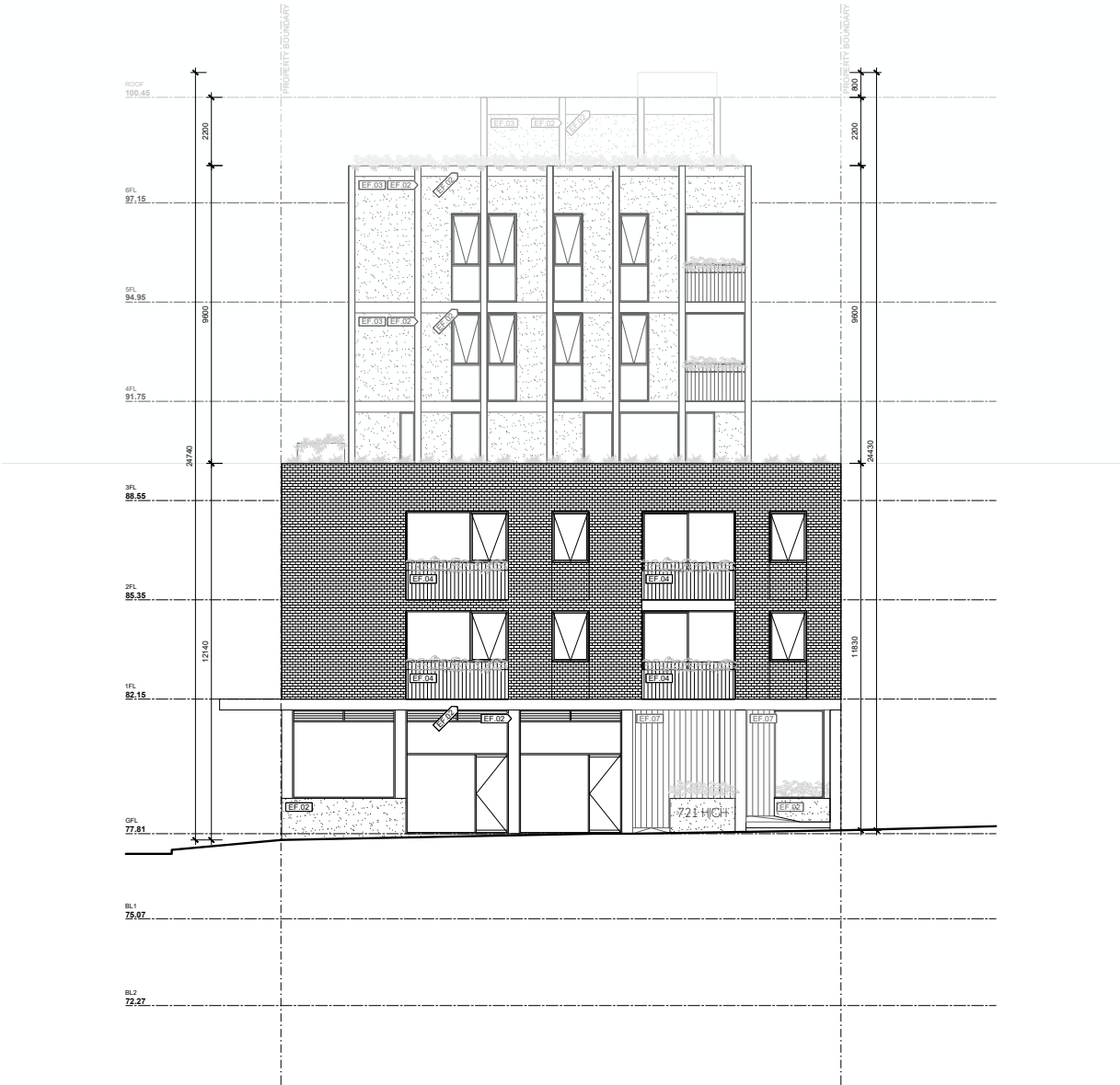
721-725 High St Preston

Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

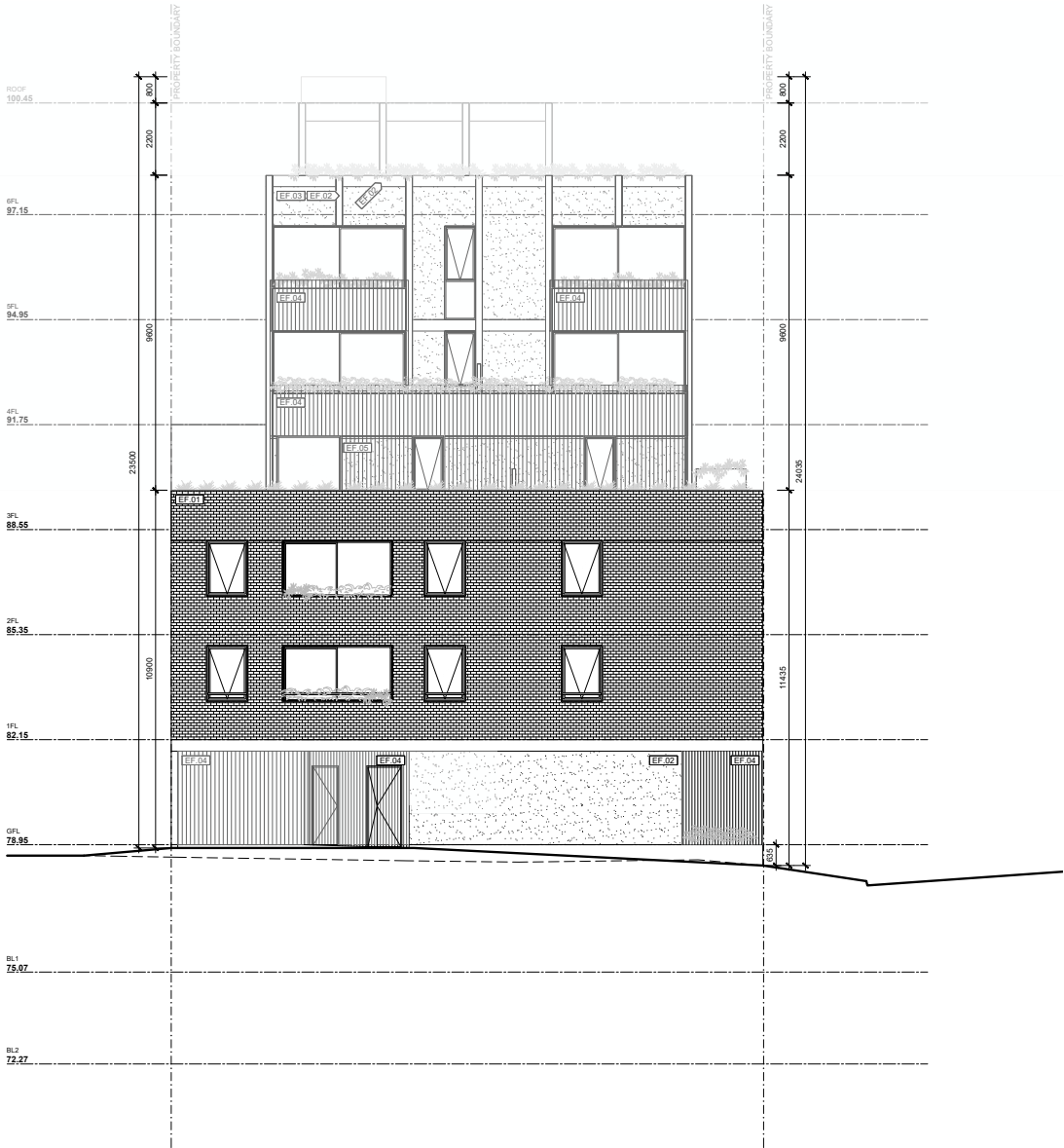
ROOF PLAN

Scale 1:100 @ A1
Issue 2
Date 07.02.2022

- FINISHES**
- EF.01 RECYCLED CREAM BRICK FACED PRE-CAST CONCRETE
 - EF.02 CONCRETE
 - EF.03 CEMENT SHEET BOARD - RAW FINISH
 - EF.04 BALUSTRADE - ANODISED ALUMINIUM
 - EF.05 ANODISED ALUMINIUM SCREEN OVER CEMENT SHEET BOARD
 - EF.06 BROWN BRICK PAVING
 - EF.07 VERTICALLY ALIGNED TIMBER CLADDING - CLEAR FINISH
 - EF.08 TIMBER DECKING
 - EF.09 CONCRETE PAVER
 - EF.10 CREEPER CLIMBER SUPPORT
- LEGEND - WINDOW OPERATION**
- A AWNING WINDOW
 - L LOUVRE WINDOW
 - C CASEMENT WINDOW
 - B BI-FOLD WINDOW
 - S SLIDING WINDOW/DOOR



EAST ELEVATION (HIGH STREET)



WEST ELEVATION (REAR LANE)

2	Response to council feedback	07.02.2022
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ISSUE	AMENDMENTS	DATE

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ELEVATIONS
Scale 1:100 @ A1
Issue 2
Date 07.02.2022

A3.01  Dumfries City Council Received 07/02/2022

- FINISHES
- EF.01

CONCRETE

RECYCLED CREAM BRICK FACED PRE-CAST
- EF.02

CONCRETE

CONCRETE
- EF.03

CEMENT SHEET BOARD - RAW FINISH

CEMENT SHEET BOARD - RAW FINISH
- EF.04

ANODISED ALUMINIUM SCREEN OVER CEMENT SHEET BOARD

BALUSTRADE - ANODISED ALUMINIUM
- EF.05

BROWN BRICK PAVING

BROWN BRICK PAVING
- EF.06

VERTICALLY ALIGNED TIMBER CLADDING - CLEAR FINISH

VERTICALLY ALIGNED TIMBER CLADDING - CLEAR FINISH
- EF.07

TIMBER DECKING

TIMBER DECKING
- EF.08

CONCRETE PAVER

CONCRETE PAVER
- EF.09

CREEPER CLIMBER SUPPORT

CREEPER CLIMBER SUPPORT
- EF.10
- LEGEND - WINDOW OPERATION
- A

AWNING WINDOW

AWNING WINDOW
- L

LOUVRE WINDOW

LOUVRE WINDOW
- C

CASEMENT WINDOW

CASEMENT WINDOW
- B

BI-FOLD WINDOW

BI-FOLD WINDOW
- S

SLIDING WINDOW/DOOR

SLIDING WINDOW/DOOR



SOUTH ELEVATION (REGENT STREET)

2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston

Client McMillan Property Group

Job No. 0175

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Drawn MM, PS

ELEVATIONS

Scale 1:100 @ A1

Issue 2

Date 07.02.2022

- FINISHES
- EF.01

RECYCLED CREAM BRICK FACED PRE-CAST CONCRETE
- EF.02

CONCRETE
- EF.03

CEMENT SHEET BOARD - RAW FINISH
- EF.04

BALUSTRADE - ANODISED ALUMINIUM
- EF.05

ANODISED ALUMINIUM SCREEN OVER CEMENT SHEET BOARD
- EF.06

BROWN BRICK PAVING
- EF.07

VERTICALLY ALIGNED TIMBER CLADDING - CLEAR FINISH
- EF.08

TIMBER DECKING
- EF.09

CONCRETE PAVER
- EF.10

CREEPER CLIMBER SUPPORT
- LEGEND - WINDOW OPERATION
- A

AWNING WINDOW
- L

LOUVRE WINDOW
- C

CASEMENT WINDOW
- B

BI-FOLD WINDOW
- S

SLIDING WINDOW/DOOR



NORTH ELEVATION

2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston

Client

McMillan Property Group

Job No.

0175

Stage

Town Planning Application

Drawn

MM, PS

ELEVATIONS

Scale

1:100 @ A1

Issue

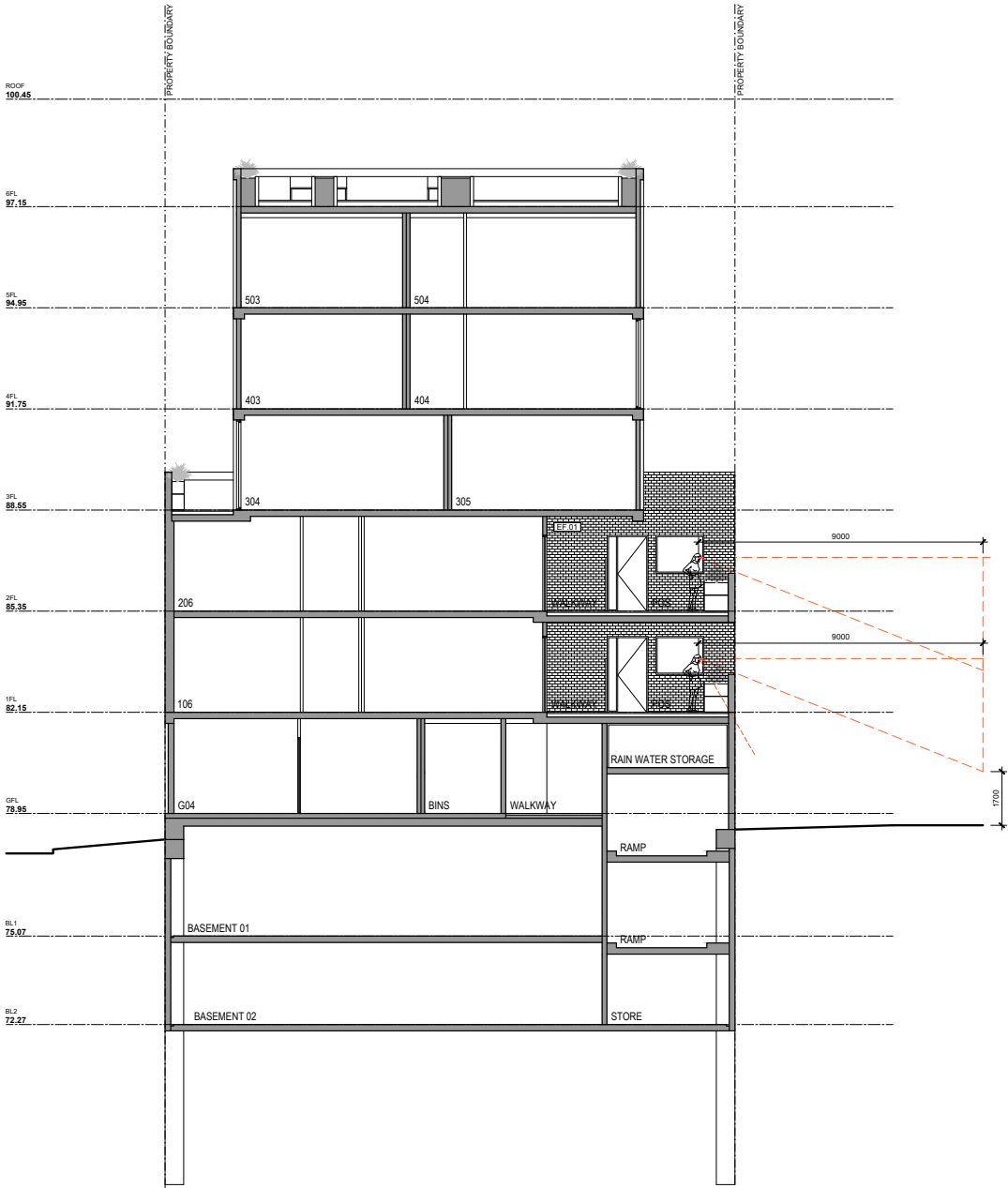
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Date

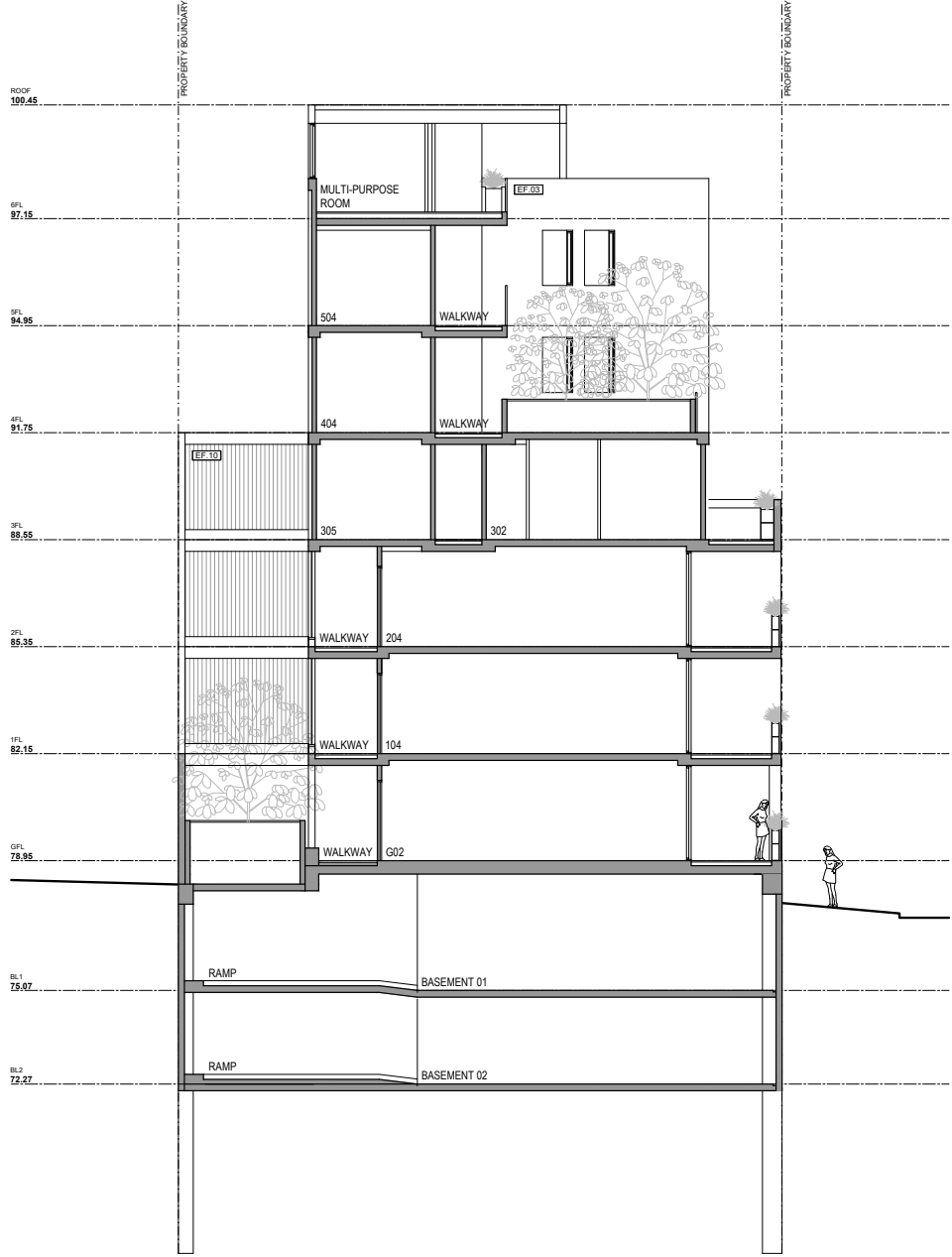
07.02.2022

OLA *Ola Architecture Studio*
607/1 Princess Street
Kew Victoria 3101
03 9942 0812 | olastudio.com.au

- FINISHES**
- EF.01 RECYCLED CREAM BRICK FACED PRE-CAST CONCRETE
 - EF.02 CONCRETE
 - EF.03 CEMENT SHEET BOARD - RAW FINISH
 - EF.04 BALUSTRADE - ANODISED ALUMINIUM
 - EF.05 ANODISED ALUMINIUM SCREEN OVER CEMENT SHEET BOARD
 - EF.06 BROWN BRICK PAVING
 - EF.07 VERTICALLY ALIGNED TIMBER CLADDING - CLEAR FINISH
 - EF.08 TIMBER DECKING
 - EF.09 CONCRETE PAVER
 - EF.10 CREEPER CLIMBER SUPPORT
- LEGEND - WINDOW OPERATION**
- A AWNING WINDOW
 - L LOUVRE WINDOW
 - C CASEMENT WINDOW
 - B BI-FOLD WINDOW
 - S SLIDING WINDOW/DOOR



SECTION AA



SECTION BB

2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston

Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

SECTIONS

Scale 1:100 @ A1
Issue 2
Date 07.02.2022

A401 *City of Preston City Council Received 07/02/2022*

- FINISHES
- EF.01

RECYCLED CREAM BRICK FACED PRE-CAST CONCRETE
- EF.02

CONCRETE
- EF.03

CEMENT SHEET BOARD - RAW FINISH
- EF.04

BALUSTRADE - ANODISED ALUMINIUM
- EF.05

ANODISED ALUMINIUM SCREEN OVER CEMENT SHEET BOARD
- EF.06

BROWN BRICK PAVING
- EF.07

VERTICALLY ALIGNED TIMBER CLADDING - CLEAR FINISH
- EF.08

TIMBER DECKING
- EF.09

CONCRETE PAVER
- EF.10

CREEPER CLIMBER SUPPORT
- LEGEND - WINDOW OPERATION
- A

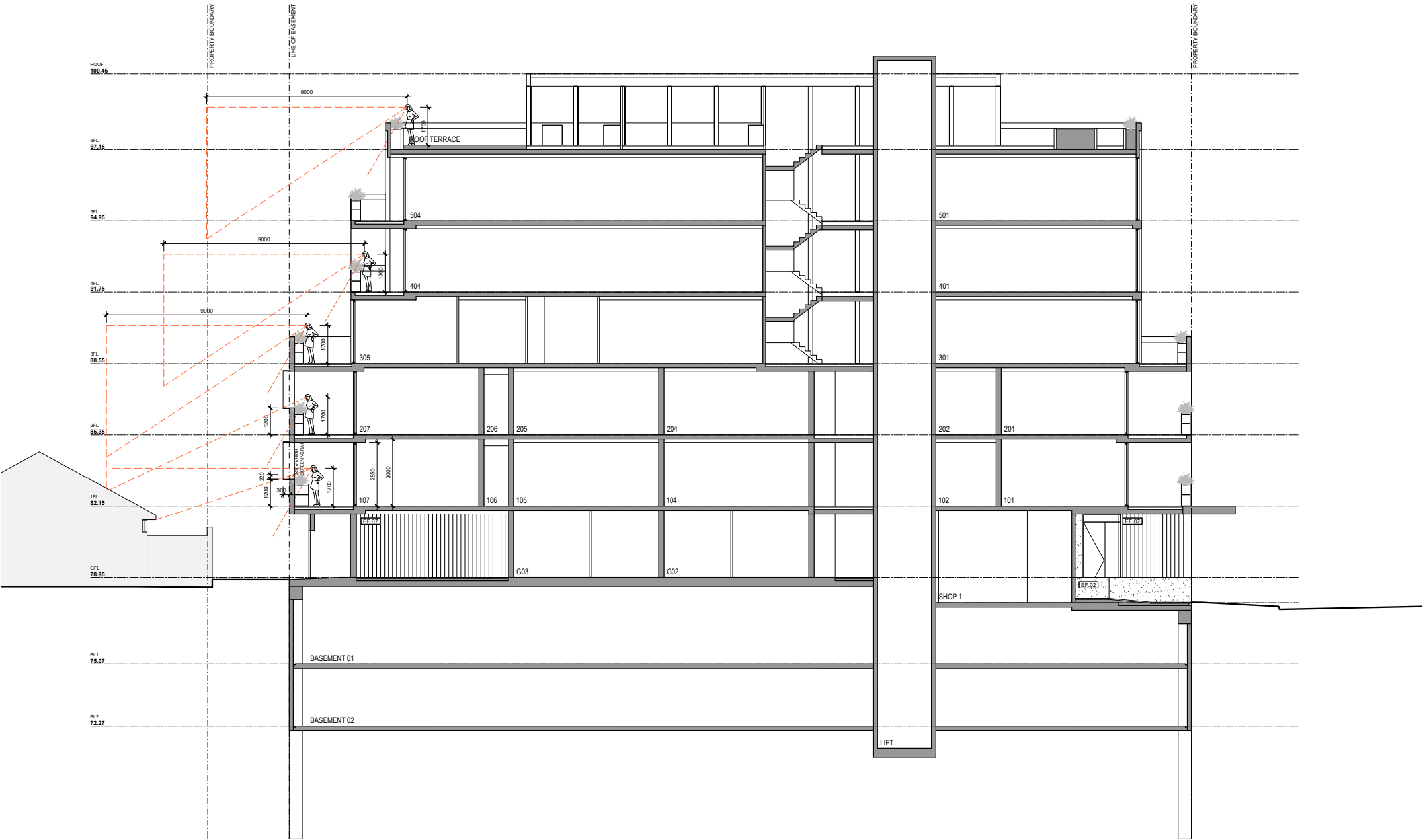
AWNING WINDOW
- L

LOUVRE WINDOW
- C

CASEMENT WINDOW
- B

BI-FOLD WINDOW
- S

SLIDING WINDOW/DOOR



SECTION CC

2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston

Client: McMillan Property Group
Job No.: 0175
Stage: Town Planning Application
Drawn: MM, PS

SECTIONS

Scale: 1:100 @ A1
Issue: 2
Date: 07.02.2022

- FINISHES
- EF.01

RECYCLED CREAM BRICK FACED PRE-CAST CONCRETE
- EF.02

CONCRETE
- EF.03

CEMENT SHEET BOARD - RAW FINISH
- EF.04

BALUSTRADE - ANODISED ALUMINIUM
- EF.05

ANODISED ALUMINIUM SCREEN OVER CEMENT SHEET BOARD
- EF.06

BROWN BRICK PAVING
- EF.07

VERTICALLY ALIGNED TIMBER CLADDING - CLEAR FINISH
- EF.08

TIMBER DECKING
- EF.09

CONCRETE PAVER
- EF.10

CREEPER CLIMBER SUPPORT
- LEGEND - WINDOW OPERATION
- A

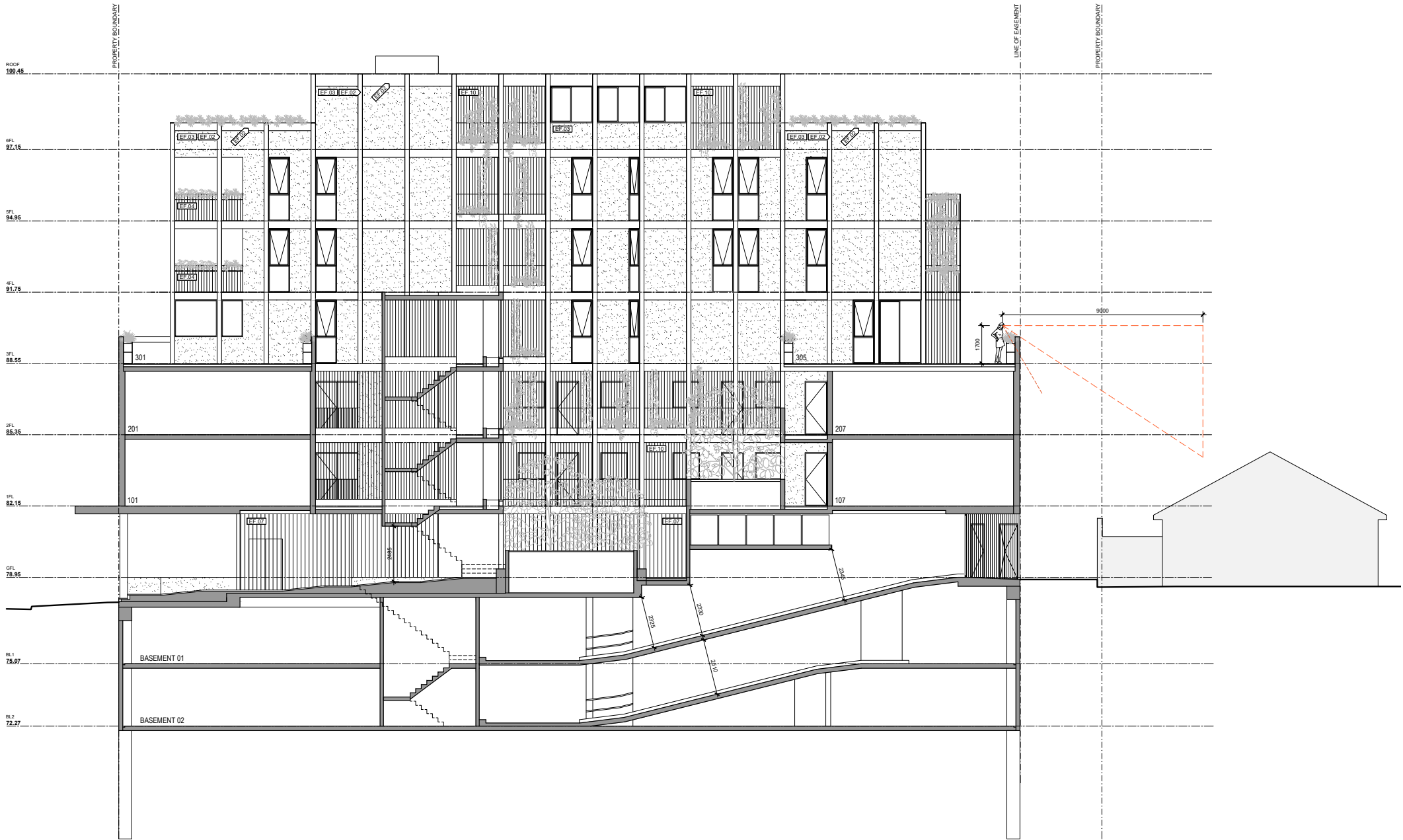
AWNING WINDOW
- L

LOUVRE WINDOW
- C

CASEMENT WINDOW
- B

BI-FOLD WINDOW
- S

SLIDING WINDOW/DOOR



SECTION DD

2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
ISSUE	AMENDMENTS	DATE

721-725 High St Preston

Client McMillan Property Group
Job No. 0175
Stage Town Planning Application
Drawn MM, PS

SECTIONS

Scale 1:100 @ A1
Issue 2
Date 07.02.2022

A403
City of Preston City Council Received 07/02/2022

- FINISHES
- EF.01

RECYCLED CREAM BRICK FACED PRE-CAST CONCRETE
- EF.02

CONCRETE
- EF.03

CEMENT SHEET BOARD - RAW FINISH
- EF.04

BALUSTRADE - ANODISED ALUMINIUM
- EF.05

ANODISED ALUMINIUM SCREEN OVER CEMENT SHEET BOARD
- EF.06

BROWN BRICK PAVING
- EF.07

VERTICALLY ALIGNED TIMBER CLADDING - CLEAR FINISH
- EF.08

TIMBER DECKING
- EF.09

CONCRETE PAVER
- EF.10

CREEPER CLIMBER SUPPORT
- LEGEND - WINDOW OPERATION
- A

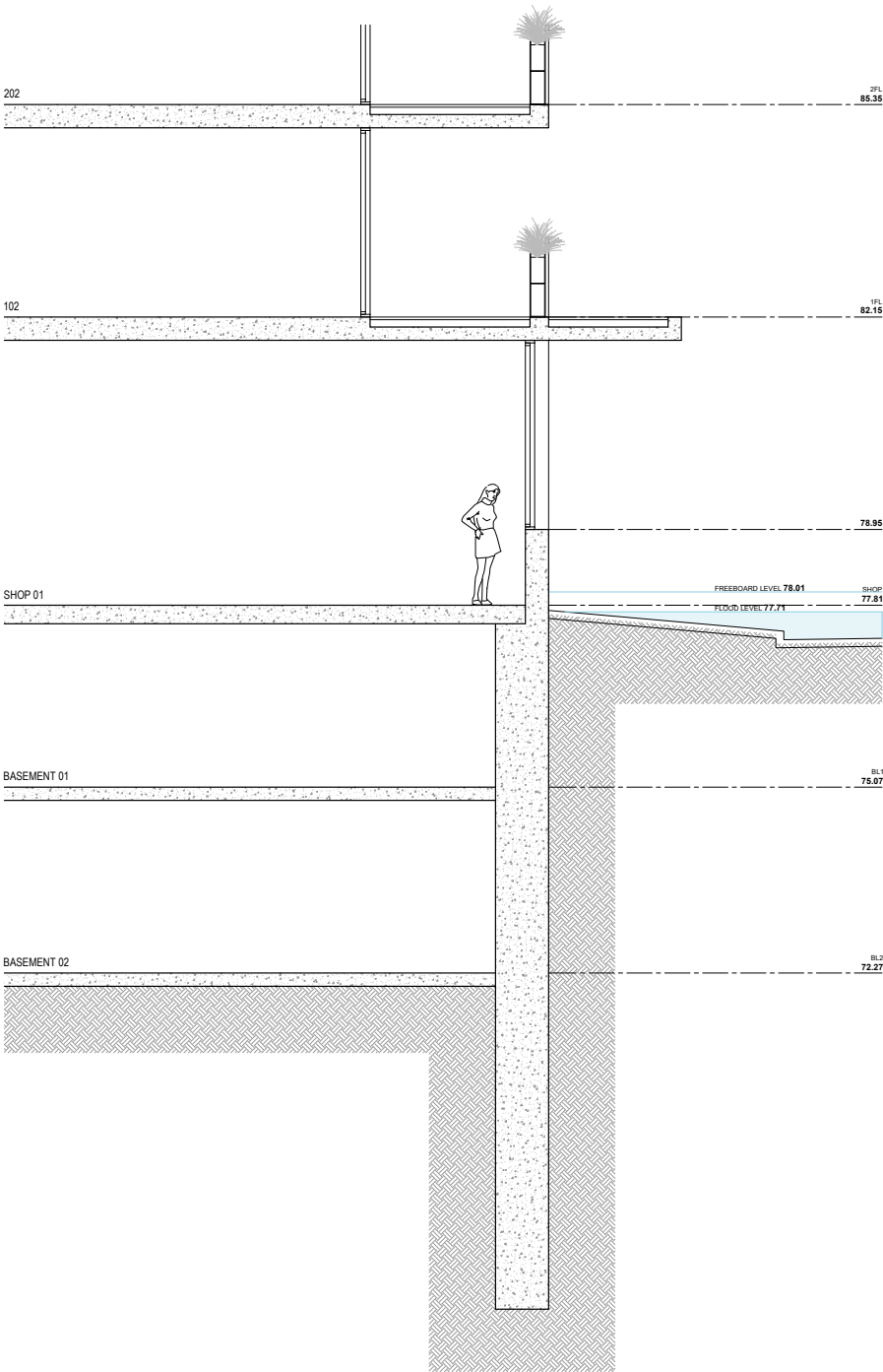
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LOUVRE WINDOW
- C

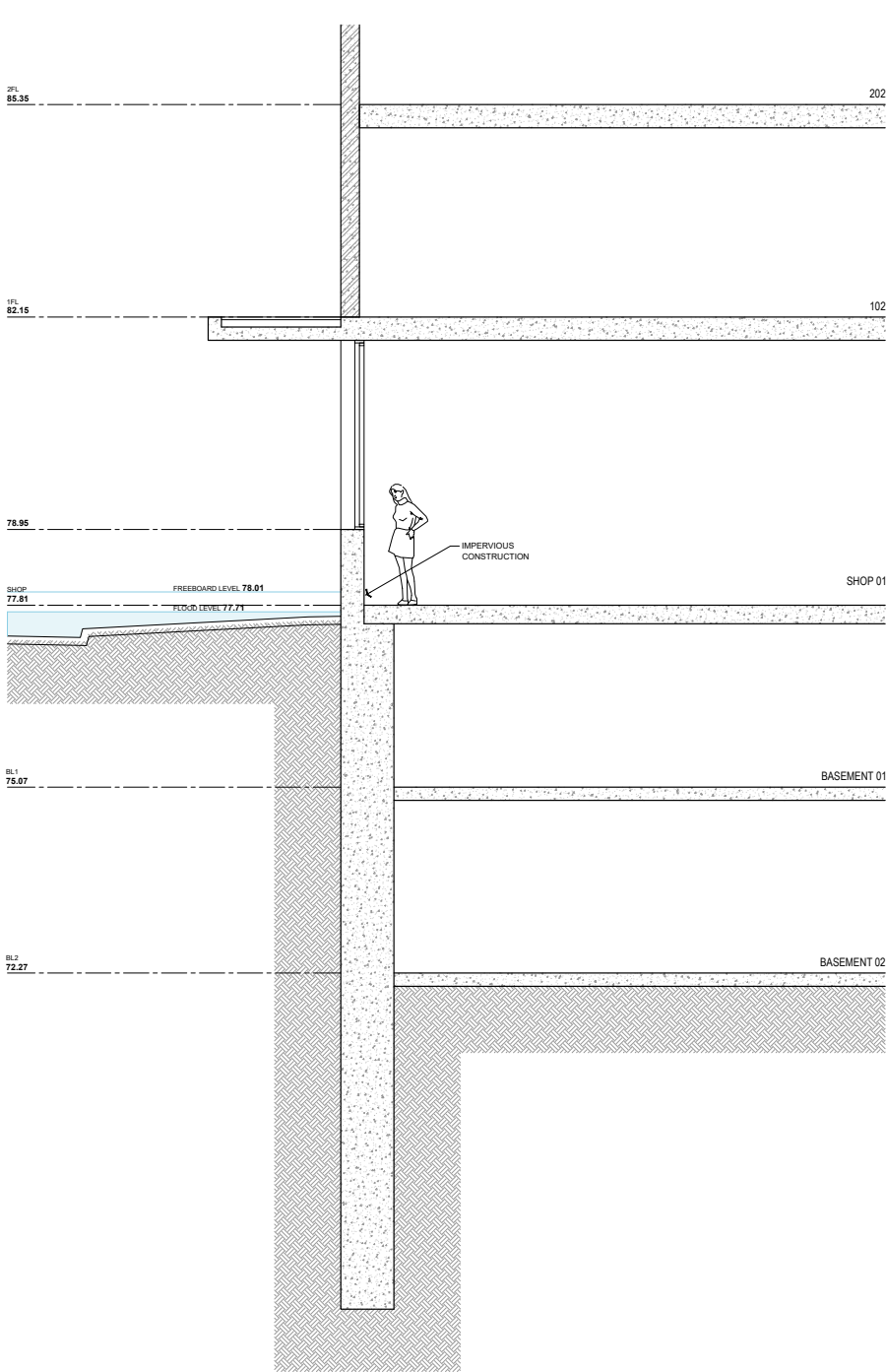
CASEMENT WINDOW
- B

BI-FOLD WINDOW
- S

SLIDING WINDOW/DOOR



SECTION E



SECTION F

2	Response to council feedback	07.02.2022
1	Planning Permit Application	20.10.2021
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721-725 High St Preston

Client McMillan Property Group

Job No. 0175

Stage Town Planning Application

Drawn MM, PS

SECTIONS

Scale 1:50 @ A1

Issue 2

Date 07.02.2022

**5.2 APPLICATION FOR A PLANNING PERMIT D/738/2020
42 ELIZABETH STREET, COBURG****Author:** Principal Planner**Reviewed By:** General Manager City Sustainability and Strategy

Applicant	Owner	Consultant
	Luciano & Helen Capozza	Daniel Bowden (SongBowden Planning)/Evangelos Mazarakis (Mazark Architects)

SUMMARY

- The application involves the construction of five (5) triple storey dwellings (including basement level) in a linear arrangement with Dwelling 1 fronting Elizabeth Street and dwellings 2-5 sited behind.
- The application also involves a waiver of one (1) visitor car parking space.
- The application also proposes the alteration of access to a Transport Zone 2 (Elizabeth Street), which is proposed through the removal of the existing crossover located along the north-west corner of the site, to be replaced with a new crossover and communal driveway which leads to five (5) double garages, each providing two (2) car spaces per dwelling. An existing street tree is to be removed to make way for the proposed crossover, which Council's Tree Management Unit has consented to, subject to conditions.
- Each dwelling is to be comprised of a basement level (including two car parking spaces per dwelling), a ground floor level each with a bedroom, ensuite, kitchen, living areas and a terrace as well as a first-floor level including two bedrooms, two ensuites and a balcony.
- The proposed dwellings provide a contemporary design with building finishes incorporating a skillion roof form and a material palette consisting of face brickwork, brick detailing, render and metal roof sheeting.
- Due to the slope and orientation of the site, the proposal incorporates a maximum building height which ranges between eight (8) and nine (9) metres overall above natural ground level.
- The site is zoned General Residential Zone – Schedule 2 (GRZ2) and is affected by the Development Contributions Plan Overlay (currently expired). The site adjoins a Transport Zone 2 for which access is proposed to be altered.
- The mandatory garden area requirement is 35% (267.75 square metres of the 765 square metre site). The proposal achieves this through providing 268 square metres of garden area.
- Restrictive covenant 1657661 is listed on the title which restricts the excavation and removal of earth, clay, stone, gravel or sand from the site, other than for the purpose of excavating for the foundations of any buildings to be erected. The proposed development therefore will not breach the terms of the covenant.
- Six (6) objections were received against this application.

- The proposal is generally consistent with the objectives and standards of Clause 55 and relevant policies within the Darebin Planning Scheme.
- It is recommended that the application be supported, subject to conditions.

CONSULTATION:

- Public notice was given via one (1) sign posted on site and letters sent to surrounding owners and occupiers.
- This application was referred internally to the following units within Council: Infrastructure and Capital Delivery, Climate Emergency and Sustainable Transport and Tree Management.
- This application was referred externally to the Head, Transport for Victoria (VicRoads).

Recommendation

That Planning Permit Application D/738/2020 be supported and a Notice of Decision to Grant a Permit be issued for the construction of five triple storey dwellings (inclusive of basement level), a reduction of the statutory car parking requirement (the waiver of one visitor car parking space) and the alteration of access to a road in a Transport Zone 2 in accordance with the endorsed plans at 42 Elizabeth Street, Coburg subject to the following conditions:

1. Before the development starts, amended plans to the satisfaction of the Responsible Authority must be submitted to, and approved by, the Responsible Authority. When approved, the plans will be endorsed and will then form part of this Permit. The plans must be drawn to scale with dimensions and must be generally in accordance with the advertised plans received by Council on 9 January 2022 (submitted in conjunction with the Section 50 Declaration for Amendment received 19 January 2022) (plans identified as TP01, TP03, TP04, TP05, TP06, TP07, dated 19 October 2021, project no. 3104-381, prepared by Mazark and Associates Architects) but modified to show:
 - (a) Dimensions of the proposed crossover delineated on all floor plans.
 - (b) A 1:20 ramp is to be provided for the first five (5) metres of the entryway.
 - (c) A comprehensive schedule of construction materials, external finishes and colours (including colour samples).
 - (d) The location of all plant and equipment (including air-conditioners, condenser units, rainwater tanks, solar panels, hot water units and the like). These are to be:
 - (i) co-located where possible;
 - (ii) located or screened to be minimally visible from the public realm;
 - (iii) air conditioners located as far as practicable from neighbouring bedroom windows or acoustically screened; and
 - (iv) integrated into the design of the building.
 - (e) The location of gas, water and electricity metres. Where metres would be visible from the public realm, these are to be:
 - (i) co-located where possible;
 - (ii) positioned on a side boundary or adjacent to the accessway; and
 - (iii) screened from view using either landscaping or durable screening that integrates with the development.

- (f) Any fencing visible from the street, other than fencing along common boundaries shared with an adjoining site, to be of a design, colour and quality of material (not timber palings) that matches the character of the development.
- (g) Any modifications required as a result of the approved Landscape Plan required by Condition No. 3 of this Permit.
- (h) Annotations detailing Tree Protection Zone(s), associated tree protection fencing and tree protection measures in accordance with the requirements of Condition No. 4 and 5 of this Permit.
- (i) The provision of adequate bicycle storage facilities for each dwelling.
- (j) Details of the Tree Protection Zones (2 metres) and Structural Roots Zones (1.5m) of Tree 2 to the north within No. 44 Elizabeth Street.
- (k) Any modifications required as a result of the approved Sustainable Design Assessment (SDA) required by Condition No. 8 of this Permit.
- (l) Any modifications required by the Stormwater Management System Plan and Water Sensitive Urban Design Plan required by Condition No. 8 of this Permit.
- (m) The provision of a Site Management Plan in accordance with Standard W3 of Clause 53.18-6 of the Darebin Planning Scheme. Refer to Condition No. 9 of this Permit.

When approved, the plans will be endorsed and form part of this Permit.

2. The development as shown on the endorsed plans must not be altered without the prior written consent of the Responsible Authority.
3. Before plans are endorsed under Condition No. 1 of this Permit, the submitted landscape plan must be amended and re-submitted to the Responsible Authority for approval. When approved, the Landscape Plan will be endorsed and will then form part of this Permit. The Landscape Plan must be amended to incorporate:
 - (a) Tree protection measures in accordance with Condition No. 4 and 5 of this Permit.
 - (b) A Tree Protection Zone (TPZ) (2 metres from the trunk edge) and Structural Roots Zone (1.5m) of Tree 2 as identified as being located within the front setback of 44 Elizabeth Street, Coburg.
 - (c) Updated landscaping works within the front setback of Dwelling 1 as well as the updated landscaping areas in lieu of the removed decking (in accordance with the proposed development plans formally submitted with the application via Section 50 Declaration received by Council on 19 January 2022).
 - (d) The landscape plan must clearly demonstrate how trees within 'confined' POS areas will successfully establish and remain viable for the long-term (adequate soil volumes, irrigation etc).
 - (e) At a minimum, the landscape plan must contain:
 - Two (2) medium canopy trees within the front setback.
 - Three (3) small 'upright' trees along the front northern boundary.
 - Five (5) small 'upright' trees within the private open space or common areas.
 - (f) A notation on plan that:
 - i. Tree 2 must be protected in accordance with Australian Standard AS4970 – 2009: **Protection of trees on development sites** and to the satisfaction of the Responsible Authority.

- ii. All works within the Tree Protection Zone must be supervised by a qualified arborist.
 - iii. Any roots uncovered must be pruned with sharp/sterile tools.
 - iv. Any fencing within TPZs must be of light timber construction with manually excavated stump holes.
 - v. Any service installation within TPZs must be bored to a minimum depth of 0.6m below existing grade. There must strictly be no 'open trench' excavation within TPZs.
 - vi. TPZs must remain at existing grade and be permeable.
 - vii. Any pruning works to Tree 2 must be undertaken by a qualified arborist in accordance with AS4373-2007.
- (g) Any modifications relating to landscaping required as a result of the Sustainable Design Assessment required by Condition No. 8 of this Permit.
 - (h) Any modifications relating to landscaping required as a result of the Water Sensitive Urban Design Plan/Report required by Condition No. 8 of this Permit.
 - (i) Details of all existing trees to be retained and all existing trees to be removed, including overhanging trees on adjoining properties and street trees within the nature strip. The genus, species, height and spread of all trees must be specified. All existing trees to be retained must be retained and protected in accordance with Australian Standards.
 - (j) A planting schedule of proposed vegetation detailing the botanical name, common name, size at maturity, pot size and quantities of all plants.
 - (k) A diversity of plant species and forms.
 - (l) Annotated graphic construction details showing all landscape applications and structures including tree and shrub planting, retaining walls, raised planter bed and decking.
 - (m) Type and details of all surfaces including lawns, mulched garden beds and permeable and/or hard paving (such as pavers, brick, gravel, asphalt and concrete) demonstrating a minimum site permeability of 20%. Percentage cover of permeable surfaces must be stated on the plan. Where paving is specified, material types and construction methods (including cross sections where appropriate) must be provided.
 - (n) Hard paved surfaces at all entry points to dwellings.
 - (o) The location of all plant and equipment as shown (including air conditioners, letter boxes, garbage bins, lighting, clotheslines, tanks, storage, bike racks and the like).
 - (p) Type and details of edge treatment between all changes in surface (e.g. grass (lawn), gravel, paving and garden beds).
 - (q) An outline of the approved building/s including any basement, the location of entry doors, windows, gates and fences.
 - (r) The location of both existing and proposed overhead and underground services. Conflicts of such services with the existing and proposed planting must be avoided.
 - (s) Clear graphics identifying trees (deciduous and evergreen), shrubs, grasses/sedges, groundcovers and climbers.
 - (t) Scale, north point and appropriate legend.

- (u) Landscape specification notes including general establishment and maintenance requirements.

The requirements of the endorsed Landscape Plan must be complied with and implemented to the satisfaction of the Responsible Authority.

The development must not be occupied, unless otherwise approved by the Responsible Authority in writing, until the landscaping works shown on the endorsed Landscape Plan are completed to the satisfaction of the Responsible Authority.

No later than seven (7) days after the completion of the landscaping, the permit holder must advise Council, in writing, that the landscaping has been completed.

The landscaping shown on the endorsed Landscape Plan must be maintained to the satisfaction of the Responsible Authority, including by replacing any dead, diseased, dying or damaged plants to the satisfaction of the Responsible Authority.

All landscaped areas must be provided with an appropriate irrigation system to the satisfaction of the Responsible Authority.

4. Before the development (including demolition) starts, tree protection fencing (TPF) must be erected in accordance with the following requirements to provide a Tree Protection Zone (TPZ):

Tree 2*	Location	TPZ (radius from the base of the tree trunk)
Small exotic specimen	Adjoining property at No. 44 Elizabeth Street (north)	2 metres
*as defined in internal referral comments from Council's Planning Arborist dated 19 March 2022		

5. The following tree protection measures must be implemented for trees identified in the table to Condition No. 4 of this Permit:

- (a) Tree protection measures must be in accordance with Australian Standard AS4970 – 2009: Protection of trees on development sites or as otherwise approved in writing by the Responsible Authority.
- (b) Tree protection fencing must be constructed of star pickets and chain mesh (or similar) to the satisfaction of the Responsible Authority. The tree protection fence must remain in place until construction is completed or unless otherwise agreed by the Responsible Authority in writing.
- (c) The tree protection fencing must be maintained at all times and may only be moved the minimum amount necessary for approved buildings and works to occur within a Tree Protection Zone (TPZ). The movement of the fencing to allow such buildings and works shall only occur for the period that such buildings and works are undertaken, after which time the full extent of the fencing must be reinstated.
- (d) Except with the written consent of the Responsible Authority:
 - (i) The area within the TPZ and Tree Protection Fencing (TPF) must be irrigated during the summer months with 1 litre of clean water for every 1cm of trunk girth measured at the soil/trunk interface on a weekly basis.
 - (ii) The area within the TPZ of Tree 2 within No. 44 Elizabeth Street adjacent the proposed works must be provided with 100mm layer of coarse mulch.

- (iii) No vehicular or pedestrian access, trenching or soil excavation is to occur within a TPZ, save for that allowed to complete the approved development.
 - (iv) No storage or dumping of tools, equipment or waste is to occur within a TPZ.
 - (e) All excavation works within the TPZ of trees within No. 44 Elizabeth Street are to be supervised by a suitably qualified arborist.
 - (f) Any pruning works must be carried out in accordance with the Australian Standard AS4373 - 2007: Pruning of Amenity Trees and undertaken by a suitably qualified arborist.
 - (g) Open space areas within the TPZ of Tree 2 within 44 Elizabeth Street adjacent the proposed works must remain at or above existing grade and remain permeable.
 - (h) Where applicable to a tree on a neighbouring lot, a TPZ only applies where it is within the site.
 - (i) Before any development (including demolition) starts, all existing vegetation shown on the endorsed plan(s) to be retained must be marked and that vegetation must not be removed, destroyed or lopped without the written consent of the Responsible Authority.
6. Tree 1 (the nature strip tree - Eucalyptus sp.) is to be removed by the owner/permit holder using a suitably qualified professional. Once removed, the Responsible Authority must be notified of the completed works. Once the Responsible Authority is notified, Council arborists will inspect the site for possible replacement planting opportunities.
7. An amenity value/tree replacement fee of \$517.00 is to be paid by the owner/permit holder to the Responsible Authority for the removal of Tree 1 (Eucalyptus sp.). This is to occur prior to the removal of Tree 1 (Eucalyptus sp.).
8. Before plans are endorsed under Condition No.1 of this Permit, the submitted ESD/SDA report (inclusive of BESS and STORM reports) must be amended and re-submitted to be approved by the Responsible Authority. When approved, the ESD/SDA will be endorsed and will then form part of this Permit. The ESD/SDA must be amended to:
- (a) Provide external operable sun shading devices (excluding roller shutters to windows that face the street or common areas at ground floor) to all west facing habitable room windows/glazed doors. Where sun shading devices are used a dimensioned section diagram or photograph must be provided.
 - (b) Outline proposed sustainable design initiatives within the development including energy efficiency, water conservation, stormwater quality, waste management and material selection. It must be clearly shown where the shading will be located on the plans and elevations. Ensure windows that have external adjustable shading can open when using the blind.
 - (c) Fixed shading to north facing windows.
 - (d) Maximise operable windows including to bathrooms, hallways and stairwells. Clearly draw and label how all windows open. Install windows that allow for greater ventilation such as louvres, casement followed by double-hung and sliding. Avoid awning windows where possible as they allow for the lowest level of ventilation.
 - (e) The trafficable areas (pedestrian paths/balconies) cannot drain to water tanks as they are connected to toilets and the water may be contaminated and could stain. As such, the provided stormwater management report must be updated accordingly.

The requirements of the endorsed SDA must be implemented and complied with to the satisfaction of the Responsible Authority.

9. Before plans are endorsed under Condition No. 1 of this Permit, a Site Management Plan to the satisfaction of the Responsible Authority must be submitted to and approved by the Responsible Authority. When approved, the Site Management Plan will be endorsed and will then form part of this Permit. The Site Management Plan must be generally in accordance with Melbourne Water's *Keeping Our Stormwater Clean – A Builder's Guide* (2002) and must describe how the site will be managed prior to and during the construction period, including requirements for:

- (a) Erosion and sediment.
- (b) Stormwater.
- (c) Litter, concrete and other construction wastes.
- (d) Chemical contamination.

The requirements of the endorsed Site Management Plan must be implemented and complied with to the satisfaction of the Responsible Authority.

10. At the completion of the constructed ground floor level(s), and before the starting of the building frame or walls, a report prepared by a licensed land surveyor to the satisfaction of the Responsible Authority must be submitted to the Responsible Authority, confirming the ground floor level(s). The report must be submitted to the Responsible Authority no later than 7 days from the date of the inspection.

The development must not be occupied until a report prepared by a licensed land surveyor to the satisfaction of the Responsible Authority is submitted to the Responsible Authority, confirming the floor level(s).

11. Before the use starts, an automatic external lighting system capable of illuminating the entry to each unit, access to each garage and car parking space and all pedestrian walkways must be provided on the land to the satisfaction of the Responsible Authority.

The external lighting must be designed, baffled and located to prevent any adverse effect on adjoining and nearby land to the satisfaction of the Responsible Authority.

12. The land must be drained to the satisfaction of the Responsible Authority.

13. All guttering, rainheads, pipes including downpipes, fixtures, fittings and vents servicing any building on the site including those associated with a balcony must be:

- (a) Concealed in service ducts or otherwise hidden from view; or
- (b) Located and designed to integrate with the development,

to the satisfaction of the Responsible Authority.

14. No plant, equipment, services or structures other than those shown on the endorsed plans are permitted above the roof level of the building/s without the prior written consent of the Responsible Authority.

15. The plant and equipment proposed on the roof of the building must be located to be minimally visible from the public realm or screened in a manner that integrates with the design of the development, to the satisfaction of the Responsible Authority.

16. The clothesline to each dwelling must be free-standing.

17. Provision must be made on the land for letter boxes and a slot for newspapers to the satisfaction of the Responsible Authority.

18. Before occupation of the development, the areas set aside for the parking of vehicles and access lanes as shown on the endorsed plan(s) must be:
- (a) Constructed;
 - (b) Properly formed to such levels that they can be used in accordance with the plans;
 - (c) Surfaced with an all-weather sealcoat;
 - (d) Drained;
- to the satisfaction of the Responsible Authority.
19. Car spaces, access lanes and driveways shown on the endorsed plans must not be used for any other purpose.
20. Before the occupation of the development, the proposed vehicular crossing must be constructed to align with approved driveways to the satisfaction of the Responsible Authority. The redundant crossing must be removed and replaced with footpath, nature strip and kerb and channel to the satisfaction of the Responsible Authority.
21. This Permit will expire if either:
- (a) The development does not start within three (3) years from the date of this Permit; or
 - (b) The development is not completed within five (5) years of the date of this Permit.
- As relevant, the Responsible Authority may extend the times referred to if a request is made in writing:
- (a) Before this Permit expires;
 - (b) Within six (6) months after the expiry date; or
 - (c) Within twelve (12) months after the expiry date if the request relates to the completion of the development or a stage of the development.

NOTATIONS

(These notes are provided for information only and do not constitute part of this permit or conditions of this permit)

- N1. Any failure to comply with the conditions of this planning permit may result in the issue of an Enforcement Order against some or all persons having an interest in the site. Non-compliance may result in legal action or the cancellation of this permit by the Victorian Civil and Administrative Tribunal (VCAT).
- N2. This planning permit is one of several approvals required before use or development is allowed to start on the site. The planning permit holder is required to obtain other relevant approvals and make themselves aware of easements and restrictive covenants affecting the site.
- N3. Amendments made to plans noted in Condition No. 1 of this Permit are the only ones that will be assessed by Council. If additional amendments are made to the development, they must be brought to the attention of Council as additional planning assessment may be required through separate planning approval.
- N4. This Planning Permit represents the planning approval for the use/and or development of the site and does not represent the approval of other Council departments or statutory authorities. Other approvals may be required before the use/and or development allowed by this planning permit starts.

- N5. Numbering on plans should be allocated in a logical clockwise direction and follow existing street number sequence. Please contact Revenue Office on 8470 8888 for further information and assistance.
- N6. This planning permit is to be attached to the “statement of matters affecting land being sold”, under Section 32 of the Sale of *Land Act 1962* and any tenancy agreement or other agreement under the *Residential Tenancies Act 1997*, for all purchasers, tenants and residents of any dwelling shown on this planning permit, and all prospective purchasers, tenants and residents of any such dwelling are to be advised that they will not be eligible for on-street parking permits pursuant to the Darebin Residential Parking Permit Scheme.

INTRODUCTION AND BACKGROUND

There have been no prior planning approvals or refusals for the site.

ISSUES AND DISCUSSION

Subject site and surrounding area

- The subject site is comprised of a regular shaped allotment with a frontage to Elizabeth Street of 15.61 metres and a maximum depth of 52.12 metres, yielding an overall site area of approximately 765 square metres.
- The land is located on the eastern side of Elizabeth Street.
- Topographically, the land slopes upwards from the Elizabeth Street frontage, with an approximate 5.5 metre fall from the eastern boundary to the street frontage.



Figure 1: Aerial image of the subject site taken from Nearmap dated 19 February 2022

- The site currently contains a single storey brick dwelling with a pitched tile roof, with a large area of secluded private open space located to the rear of the site. Access to the site is provided via a single-width driveway and crossover located along the northern boundary of the street frontage.



Figure 2: The subject site as viewed from Elizabeth Street

- The site is located approximately 20 metres from the intersection with Hodson Street, to the north.
- 44 Elizabeth Street and 11 Hodson Street interface with the subject site's northern boundary. 44 Elizabeth Street contains a post-war single storey white weatherboard and brick dwelling comprising a pitched, tiled roof. A double width crossover to Hodson Street at the eastern interface of the site provides access to a garage located within the rear of the site. Secluded private open space is located within the south-eastern corner of the site.
- 11 Hodson Street contains a double-storey sheer wall brick and render dwelling with a pitched, tiled roof. Secluded private open space is located along the southern boundary. A double width crossover is located along the site's eastern boundary.



Figure 3: 44 Elizabeth Street as viewed from the corner of Elizabeth Street and Hodson Street



Figure 4: 11 Hodson Street as viewed from Hodson Street

- To the east of the subject site is 9 Hodson Street. This site contains a post-war double storey sheer wall brown brick dwelling with a pitched, tiled roof. A double width driveway and crossover is located along the western boundary of the site and is accessed via Hodson Street. Secluded private open space is located to the south of the site.



Figure 5: 9 Hodson Street as viewed from Hodson Street

- To the south of the site is 40 Elizabeth Street. This site contains a recently constructed infill development comprising five (5) double storey townhouses in a linear arrangement (mirroring the arrangement of the development proposed for 42 Elizabeth Street). The dwellings feature a modern material palette containing light brown brick, grey render, white cladding and black framing. The development is accessed via a double width crossover and shared driveway along the southern boundary. Secluded private open space is provided along the northern and eastern boundaries of the site.



Figure 6: 1/40 Elizabeth Street (part of a 5 unit development) as viewed from Elizabeth Street

- To the west of the site (across Elizabeth Street) are 65, 67 & 69 Elizabeth Street which are single storey brick dwellings with pitched, tiled roofs in duplex arrangements.



Figure 7: The western side of Elizabeth Street opposite the subject site

Proposal

- The construction of five (5) triple storey dwellings (including basement level), a reduction in the statutory car parking requirement (one (1) visitor car parking space) and the alteration of access to a road in a Transport Zone 2.
- Dwelling 1 is to front Elizabeth Street whilst dwellings 2-5 are to be sited behind, constructed in a linear arrangement.
- All dwellings are to feature an open plan kitchen/living/dining area and bedroom with ensuite at ground floor level.

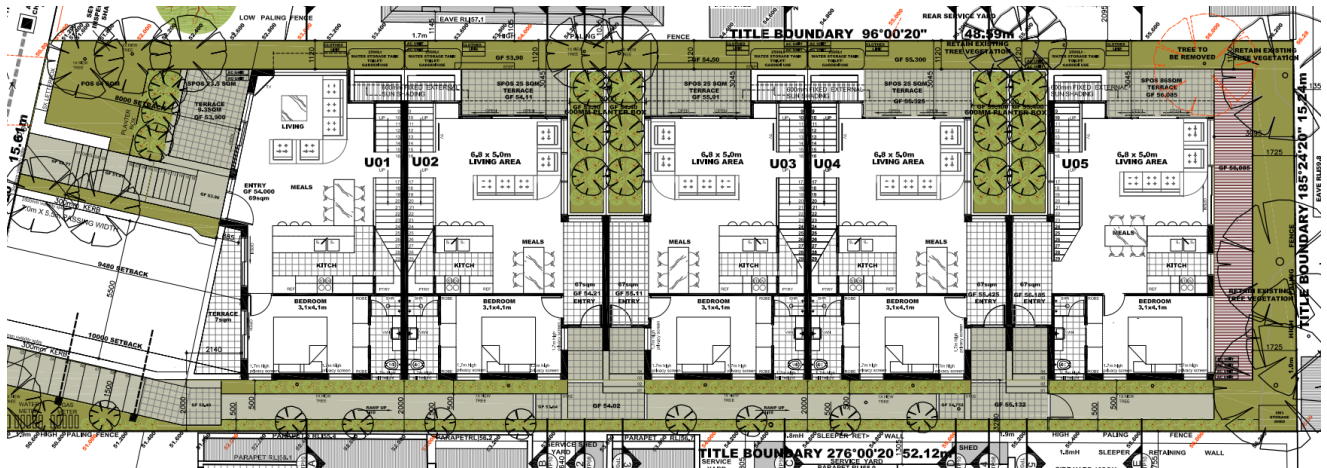


Figure 8: Proposed ground floor level

- All dwellings are to incorporate two additional bedrooms (with two ensuites) at first floor level with an open living/study area provided for dwellings 2-5.

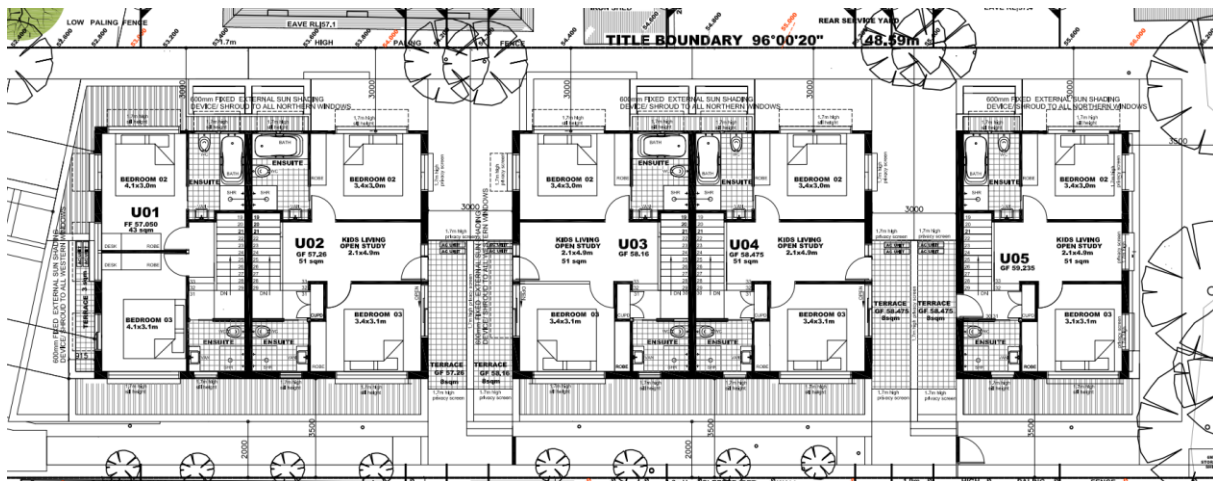


Figure 9: Proposed first floor plan

- Each dwelling is to incorporate a double car garage at basement level.

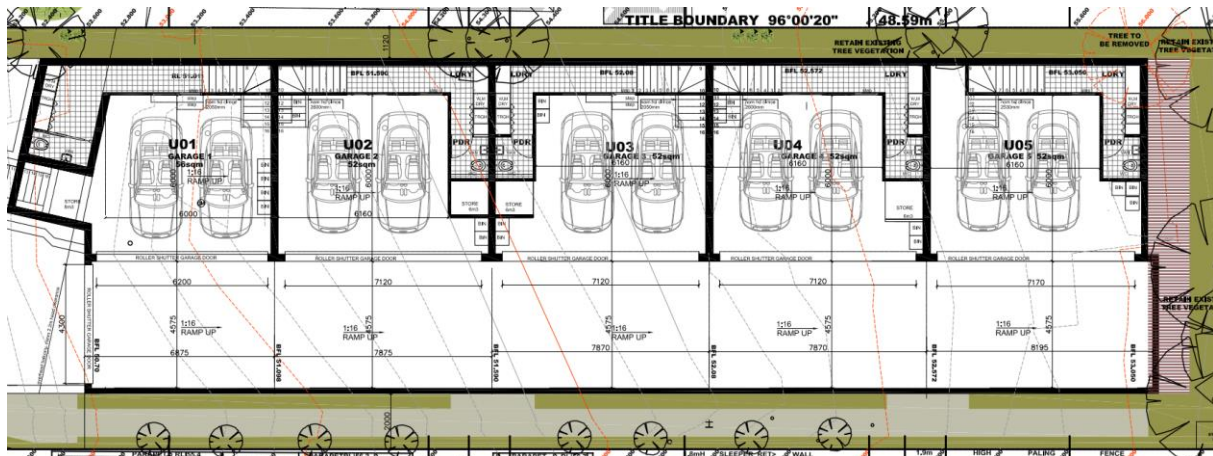


Figure 10: Proposed basement level with double car garages

- All dwellings feature a ground floor courtyard providing a minimum of 23.5 square metres of secluded private open space. Dwelling 1 includes an additional 3 square metre terrace at first-floor level, with dwellings 2-5 including an additional 8 square metre terrace each.
- Due to the increasing slope of the site due east, the development will incorporate a height of between 8 and 9 metres overall.
- The proposed dwellings provide a contemporary design with building finishes incorporating a skillion roof form and a material palette consisting of face brickwork, brick detailing, render and metal roof sheeting.
- The application also proposes the alteration of access to a Transport Zone 2 (Elizabeth Street), which is proposed through the removal of the existing crossover located along the north-west corner of the site, to be replaced with a new crossover and communal driveway which leads to five (5) double garages, each providing two (2) car spaces per dwelling. An existing street tree is to be removed to make way for the proposed crossover, which Council's Tree Management Unit has consented to, subject to conditions.





Figure 13: 3D streetscape elevation provided by Mazark Architects



Figure 14: 3D streetscape elevation provided by Mazark Architects

Objections summarised

Six (6) objections were received with the predominant concerns raised relating to the development being/incorporating:

- Contrary to neighbourhood character;
- Intrusive and dominant built-form particularly regarding the three-storey aspect;
- An overdevelopment of the site;
- Inadequate upper-level setbacks;
- A lack of car parking in relation to the requested visitor car park waiver;
- Dwelling accessibility concerns;
- Detrimental impact to the north-facing windows at 40 Elizabeth Street;
- Excessive overshadowing of the secluded private open space areas of 40 Elizabeth Street;
- Site accessway concerns;
- Safety concerns regarding the proposed dwelling entrances and pedestrian accessway;
- Unreasonable amounts of proposed secluded private open space.

Officer comment on summarised objections

Contrary to neighbourhood character

As can be seen in the assessment below, the development would be generally consistent with the existing and preferred neighbourhood character of the area.

For a development to be 'respectful' of the neighbourhood character it is not necessary to replicate the existing building forms. Rather, the notion of 'respectful' development must embrace the need for change and diversity in the type of dwellings and an increase in the intensity of development in circumstances where this is encouraged by Planning Policy and the purpose of the zone. The test of neighbourhood character under the Darebin Planning Scheme is for development to respect the existing character or to contribute to a preferred future character. This is considered having regard to the relevant policies within the Scheme (including Clause 22.02) relative to the physical context of the site. A detailed assessment of the development against the neighbourhood character considerations, such as: design, form, materials and height are addressed in the report below, with particular focus on Clause 55 of the Darebin Planning Scheme and the relevant Neighbourhood Character Precinct Guidelines.

Overdevelopment of the site and area

The consideration of a medium density development is based on its compliance with a set of criteria outlined in the Darebin Planning Scheme and not based on a subjective concern of whether or not too many units are proposed for a particular site. The Victorian State Government has a clear policy which on urban consolidation which is designed to ensure that population growth occurs in existing suburbs which are closer to services, transport and jobs than. To achieve this in practice, medium density housing in established areas is essential and a clear direction of the Victorian State Government.

Triple storey form

It is important to note that the basement level will be largely below natural ground level with limited protrusion, ensuring the proposal presents to the streetscape in such a way that largely exhibits elements of a two-storey proposal rather than a traditional three-storey development (which would otherwise entirely be set above natural ground level). See **Figure 15** below:

The proposed triple storey form, inclusive of the proposed basement level, is acceptable in the immediate context of the site.

The zoning of the land allows three (3) storeys at a maximum height of 11 metres. The proposal is three (3) storeys at a maximum overall height of between 8-9 metres and is therefore within the zoning requirements.

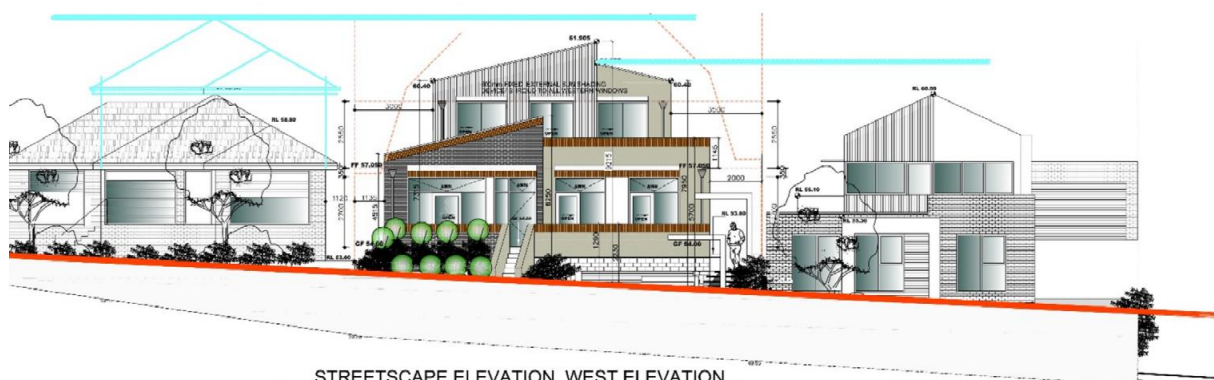


Figure 15: Proposed streetscape (west) elevation

A gradual increase in height is acceptable. Double and triple storey dwellings are a graduated increase in height over single storey forms and it has long been established that they are part of the urban fabric of the suburbs of Darebin and metropolitan Melbourne, more generally. A double storey height is low-scale and it is reasonable to expect double and triple storey heights of new dwellings in established residential areas.

Inadequate upper-level setbacks

The proposed first floor setbacks are acceptable when assessed against Precinct E3 of the Darebin Neighbourhood Character Study. The upper levels are appropriately recessed and, when coupled with the proposed skillion roof formation, ensure a softening of the ground and first-floor level forms when viewed from Elizabeth Street.

A lack a car parking in relation to the requested visitor car park waiver

The application proposes a reduction of one (1) car space, a visitor car parking space. The reduction is adequately compensated through the availability of alternative transport options in close proximity to the site, including bus route 527 which runs along Elizabeth Street (the closest bus stop is approximately 110 metres from the subject site) as well as Preston Railway Station located approximately 1.5 kilometres from the subject site. Additionally, on-street car parking is available along this section of Elizabeth Street. Further, the proposal has been referred to Council's traffic engineers who have no objection to the proposed car parking waiver.

Dwelling accessibility concerns

Each of the proposed dwellings incorporate a ground floor level which includes a living, kitchen and recreational space which is accessible from the point of entry, as well as the master bedroom with adaptable ensuite features. The floor plan layout therefore allows for access for persons with limited mobility.

Detrimental impact to the north-facing windows at 40 Elizabeth Street

The application has been assessed against Clause 55.04-4 (North-facing windows objective – Standard B20) of the Darebin Planning Scheme and complies. This is discussed within the 'planning assessment' section of this report.

Excessive overshadowing of the secluded private open space areas of 40 Elizabeth Street

The submitted shadow diagrams demonstrate that the proposal complies with the requirements of Clause 55. At least 75 per cent, or 40 square metres with a minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space located within each of the units of 40 Elizabeth Street will receive a minimum of five hours of sunlight between 9am and 3pm on 22 September.

Site accessway concerns

The application has been referred internally to Council's traffic engineers as well as externally to the Head, Transport for Victoria. Neither objected to the proposal nor raised any concerns having regards to the proposed site accessway. Council's traffic engineers have recommended the implementation of a 1:20 ramp for the first five metres of the entryway which will be included as a condition of approval.

Safety concerns regarding the proposed dwelling entrances and pedestrian accessway

The proposed dwelling entries will be clearly identifiable from the common accessway as well as from the Elizabeth Street frontage. Further, the dwelling entries provide both shelter and a sense of address as required within Clause 55.05-2 (Dwelling entry objective – Standard B26) of the Darebin Planning Scheme.

Unreasonable amount of proposed secluded private open space to each dwelling

The development complies with Clause 55.05-4 (Private open space objective – Standard B28) of the Darebin Planning Scheme, as all dwellings feature a ground floor courtyard providing a minimum of 23.5 square metres of secluded private open space. Dwelling 1 includes an additional 3 square metre terrace at first-floor level, with dwellings 2-5 including an additional 8 square metre terrace.

PLANNING ASSESSMENT**Clause 32.08-4 General Residential Zone Requirements**Minimum Garden Area

The mandatory minimum garden area requirement for construction or extension of a dwelling or residential building on a lot is as follows:

Lot Size	Minimum percentage of a lot set aside as garden area	Garden area provided
Above 650 sqm	35% (267.75 sqm)	35% (268 sqm)

Maximum Building Height Requirement for a Dwelling or Residential Building

Under the General Residential Zone, a dwelling or residential building must not exceed three (3) storeys or a maximum building height of 11 metres.

The proposal comprises three (3) storeys (inclusive of a basement level) and a maximum height which deviates between 8-9 metres along the increasing slope of the land, due east.

Neighbourhood Character Precinct Guideline Assessment - Precinct E3Existing Buildings

The existing dwelling is not one which is protected under any specific overlay of the Darebin Planning Scheme in relation to proposed demolition works (such as a Heritage Overlay). Further, the dwelling currently located on the subject site is not one which provides a specific contribution to the existing neighbourhood character of the streetscape. The proposed development will replace a currently existing low-density dwelling with five (5) medium density dwellings subsequently increasing housing supply and choice for residents within the municipality of Darebin and the wider metropolitan area of Melbourne.

Complies

Vegetation

- A landscape plan has been submitted with the application which provides for the retention of a specific tree (noted as Tree 2) located on the neighbouring property to the north at 44 Elizabeth Street. Conditions of any approval will ensure that tree protection is fully considered as part of the development proposal. This should be able to occur without resulting in any significant impacts to the layout.
- Further, the submitted landscape plan provides for the planting of new vegetation, including various groundcovers, tussocks, small to medium shrubs, large shrubs, shade trees and feature trees. The application has since been amended since the drafting of the proposed landscape plan to include additional landscaping opportunities. Namely, these are in the form of the removal of the decks in between the dwellings which have been replaced with additional planting, assisting in breaking up the built form as viewed from the north. Further planting has also been provided within the front setback for a more layered approach. See **figures 16** and **17** below. A condition of approval will include for the proposed landscape plan to be updated to include the most recent alterations to the plans in relation to the additional landscaping provided.

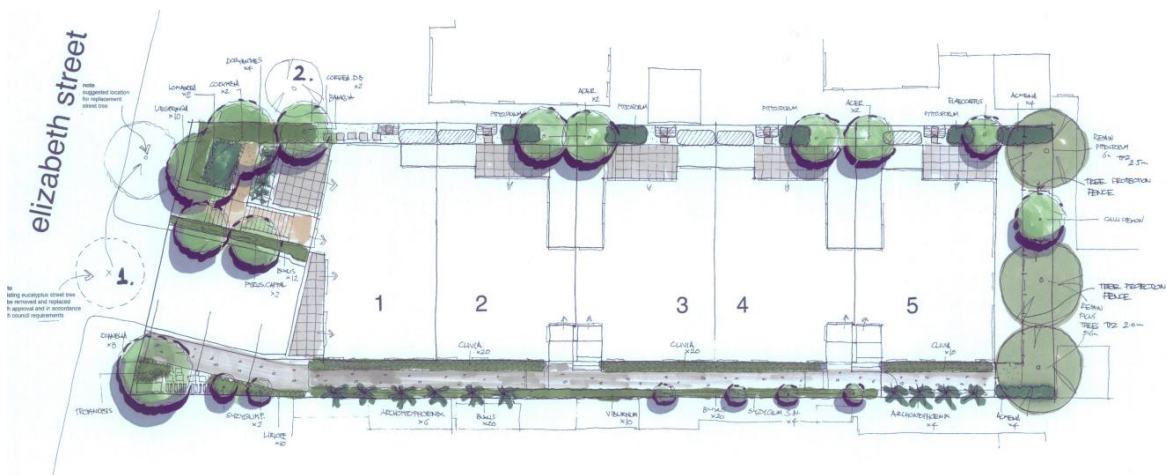


Figure 16: Proposed landscape plan

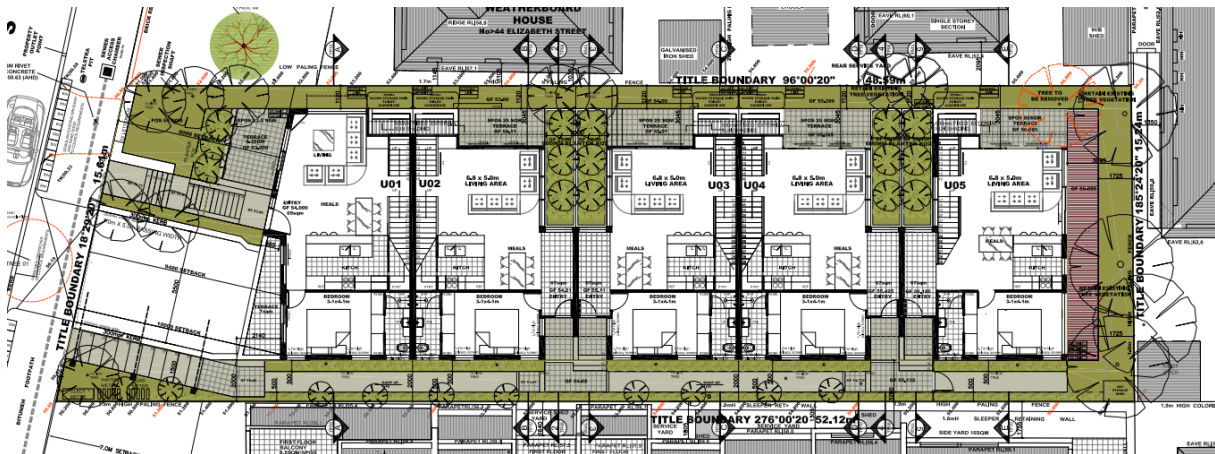


Figure 17: Proposed ground floor plan which includes additional landscaping (when compared to the previously submitted landscape plan found in Figure 16).

Complies subject to condition.

Siting

- The proposed 8 metre setback (increasing to a 10-metre setback to the south) to Elizabeth Street for Dwelling 1 will allow for a satisfactory space to accommodate a suitable landscaped area (refer to **Figure 16** above).
- The dwellings are all setback from each of the side and rear boundaries ensuring an adequate distance and streetscape pattern is continued and not negatively altered as a result of the proposal.
- The proposed car parking structures will not create a visual dominance when viewed from the streetscape. The proposed crossover to Elizabeth Street provides access to a common basement level and in turn leads to five double garages (one to each dwelling), each tucked away from view so as not to cause negative visual dominance in terms of possible views from Elizabeth Street.

CompliesHeight and building form

- Dwellings in the area are a combination of both single and double storey.
- The proposed dwellings are triple storey (including basement level) and the upper floors are not set back one (1) room from the ground floor, as preferred in Precinct E3. Nevertheless, this is acceptable, as the upper floors are articulated through materials and openings as well as (most prominently) through the utilisation of skillion roof formations at both ground and first-floor levels. The dwellings have been designed to minimise bulk, through articulation, lightweight first floor materials and separation between upper floor levels. The form, modulation and setback of the proposal is also reflective of the emerging streetscape character including the recent double storey townhouse development located on the neighbouring site at 40 Elizabeth Street.
- Although the proposal is an overall three-storey proposal, this is inclusive of the proposed basement level, excavated below ground floor level. The limited level of protrusion of the proposed basement will ensure that the development does not present to the streetscape in the same way for which a traditional three-storey proposal would (with all three storeys constructed above natural ground level), given that the basement level protrusion above natural ground level is minimal.

Complies subject to variationMaterials and design detail

- Articulation in the façade is achieved through setbacks, a skillion roof form and a material palette consisting of face brickwork, brick detailing, render and metal roof sheeting.
- The use of brickwork is characteristic of the street and the character of the older building stock in the area.
- The material palette is appropriate and the design and materials respect the character of dwellings in the area.

Complies

Front boundary treatment

Not applicable as no front fence is proposed.

Complies**Clause 55 Assessment**

The following sections provide discussion on fundamental areas of Clause 55 including variations of standards and matters informing conditions of the recommendation above.

Clause 55.02-1 B1 – Neighbourhood Character

The zoning of the land allows three (3) storeys at a maximum height of 11 metres. The proposal is three (3) storeys (inclusive of a basement level) at a maximum height altering between 8 and 9 metres as the development follows the slope of the land, therefore falling well within the associated zoning requirements.

It is evident that the proposal provides for a development which exceeds the height of existing dwellings found within close proximity of the subject site. However, the design response is one which respects the existing neighbourhood character in relation to scale, spacing between buildings, roof forms and materiality as well as overall height and streetscape presentation. The proposal provides five contemporary dwellings with satisfactory private open space provision and double garages located to ensure car parking structures do not dominate the streetscape.

The three-storey element of the proposal is lessened through the inclusion of a basement level which is to be constructed through the excavation of the site. The basement level will be largely below natural ground level with limited protrusion, ensuring the proposal presents to the streetscape in such a way that exhibits elements of a two-storey proposal rather than a typical three-storey development (which would otherwise entirely be set above natural ground level). See **Figure 18** below. The proposal will contribute to the preferred neighbourhood character in line with neighbourhood policy.

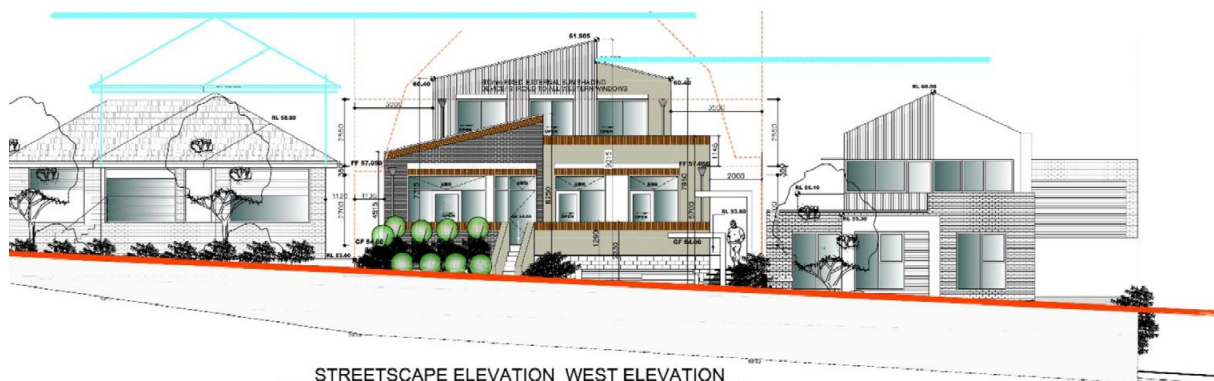


Figure 18: Proposed streetscape (west) elevation

Complies**Clause 55.03-1 B6 Street setback**

A variation is sought to the above standard. The development proposes a minimum 8 metre front setback with the numerical requirement of Standard B6 being 9.45 metres (with the street setback of No. 44 Elizabeth Street as 11.9 metres, and the street setback of 1/40 Elizabeth Street being 7 metres).

The proposed front setback is between 8 metres to 10 metres, ensuring that the development partly complies with the associated numerical requirement whilst also complying with the objectives of Clause 55.03-1 which seek to respect the existing or preferred dwelling character of the area (see **Figure 19** below):

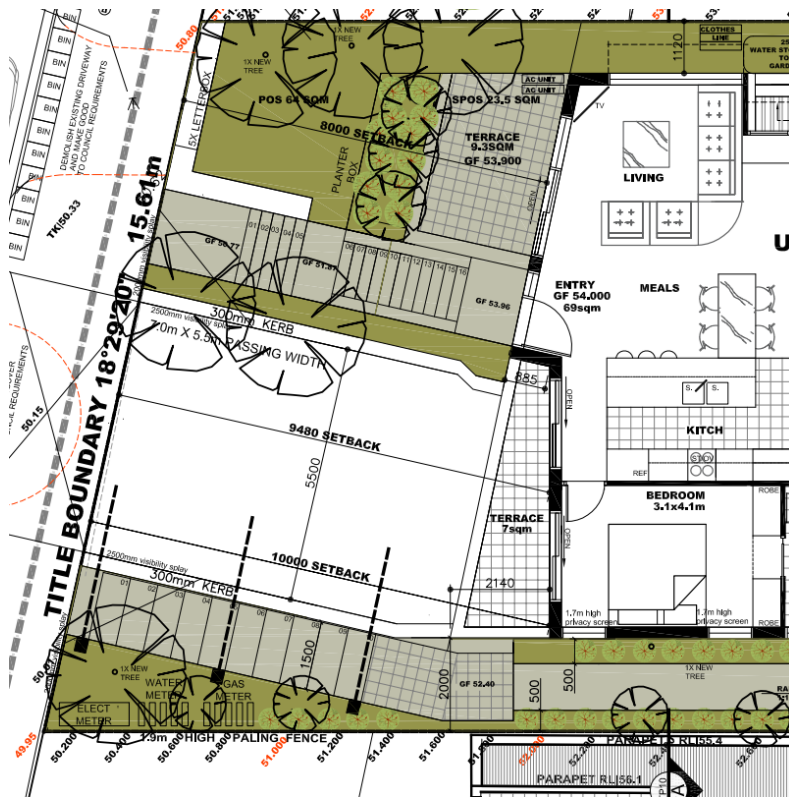


Figure 19: The varying streetscape setback ranging from 8 to 10 metres along the front boundary of the site

The varied front setback, as well as the proposed landscaping works within the front setback, will accord with the surrounding dwellings and will ensure that the minor variation, coupled with the stepped frontage, will not feature as a dominant element within the streetscape. The proposed minor variation is acceptable from a neighbourhood character perspective and whilst Standard B6 is not met, the associated objectives are.

Complies subject to variation

Clause 55.04-3 B19 Daylight to existing windows

The following assessment details compliance with the above standard:

Dwelling 1

The 5.765 metre ground floor parapet height along the southern elevation of Dwelling 1 requires a setback of 2.88 metres from the windows at 1/40 Elizabeth Street.

The 7.76 metre first floor parapet height along the southern elevation of Dwelling 1 requires a setback of 3.88 metres from the windows at 1/40 Elizabeth Street.

Dwelling 1 achieves a minimum setback of 3.64 metres at ground floor and 5.14 metres at first floor from the habitable room windows at 1/40 Elizabeth Street. This meets and exceeds the above standard requirements.

Dwelling 2

The 4.405 metre ground floor parapet height along the southern elevation of Dwelling 2 requires a setback of 2.20 metres from the windows at 2/40 Elizabeth Street.

The 8.35 metre first floor parapet height along the southern elevation of Dwelling 2 requires a setback of 4.175 metres from the windows at 2/40 Elizabeth Street.

Dwelling 2 achieves a minimum setback of 3.64 metres at ground floor and 5.14 metres at first floor from the habitable room windows at 2/40 Elizabeth Street. This meets and exceeds the above standard requirements.

Dwelling 3

The 5.28 metre ground floor parapet height along the southern elevation of Dwelling 3 requires a setback of 2.64 metres from the windows at 3/40 Elizabeth Street.

The 7.245 metre first floor parapet height along the southern elevation of Dwelling 3 requires a setback of 3.62 metres from the windows at 3/40 Elizabeth Street.

Dwelling 3 achieves a minimum setback of 3.805 metres at ground floor and 5.305 metres at first floor from the habitable room windows at 3/40 Elizabeth Street. This meets and exceeds the above standard requirements.

Dwelling 4

The 4.185 metre ground floor parapet height along the southern elevation of Dwelling 4 requires a setback of 2.09 metres from the windows at 4/40 Elizabeth Street.

The 8.075 metre first floor parapet height along the southern elevation of Dwelling 4 requires a setback of 4.038 metres from the windows at 4/40 Elizabeth Street.

Dwelling 4 achieves a minimum setback of 3.305 metres at ground floor and 4.805 metres at first floor from the habitable room windows at 4/40 Elizabeth Street. This meets and exceeds the above standard requirements.

Dwelling 5

The 4.975 metre ground floor parapet height along the southern elevation of Dwelling 5 requires a setback of 2.49 metres from the windows at 5/40 Elizabeth Street.

The 7.415 metre first floor parapet height along the southern elevation of Dwelling 5 requires a setback of 3.708 metres from the windows at 5/40 Elizabeth Street.

Dwelling 4 achieves a minimum setback of 3.755 metres at ground floor and 5.255 metres at first floor from the habitable room windows at 5/40 Elizabeth Street. This meets and exceeds the above standard requirements.

CompliesClause 55.04-4 B20 North-facing windows

The following assessment details compliance with the above standard:

Dwelling 1

The 7.76 metre maximum parapet height of Dwelling 1's southern elevation requires a minimum 3.84 metre setback from any north facing habitable room windows at 1/40 Elizabeth Street.

A setback of 5.14 metres is provided, which meets and exceeds the above standard requirements.

Dwelling 2

The 8.35 metre maximum parapet height of Dwelling 2's southern elevation requires a minimum 4.43 metre setback from any north facing habitable room windows at 2/40 Elizabeth Street.

A setback of 5.14 metres is provided, which meets and exceeds the above standard requirements.

Dwelling 3

The 7.245 metre maximum parapet height of Dwelling 3's southern elevation requires a minimum 3.325 metre setback from any north facing habitable room windows at 3/40 Elizabeth Street.

A setback of 5.305 metres is provided, which meets and exceeds the above standard requirements.

Dwelling 4

The 8.075 metre maximum parapet height of Dwelling 4's southern elevation requires a minimum 4.155 metre setback from any north facing habitable room windows at 4/40 Elizabeth Street.

A setback of 4.805 metres is provided, which meets and exceeds the above standard requirements.

Dwelling 5

The 7.415 metre maximum parapet height of Dwelling 5's southern elevation requires a minimum 3.495 metre setback from any north facing habitable room windows at 5/40 Elizabeth Street.

A setback of 5.255 metres is provided, which meets and exceeds the above standard requirements.

CompliesClause 55.04-6 B22 Overlooking

The development has been designed to limit unreasonable overlooking as upper-storey habitable room windows are to feature sill heights of 1.7 metres above finished floor level. As such, the development meets Standard B22.

Complies

Clause 55.05-4 B28 Private Open Space

The development provides adequate areas of secluded private open space. These are provided in the form of two terraces to Dwelling 1 (one at ground floor and one at first-floor) with the ground floor terrace providing 23.5 square metres of secluded private open space and the first-floor terrace providing 7 square metres. Dwellings 2-5 each incorporate a terrace of 25 square metres in area.

Complies**Clause 52.06 Car Parking**Number of Parking Spaces Required

Two (2) car parking spaces are provided for each of the dwellings in the form of five (5) double garages. A waiver of the one (1) recommended visitor car parking space is being sought in conjunction with this application.

The proposed waiver is acceptable due to the varying alternative transport options within close proximity of the subject site including Bus Route 427 and Preston Railway Station, as well as the availability of on-street car parking along this section of Elizabeth Street.

Reduction of one space supportedDesign Standards for Car parking

The car parking spaces, double garages and the accessways have appropriate dimensions to enable efficient use and management.

The car parking facilities are designed, surfaced and graded to reduce run-off and allow stormwater to drain into the site.

The open studies to dwellings 2-5 have dimensions that would adequately restrict their use as bedrooms.

The double garage dimensions of 6.0 metres length x 6.0 metres width comply with the minimum requirements of the standard.

Access dimensions to the car spaces comply with the standard.

A 1:20 ramp is required for the first five metres to increase safety for pedestrians, which has been included as a condition of this permit.

Complies subject to condition

Clause 53.18 Stormwater Management in Urban DevelopmentClause 53.18-5 – Standard W2 – Buildings and Works

A STORM analysis has been provided with the application, that demonstrates a 100% STORM rating and suitable WSUD strategies.

Council's ESD Officer has outlined that the trafficable areas (pedestrian paths/balconies) cannot drain to water tanks as they are connected to toilets and the water may be contaminated and could stain. As such a condition of approval requires that the provided stormwater management report must be updated accordingly.

Complies subject to condition

Clause 53.18-5 – Standard W3 – Site Management

The requirement for a site management plan to manage and protect drainage infrastructure from receiving sedimentation and contamination on site will be addressed by condition.

Complies subject to condition

CLAUSE 55 COMPLIANCE SUMMARY

Clause	Std		Compliance	
			Std	Obj
55.02-1	B1	Neighbourhood character		
		Please see assessment in the body of this report.	Y	Y
55.02-2	B2	Residential policy		
		The proposal complies with the relevant residential policies outlined in the Darebin Planning Scheme.	Y	Y
55.02-3	B3	Dwelling diversity		
		N/A as development contains less than 10 dwellings / At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin has been included at ground floor level.	N/A	N/A
55.02-4	B4	Infrastructure		
		Adequate infrastructure exists to support new development	Y	Y
55.02-5	B5	Integration with the street		
		Dwelling 1 maintains integration with Elizabeth Street.	Y	Y
55.03-1	B6	Street setback		
		Please see assessment in the body of this report.	N	Y
55.03-2	B7	Building height		
		The building height ranges from 8-9 metres.	Y	Y
55.03-3	B8	Site coverage		
		The proposed overall site coverage of 55% meets the standard and objective.	Y	Y
55.03-4	B9	Permeability		
		The proposed permeability of 25% exceeds the	Y	Y

Clause	Std		Compliance	
		minimum requirement.		
55.03-5	B10	Energy efficiency		
		Dwellings are generally energy efficient and will not unreasonably impact adjoining properties.	Y	Y
55.03-6	B11	Open space		
		N/A as the site does not abut public open space.	N/A	N/A
55.03-7	B12	Safety		
		The proposed development is secure and the creation of unsafe spaces has been avoided.	Y	Y
55.03-8	B13	Landscaping		
		Adequate areas are provided for appropriate landscaping and a landscape plan submitted. A condition has been placed on this permit requiring the landscape plan be amended and re-submitted to be approved.	Y	Y
55.03-9	B14	Access		
		Access is sufficient and respects the character of the area.	Y	Y
55.03-10	B15	Parking location		
		Parking facilities are proximate to the dwellings they serve, the access is observable, habitable room windows are sufficiently set back from accessways.	Y	Y
55.04-1	B17	Side and rear setbacks		
		Dwellings are set back in accordance with the requirements of this standard.	Y	Y
55.04-2	B18	Walls on boundaries		
		N/A – No walls on boundaries are proposed.	N/A	N/A
55.04-3	B19	Daylight to existing windows		
		Sufficient setbacks exist to allow adequate daylight – please see assessment section of this report.	Y	Y
55.04-4	B20	North-facing windows		
		The proposed development is set back in accordance with the standard - please see assessment section of this report.	Y	Y
55.04-5	B21	Overshadowing open space		
		Shadow cast by the development is within the parameters set out by the standard.	Y	Y
55.04-6	B22	Overlooking		
		Please see assessment in the body of this report.	Y	Y
55.04-7	B23	Internal views		
		There are no internal views	Y	Y
55.04-8	B24	Noise impacts		
		Noise impacts are consistent with those in a residential zone.	Y	Y

Clause	Std		Compliance	
55.05-1	B25	Accessibility		
		The ground levels of the proposal can be made accessible for people with limited mobility.	Y	Y
55.05-2	B26	Dwelling entry		
		Entries to the dwellings are identifiable and provide an adequate area for transition.	Y	Y
55.05-3	B27	Daylight to new windows		
		Adequate setbacks are proposed to allow appropriate daylight access.	Y	Y
55.05-4	B28	Private open space		
		Please see assessment in the body of this report.	Y	Y
55.05-5	B29	Solar access to open space		
		Sufficient depth is provided for adequate solar access.	Y	Y
55.05-6	B30	Storage		
		Sufficient storage areas are provided.	Y	Y
55.06-1	B31	Design detail		
		Design detail of dwellings is appropriate in the neighbourhood setting.	Y	Y
55.06-2	B32	Front fences		
		No front fence is proposed which is acceptable.	Y	Y
55.06-3	B33	Common property		
		Common property areas are appropriate and manageable.	Y	Y
55.06-4	B34	Site services		
		Sufficient areas for site services are provided.	Y	Y

REFERRAL SUMMARY

Department/Authority	Response
Infrastructure and Capital Delivery	<p>Comments received 21 December 2020:</p> <p><i>The stormwater from the property to be connected to the existing 300mm underground drain at front in Elizabeth Street to Council requirements with the discharge from the whole site being limited via on site detention system to Council requirements. (Drainage via gravity only. No pump systems permitted). Accurate depth and offset of the drain to be confirmed on site.</i></p> <p><i>The OSD is to limit the rate of stormwater discharge from the property based on $C_w=0.4$, $T_c=10\text{mins}$, $T_{so}=5\text{ min}$, ARI 1in5. An ARI of 1in10 shall be used for storage and the greater of post development C_w or $C_w=0.80$.</i></p> <p><i>Accurate depth and offset of the drain to be confirmed on site.</i></p>

Department/Authority	Response
	<p>Computations & retention and design plans are required to be submitted to this office for compliance with legal point of discharge via online portal only (not email) at https://darebincouncil.wufoo.com/forms/stormwater-drainage-plan-application/.</p>
<p>Climate Emergency and Sustainable Transport</p>	<p>Comments received 16 December 2020:</p> <ul style="list-style-type: none"> Units 2-4 are considered to be 3 bedroom dwellings so will require 2 car parking spaces each. Council would prefer to see a 1:20 ramp for the first 5 metres so as to increase safety for pedestrians. Details of the proposed crossover are to be shown on the floor plans.
<p>Tree Management</p>	<p>Comments received 19 March 2022:</p> <p>No arborist report has been reviewed as part of this application.</p> <p>Tree 1 – is a native specimen of fair overall condition which is located within the Elizabeth St road reserve. Whilst no impact is expected from the proposed development it must be protected through all stages of works.</p> <p>Tree 2 – is a small exotic specimens located on the adjoining northern property.</p> <ul style="list-style-type: none"> All works within the TPZ must be supervised by a qualified arborist. <p>Site Trees – are small to moderate sized specimens located within the subject site. Their removal and replacement is generally supported.</p> <p>Recommendations/Conditions:</p> <p>Tree 1 - must be retained with a TPZ of 3.0m from the respective trunk edge. Protection fencing <u>must</u> be installed around the tree prior to any work on-site. Fencing must remain in place for the duration of construction and be installed in accordance with Australian Standard AS4970 – 2009: Protection of trees on development sites and to the satisfaction of the Responsible Authority.</p> <p>Tree 2 - must be retained with a TPZ of 2.0m from the trunk edge. The tree must be protected in accordance with Australian Standard AS4970 – 2009: Protection of trees on development sites and to the satisfaction of the Responsible Authority.</p> <ul style="list-style-type: none"> All works within TPZs must be supervised by a qualified arborist <ul style="list-style-type: none"> Any roots uncovered must be pruned with sharp/sterile tools Any fencing within TPZs must be of light timber

Department/Authority	Response
	<p><i>construction with manually excavated stump holes</i></p> <ul style="list-style-type: none"> Any service installation within TPZs must be bored to a minimum depth of 0.6m below existing grade. <u>There must strictly be no 'open trench' excavation within TPZs</u> TPZs must remain at existing grade and be permeable Any pruning works to Tree 1 must be undertaken by the responsible authority Any pruning works to Tree 2 must be undertaken by a qualified arborist in accordance with AS4373-2007 <p><u>Tree numbers, Tree Protection Zones and the methods of tree protection must be clearly notated on all plans.</u></p> <p>Tree Protection Local Law:</p> <ul style="list-style-type: none"> N/A <p>Replacement/Landscape Planting:</p> <ul style="list-style-type: none"> 2x medium canopy trees within the front setback 3x small 'upright' trees along front northern boundary 5x small 'upright' trees within POS or Common areas <p><i>Landscape plan must clearly demonstrate how trees within 'confined' POS areas will successfully establish and remain viability for the long-term (adequate soil volumes, irrigation etc).</i></p> <p>Revised advice received on 8 December 2021:</p> <p><i>The nature strip tree (Eucalyptus sp.) is of low retention value and can be removed to facilitate the proposed crossover on the condition that an amenity value / tree replacement fee of \$517 is paid by the applicant. The applicant is responsible for the removal of the tree, using a suitably qualified professional. After Council is notified that all works are complete, we will inspect the site for possible replacement planting opportunities.</i></p>
Council's ESD Officer	<p>Comments received 17 December 2020:</p> <p><i>Provide external operable sun shading devices (excluding roller shutters to windows that face the street or common areas at Ground Floor) to all west facing habitable room windows/ glazed doors. Where sun shading devices are used a dimensioned section diagram or photograph must be provided. Clearly draw and label where the shading will be located on the plans and elevations. Ensure windows that have external adjustable shading can open when using the blind.</i></p> <p><i>Fixed shading to north facing windows.</i></p> <p><i>Maximise operable windows including to bathrooms, hallways</i></p>

Department/Authority	Response
	<p><i>and stairwells. Clearly draw and label how all windows open. Install windows that allow for greater ventilation such as louvres, casement followed by double-hung and sliding.</i></p> <p><i>Avoid awning windows where possible as they allow for the lowest level of ventilation.</i></p> <p><i>STORM – trafficable areas (pedestrian paths/balconies) cannot drain to water tanks as they are connected to toilets and the water may be contaminated and could stain.</i></p>
The Head, Transport for Victoria (VicRoads)	<p>Comments received 11 January 2021:</p> <p><i>The Head, Transport for Victoria has considered this application and does not object to the grant of a permit.</i></p>

PLANNING SCHEME SUMMARY

Darebin Planning Scheme clauses under which a permit is required

- Clause 32.08 – 6 – Construct two (2) or more dwellings on a lot.
- Clause 52.29-2 - Create or alter access to a road in a Transport Zone 2.
- Clause 52.06-3 - Reduce (including to zero) the number of car parking spaces required under Clause 52.06-5 (waiver of one visitor car space).

Applicable provisions of the Darebin Planning Scheme

Section of Scheme	Relevant Clauses
SPPF	11.02-1, 15.01-1, 15.01-5, 15.02, 16.01, 19.03-1
LPPF	21.03, 21.05, 22.02, 22.12
Zone	32.08
Overlay	45.06 (expired)
Particular provisions	52.06, 52.29, 53.18, 55
General provisions	65.01
Neighbourhood Character Precinct	E3

POLICY IMPLICATIONS

Environmental Sustainability

All new dwellings are required to achieve a minimum six (6) star energy rating under the relevant building controls.

Social Inclusion and Diversity

Nil

Other

Nil

FINANCIAL AND RESOURCE IMPLICATIONS

There are no financial or resource implications as a result of the determination of this application.


FUTURE ACTIONS

Nil

RELATED DOCUMENTS

- Nil

Attachments

- Advertised Plans - 42 Elizabeth Street, Coburg (**Appendix A**) [↓](#) 

DISCLOSURE OF INTEREST

Section 130 of the *Local Government Act 2020* requires members of Council staff and persons engaged under contract to provide advice to Council to disclose any conflicts of interest in a matter to which the advice relates.

The Officer reviewing this report, having made enquiries with relevant members of staff, reports that no disclosable interests have been raised in relation to this report.

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42 ELIZABETH STREET COBURG 3058 VIC.

5 TOWNHOUSE DEVELOPMENT

PROJECT SUMMARY:

AREA ANALYSIS

DWELLING/UNIT	U1	U2	U3	U4	U5	
BASEMENT LEVEL	56	52	52	52	52	
GROUND FLOOR LEVEL	69	67	67	67	67	
FIRST FLOOR LEVEL	43	51	51	51	51	
DWELLING SUBTOTAL	168	170	170	170	170	
SPOS GROUND FLOOR	9.3	25	25	25	86	
SPOS FIRST FLOOR TERRACE	3	8	8	8	8	
PRIVATE OPEN SPACE	64					
NUMBER OF CARS	2	2	2	2	2	
NUMBER OF BEDROOMS	3	3	3	3	3	
NUMBER OF BATHROOMS	3	3	3	3	3	

SITE AREA ANALYSIS

SITE AREA	765 sqm	
SITE COVERAGE	422 / 765 sqm	55%
PERMEABILITY	190 / 765 sqm	25%
GARDEN AREA	267 / 765 sqm	35%
WATER HARVESTING AREA	358 / 765 sqm	5X 2400lt WATER TANKS 47%

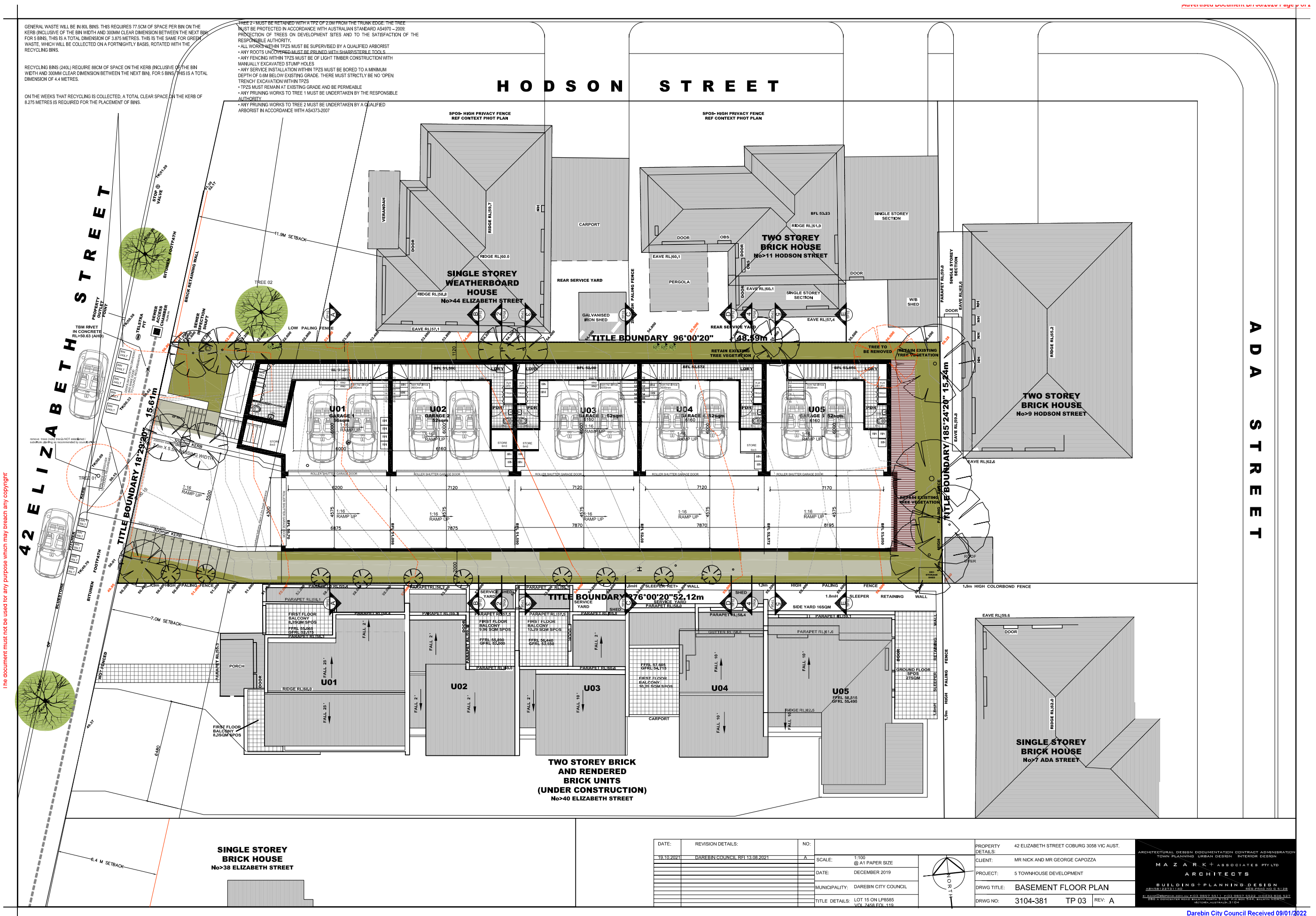
PROJECT CONSULTANTS

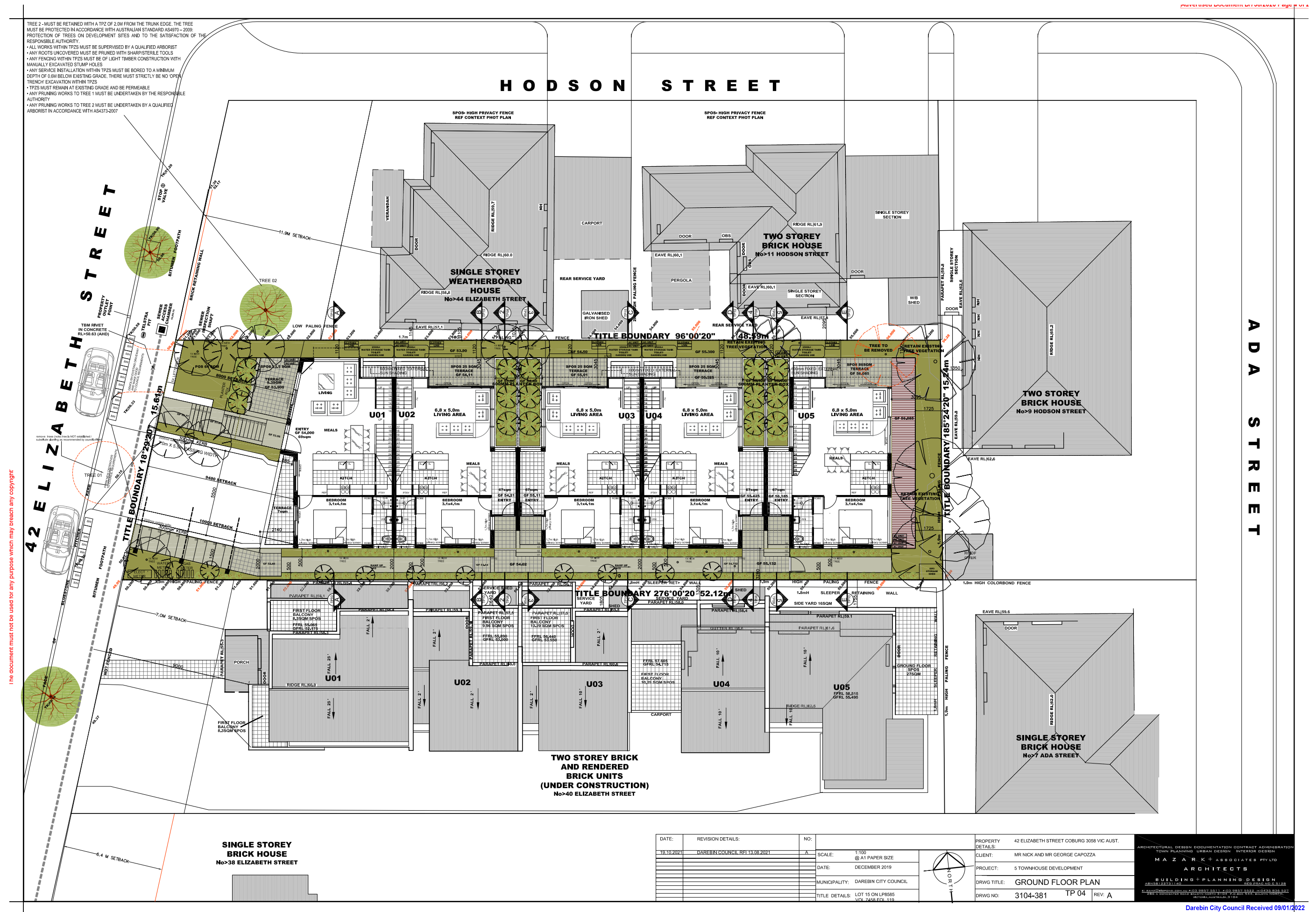
MAZARK	ARCHITECTS
SONG BOWDEN	TOWN PLANNERS
EB TRAFFIC	TRAFFIC ENGINEERS
ENERGY LAB	ENVIRONMENTAL SUSTAINABLE DESIGN
R BLIEM	STRUCTURAL CIVIL ENGINEERING
HABITAT	LANDSCAPE ARCHITECTS
MQS	QUANTITY SURVEYORS
METRO	BUILDING SURVEYORS
STATEWIDE	GEOTECHNICAL ENGINEERS
PSY ARBORCULTURAL	ARBORIST

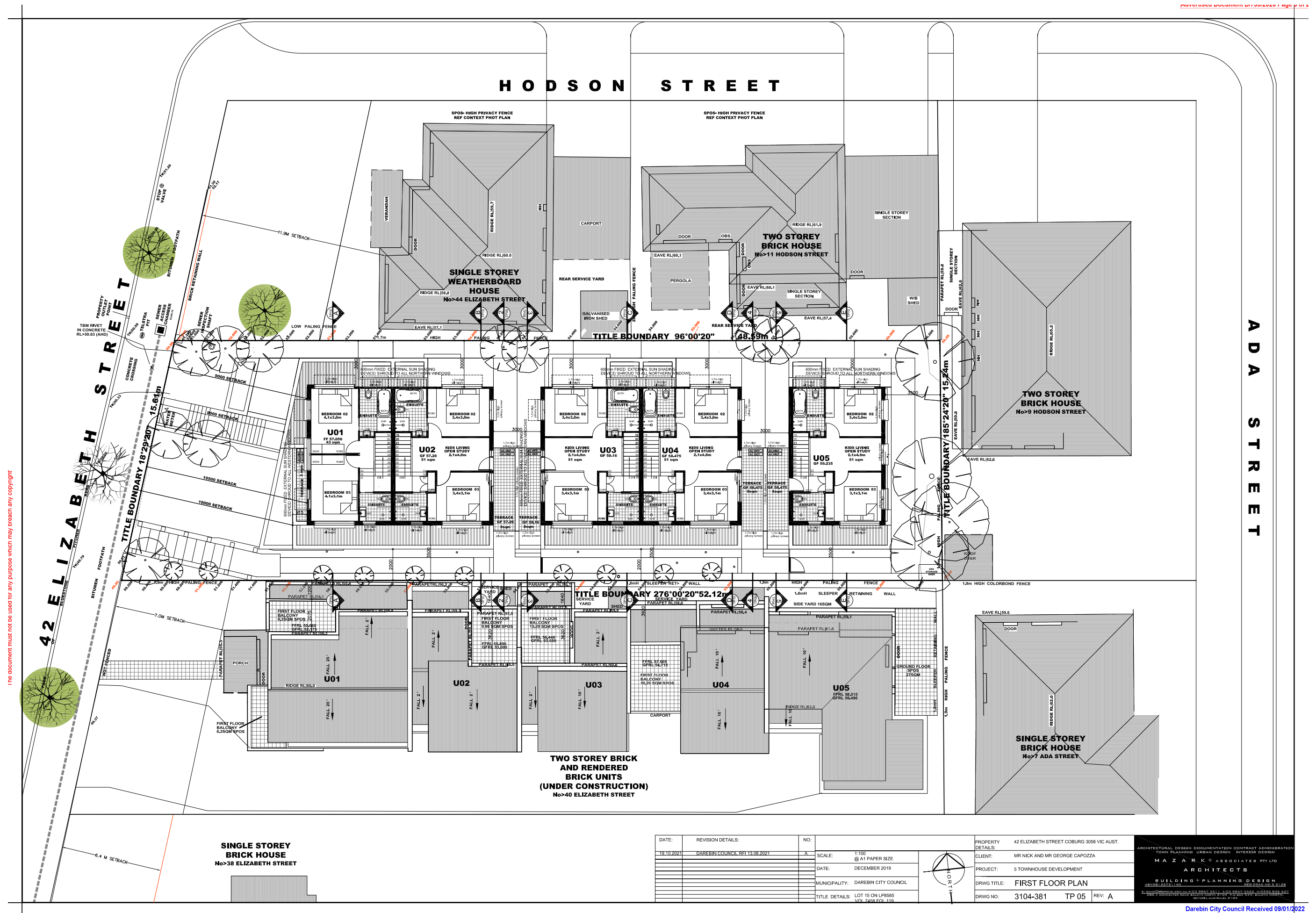
PROJECT CONTENTS (DRWG REGISTER)

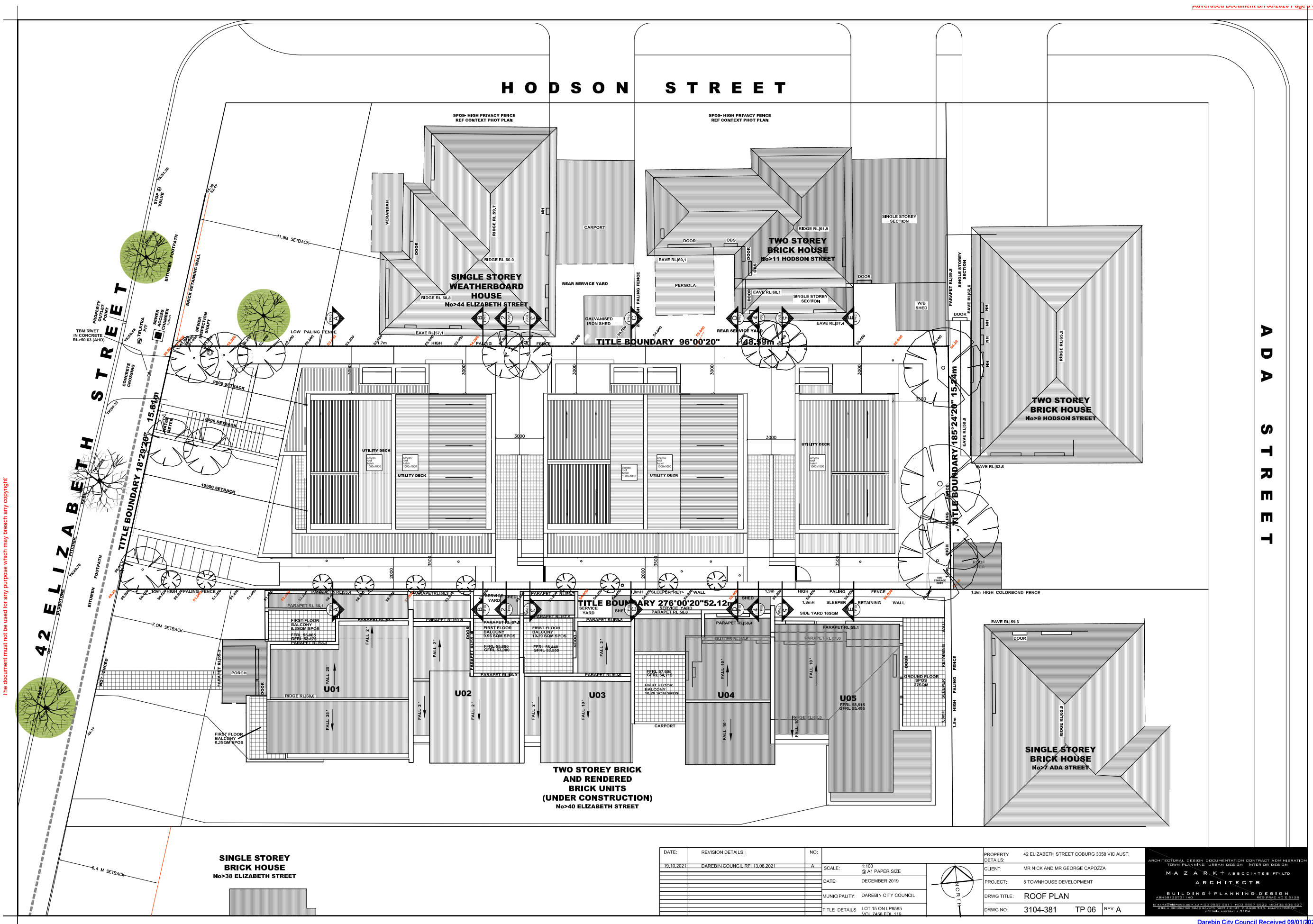
COVER PAGE	3104-381	TP 01	A
CONTEXT PAGE	3104-381	TP 02	A
BASEMENT LEVEL PLAN	3104-381	TP 03	A
GROUND FLOOR PLAN	3104-381	TP 04	A
FIRST FLOOR PLAN	3104-381	TP 05	A
ROOF PLAN	3104-381	TP 06	A
ELEVATIONS	3104-381	TP 07	A
PERSPECTIVE RENDERS	3104-381	TP 08	A
INTERNAL ELEVATIONS	3104-381	TP 09	A
LONGITUDONAL SECTION	3104-381	TP 10	A
CROSS SECTIONAL DRAWINGS	3104-381	TP 11	A
SITE AREA ANALYSIS	3104-381	TP 12	A
SHADOW DIAGRAMS	3104-381	TP 13-16	
3D RENDERS	3104-381	TP 17	A

DATE:	REVISION DETAILS:	NO:			PROPERTY DETAILS:	42 ELIZABETH STREET COBURG 3058 VIC AUST.	<div>ARCHITECTURAL DESIGN DOCUMENTATION CONTRACT ADMINISTRATION TOWN PLANNING URBAN DESIGN INTERIOR DESIGN</div> <div>MAZARK & ASSOCIATES PTY LTD</div> <div>ARCHITECTS</div> <div>BUILDING & PLANNING DESIGN</div> <div>40/41 STURGEON STREET MELBOURNE VIC 3000 P 03 9587 5552 F 03 9587 5552 E info@mazark.com.au WWW.MAZARK.COM.AU</div>
19.10.2021	DAREBIN COUNCIL REF 13.08.2021	A	SCALE:	1:100 @ A1 PAPER SIZE	CLIENT:	MR NICK AND MR GEORGE CAPOZZA	
			DATE:	DECEMBER 2019	PROJECT:	5 TOWNHOUSE DEVELOPMENT	
			MUNICIPALITY:	DAREBIN CITY COUNCIL	DRWG TITLE:	COVER PAGE	
			TITLE DETAILS:	LOT 15 ON LP8685 LOT 7469 ON LP8119	DRWG NO:	3104-381 TP 01 REV: A	







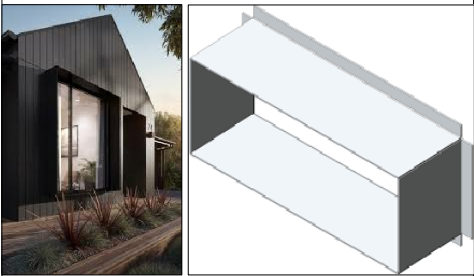


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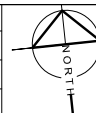


MATERIALS & COLOR SAMPLE DETAILS

LOUVRE	STORAGE RS/ DOOR	TIMBER GATES/ FRONT DOOR
		
		
		

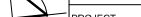


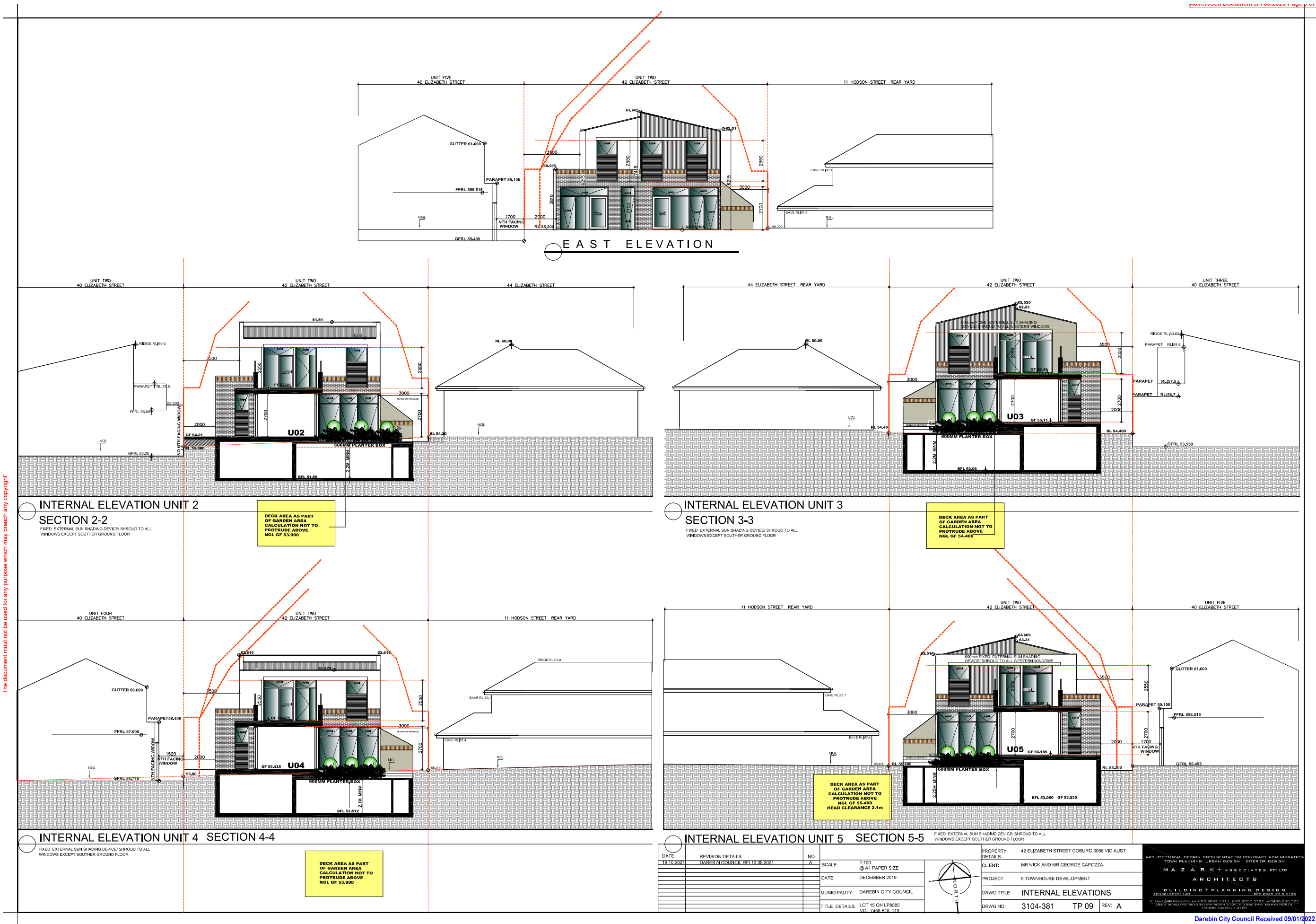
SHROUD DETAILS
SHROUD TO ALL WINDOWS

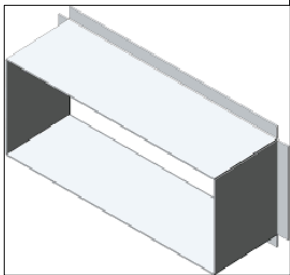
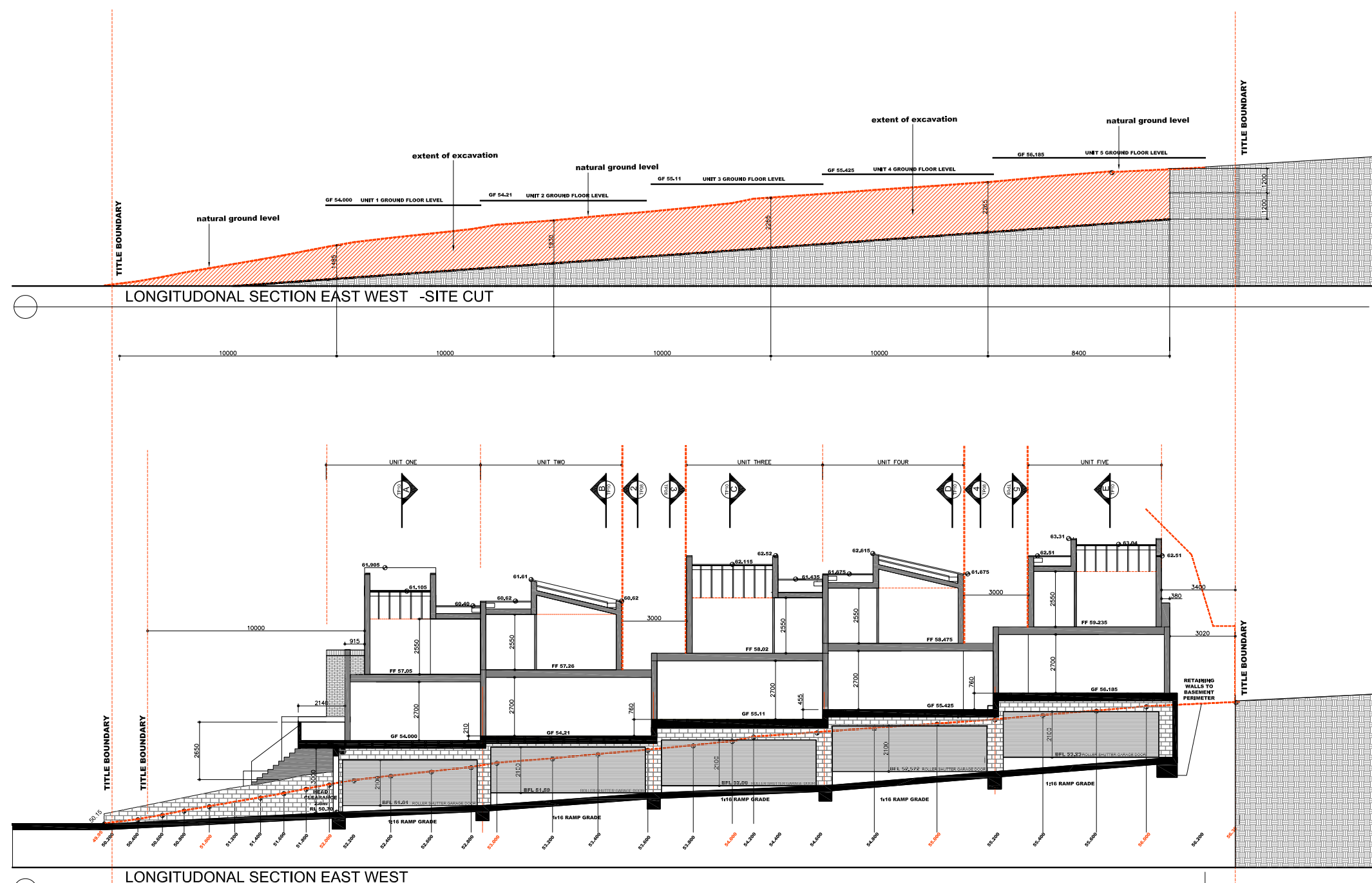
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			DATE: DECEMBER 2019	CLIENT: MR NICK AND MR GEORGE CAPOZZA		
			MUNICIPALITY: DAREBIN CITY COUNCIL	PROJECT: 5 TOWNHOUSE DEVELOPMENT		
			TITLE DETAILS: LOT 15 ON LP8585 VOL 7450 FOL 119	DRWG TITLE: ELEVATIONS		
				DRWG NO: 3104-381 TP 07 REV: A		



42 ELIZABETH STREET COBURG 3058 VIC.

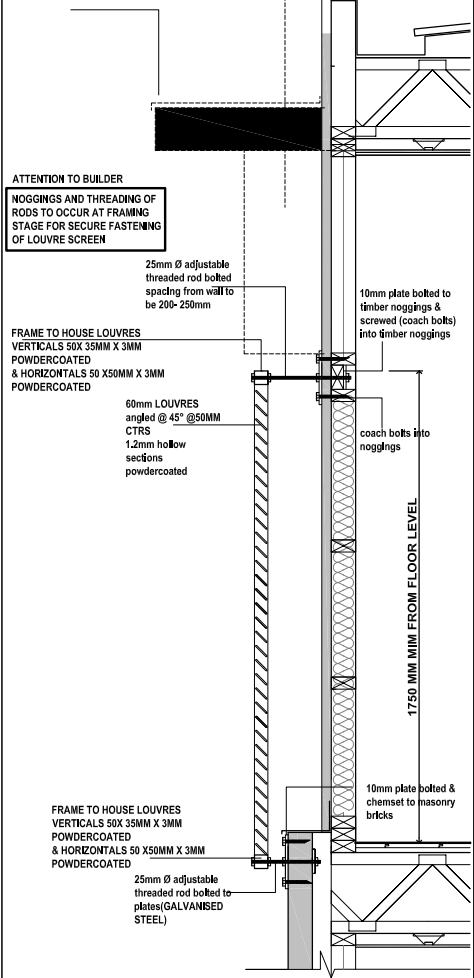
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19.10.2021	DARBEN COUNCIL REF 13.08.2021	A	42 ELIZABETH STREET COBURG 3058 VIC AUST.		
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		MUNICIPALITY: DARBEN CITY COUNCIL	DRWG TITLE: PERSPECTIVE RENDER		
		TITLE DETAILS: LOT 15 ON LP8585	DRWG NO: 3104-381 TP 08 REV: A		





SHADING DETAILS
FIXED EXTERNAL SUN SHADING DEVICE/ SHROUD TO ALL WINDOWS EXCEPT SOUTHER GROUND FLOOR

SHADING DETAIL
600mm FIXED EXTERNAL SUN SHADING DEVICE
TO ALL NORTHERN WINDOWS +
TO ALL WESTERN WINDOWS .



SCREENING DETAILS
SCREENS TO BE 1.7M ABOVE FFL
REF DETAIL SHOWING MAX 25%
PERMEABILITY IN A DOWNWARD
HORIZONTAL DIRECTION

PROPERTY DETAILS:	42 ELIZABETH STREET COBURG 3058 VIC AUST.
CLIENT:	MR NICK AND MR GEORGE CAPOZZA
PROJECT:	5 TOWNHOUSE DEVELOPMENT
DRWG TITLE:	LONGITUDINAL SECTION
DRWG NO:	3104-381
TP	10
REV:	A

DAREBIN CITY COUNCIL RECEIVED 09/01/2022

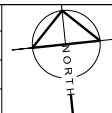
ENVIRONMENTAL SUSTAINABLE DESIGN COMMITMENTS

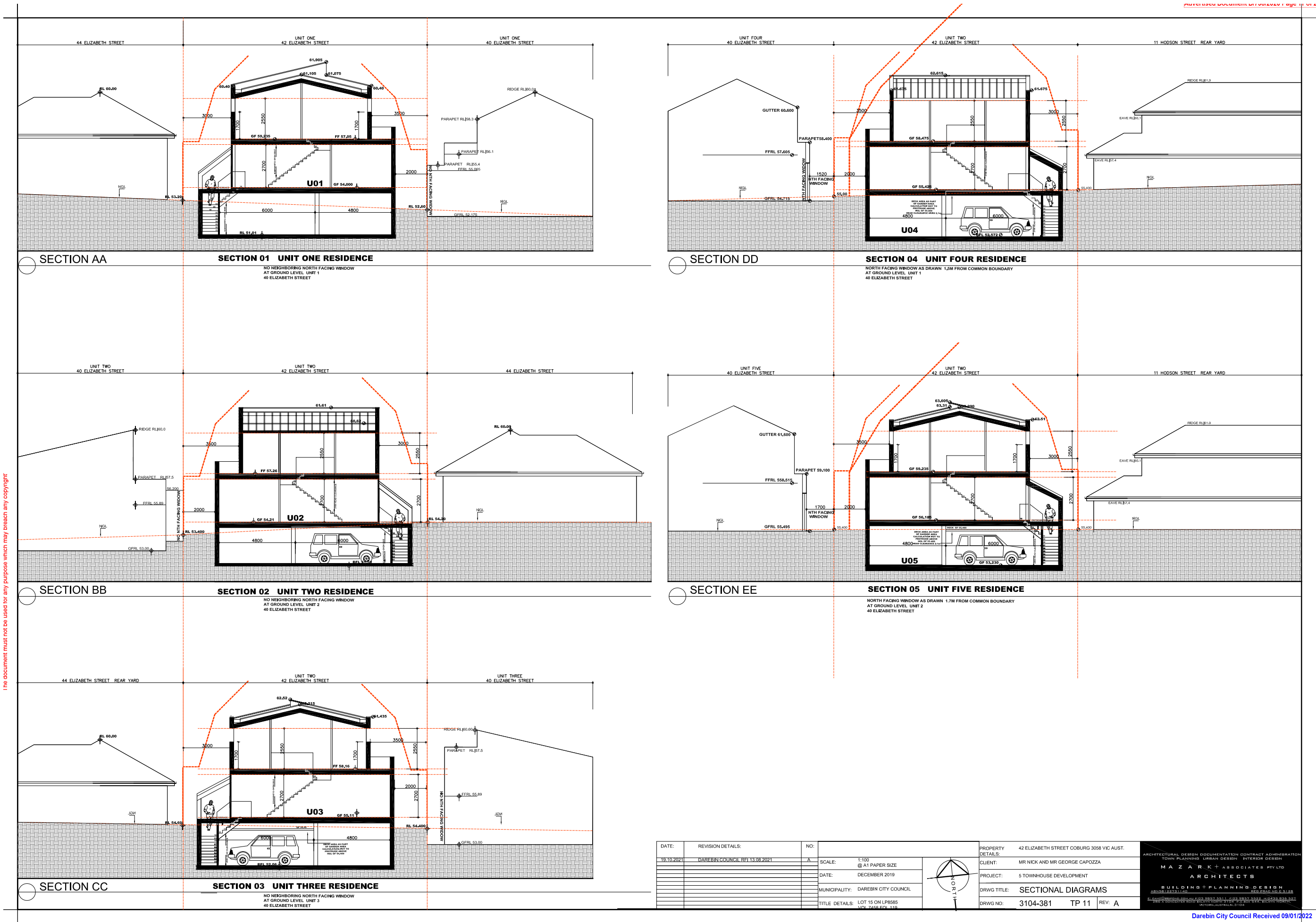
- WE HAVE INCLUDED A NOTE IN THE ENERGY EFFICIENCY SECTION: "THE ABOVE INCLUSIONS MAY VARY AS THE PLANS ARE REFINED AT BUILDING PERMIT STAGE, HOWEVER THE COMMITMENT TO AN AVERAGE MINIMUM RATING OF 6.5 STARS WILL BE MAINTAINED". SO WE CAN ADJUST INSULATION LEVELS AND GLAZING SPECS DOWN THE TRACK IF NEEDED, AS LONG AS WE MEET THE 6.5 STAR AVERAGE.

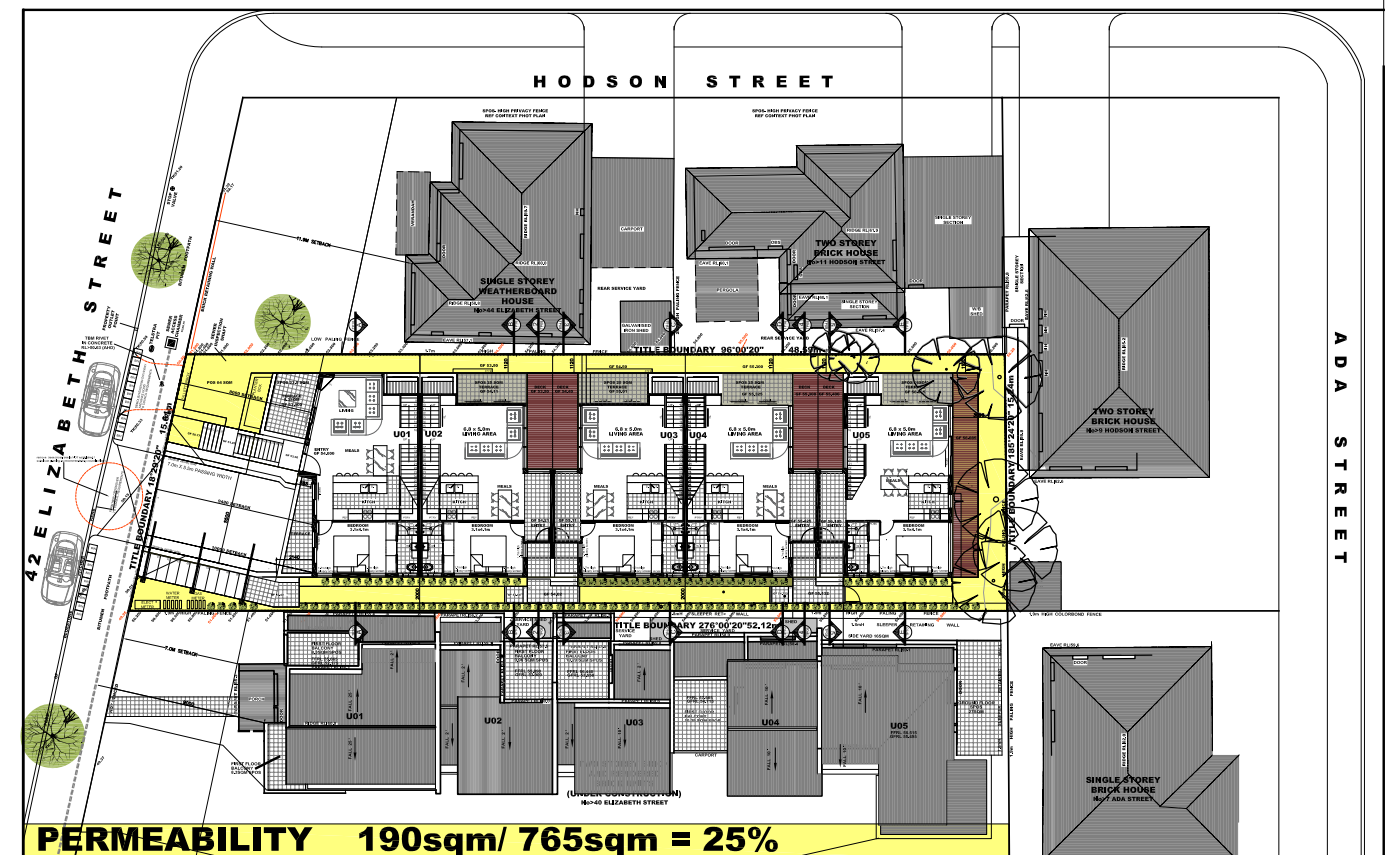
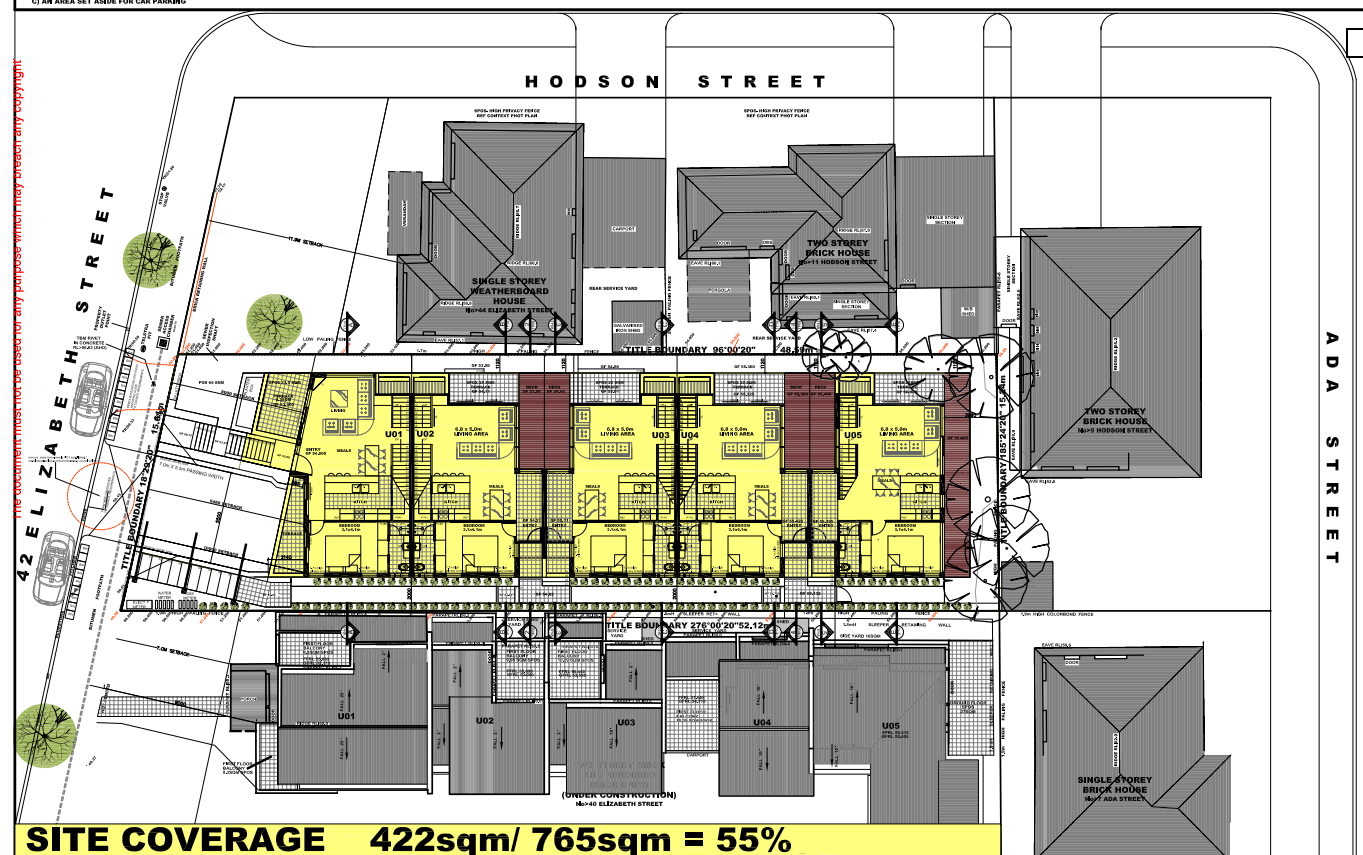
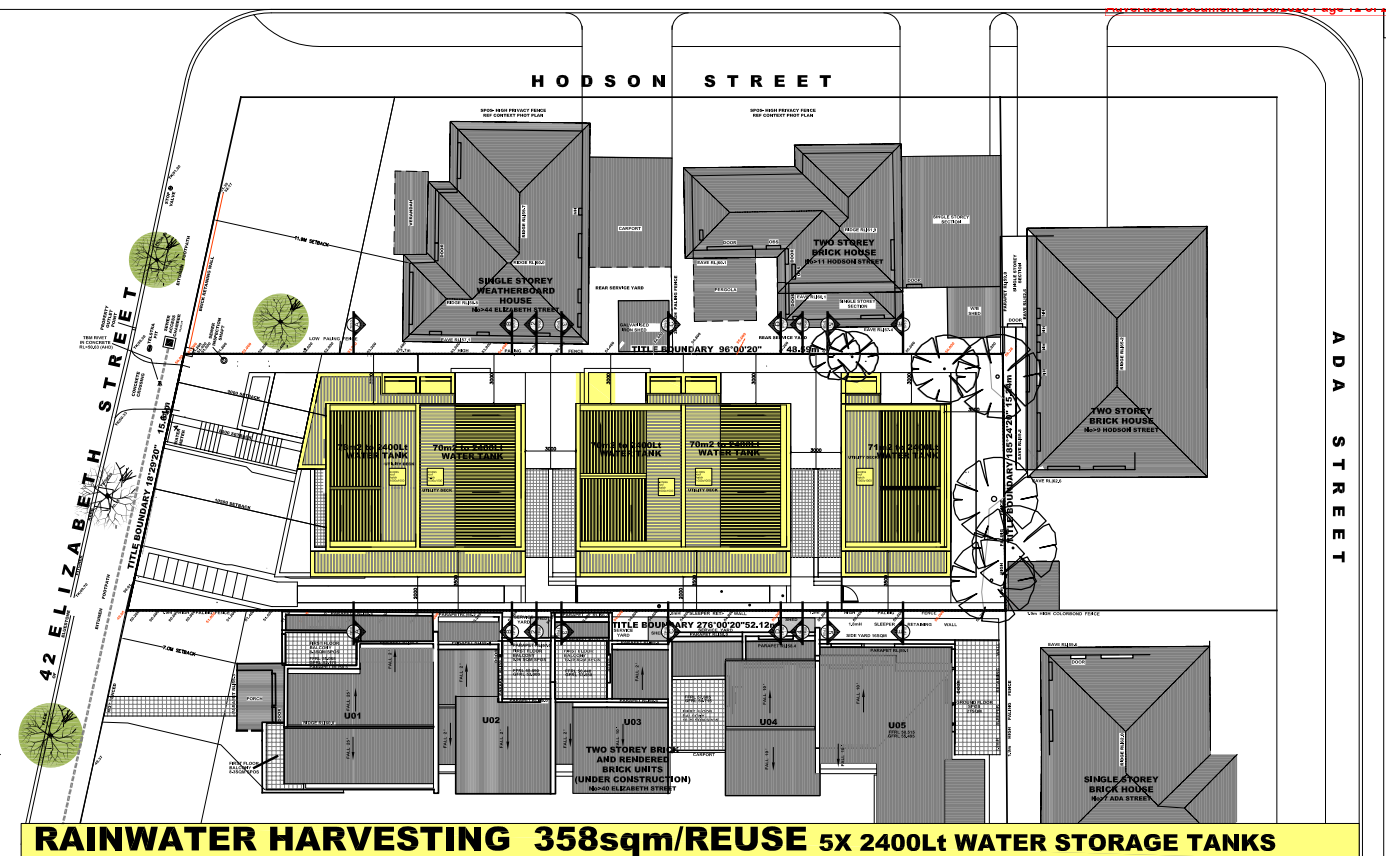
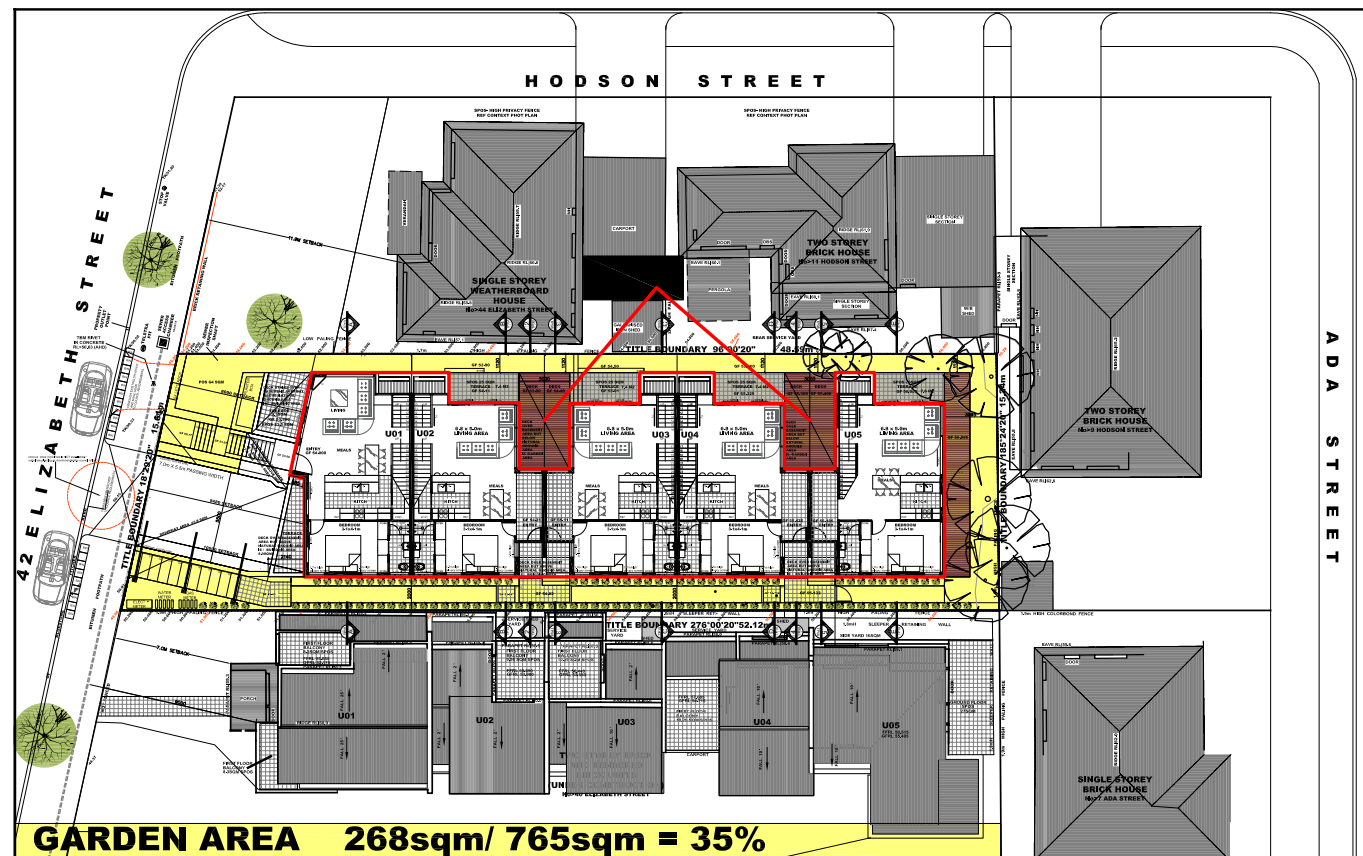
WE HAVE NOMINATED:

 - ROOF AREA DIVERTED TO 2,400L TANKS PER DWELLING, CONNECTED TO TOILETS FOR FLUSHING WITH EXTERNAL CONNECTIONS FOR GARDEN WATERING
 - HEATING - GAS DUCTED 5 STAR
 - COOLING - 4 STAR SPLIT SYSTEMS
 - HOT WATER - 5 STAR GAS STORAGE
 - INTERNAL LIGHTING TO BE INSTALLED WITH A MAXIMUM ILLUMINATION POWER DENSITY OF 4W/M2
- INTERNAL LIGHTING TO BE INSTALLED WITH A MAXIMUM ILLUMINATION POWER DENSITY OF 4W/M2
 - ALL EXTERNAL LIGHTING BEING CONTROLLED BY MOTION SENSORS
 - SHOWERHEADS - 4 STAR (BETWEEN 6.0-7.5 LPMW)
 - TOILETS - 4 STAR WITH DUAL FLUSH
 - TAPS - 5 STAR
 - DISHWASHERS - 4 STAR (PROVIDED BY DEVELOPER)
 - WASHING MACHINES/DRYERS TO BE PROVIDED BY OCCUPANTS
 - BIKE PARKING/STORAGE FOR AT LEAST 1 BIKE PER UNIT
 - EXTERNAL SHADING (SEE NOTES BELOW)
 - SEE PRELIMINARY ENERGY RATINGS IN APPENDIX C FOR NOMINATED INCLUSIONS
- Double glazed windows
 - external shading devices shrouding to all east west north facing window
 - Bike parking/storage for at least 1 bike per unit
 - INTERNAL LIGHTING TO BE INSTALLED WITH A MAXIMUM ILLUMINATION POWER DENSITY OF 4W/M2
 - EXTERNAL LIGHTING: EITHER INCLUDE A DETAILED ELECTRICAL PLAN SHOWING AT LEAST 50% OF THE EXTERNAL LIGHTING TO BE CONTROLLED BY MOTION SENSORS OR NOTE A COMMITMENT TO ALL EXTERNAL LIGHTING BEING CONTROLLED BY MOTION SENSORS

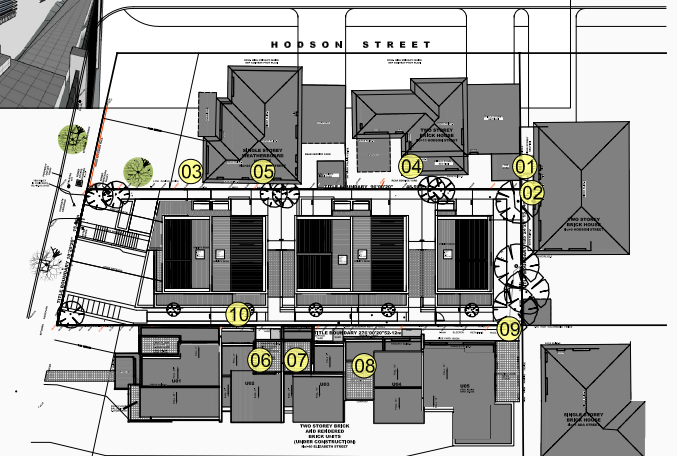
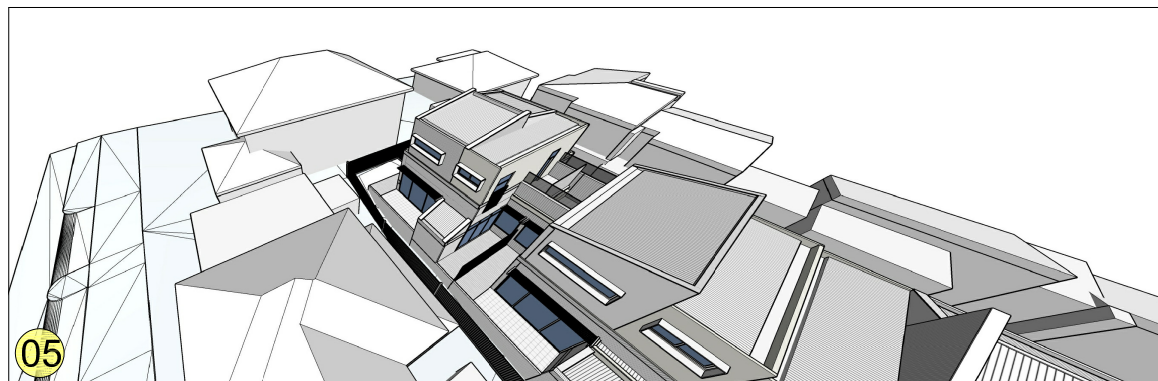
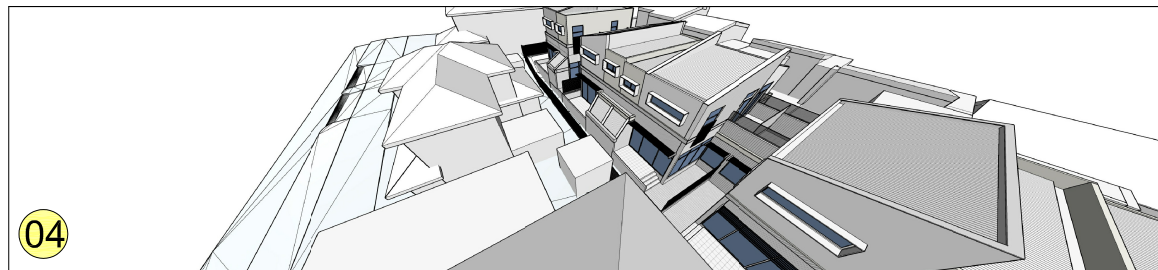
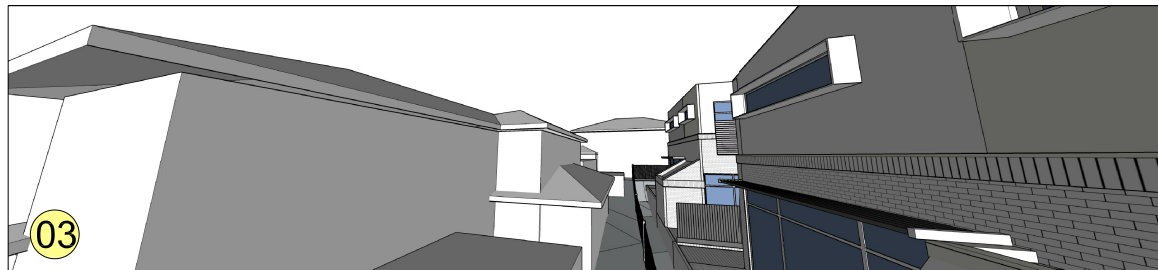
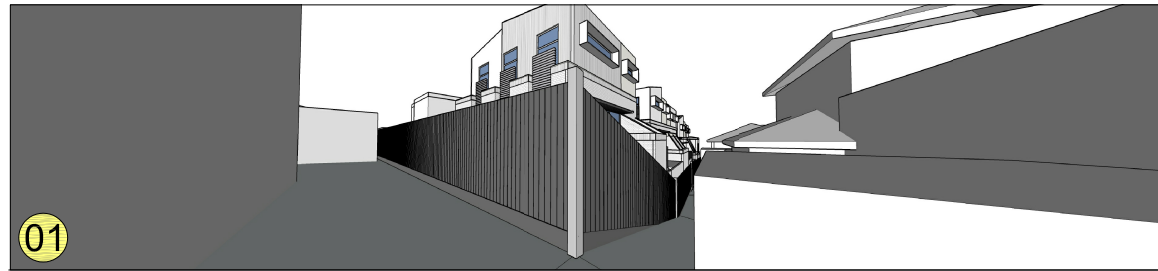
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DATE:	DECEMBER 2019				
MUNICIPALITY:	DAREBIN CITY COUNCIL				
TITLE DETAILS:	LOT 15 ON LP8885				
	VOL 7450 FOL 119				








ADVERTISED DOCUMENT D7/00/2020 Page 10 of 2



DATE:	REVISION DETAILS:	NO:			PROPERTY DETAILS:	42 ELIZABETH STREET COBURG 3058 VIC AUST.
19.10.2001	DAREBIN COUNCIL RPT 11.08.2001	A	SCALE: 1:100 @ A1 PAPER SIZE		CLIENT: MR NICK AND MR GEORGE CAPOZZA	
			DATE: DECEMBER 2019		PROJECT: 5 TOWNHOUSE DEVELOPMENT	
			MUNICIPALITY: DAREBIN CITY COUNCIL		DRWG TITLE: PERSPECTIVE RENDERERS	
			TITLE DETAILS: LOT 15 ON LP8565 VOL.7458 FOL.119		DRWG NO: 3104-381 TP 13 REV: A	

ARCHITECTURAL DESIGN DOCUMENTATION CONTRACT ADMINISTRATION
TOWN PLANNING URBAN DESIGN INTERIOR DESIGN

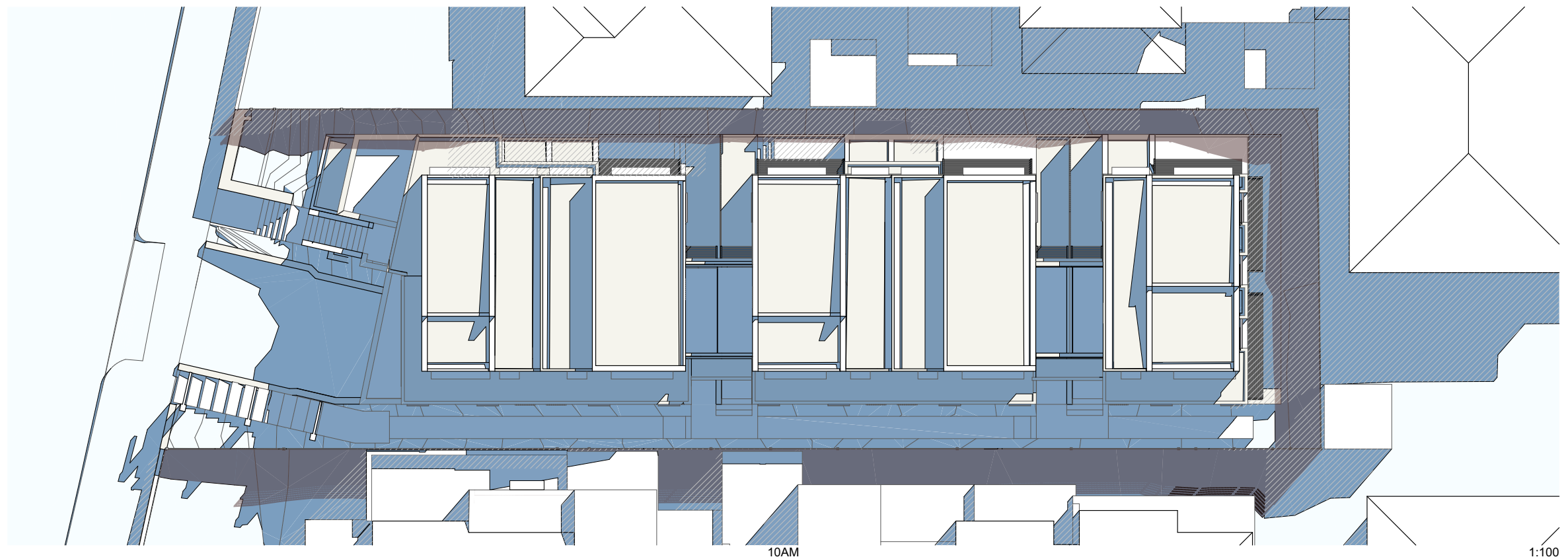
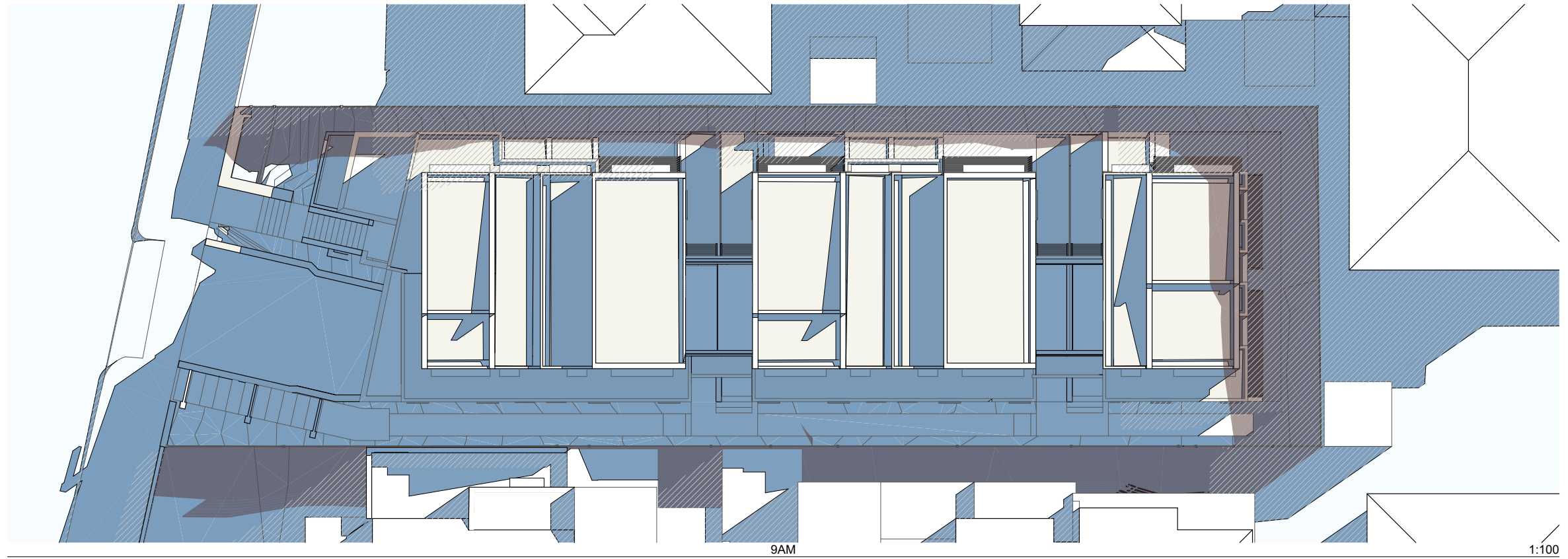
M A Z A R K + ASSOCIATES PTY LTD


ARCHITECTS

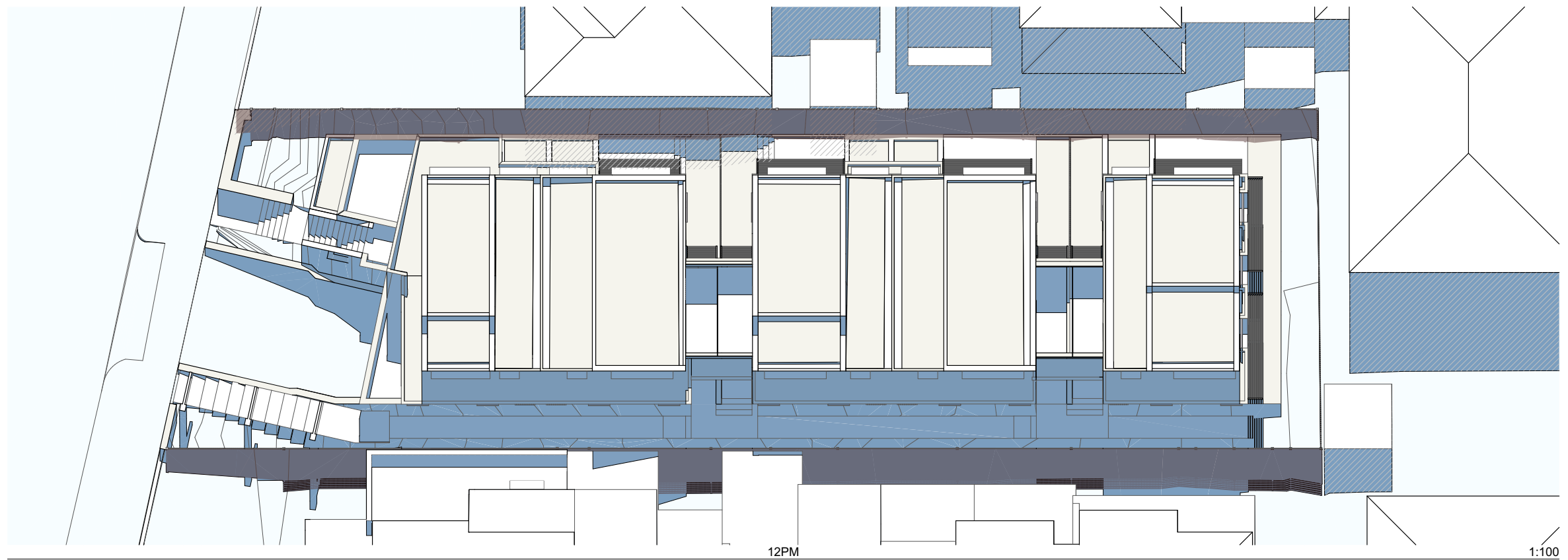
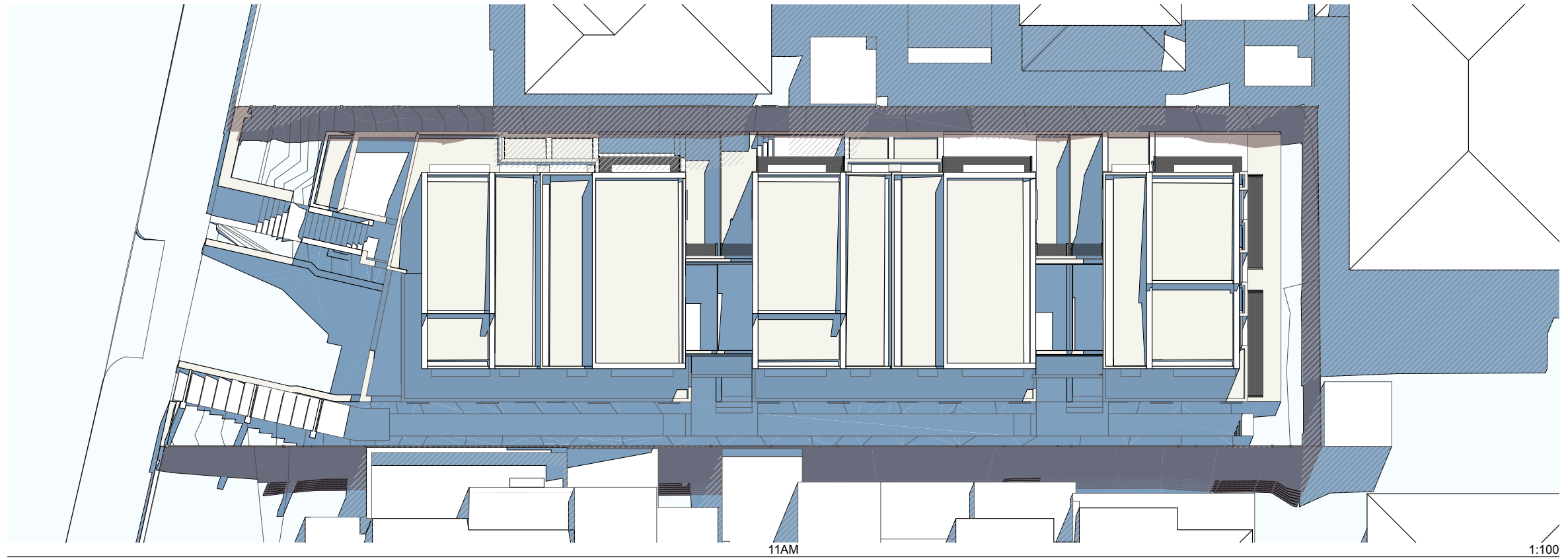
BUILDING + PLANNING DESIGN


ABNS129731140 REG PRAC NO C 5128

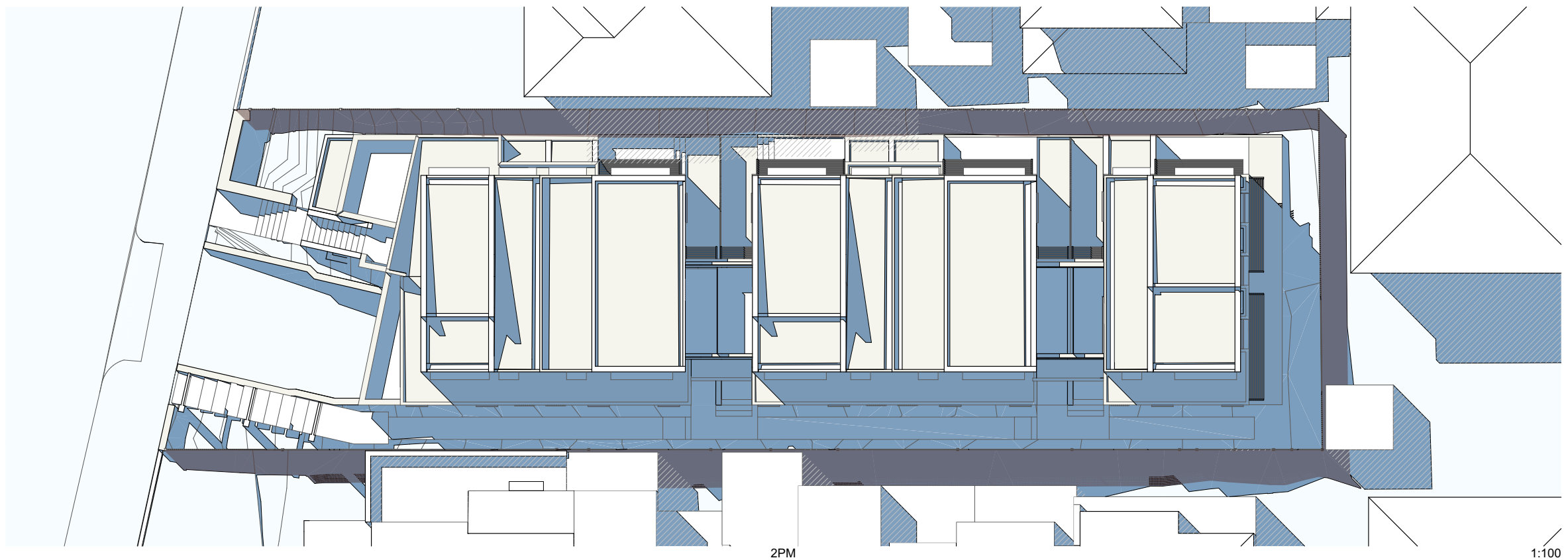
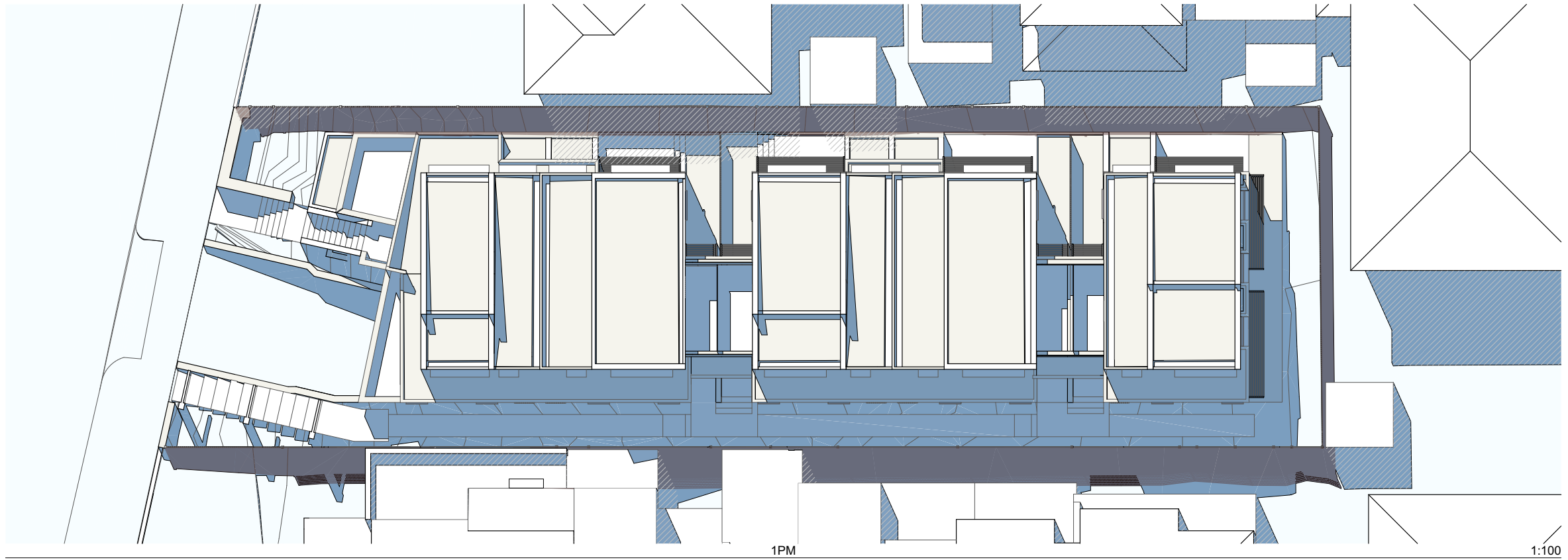
11 FANFAN@MZARK.COM.AU P 03 9857 5511 F 03 9857 5522 M 02435 836 527
250 A DONCKER ROAD BUNNATH NORTH STOR C 568 544, BUNNATH NORTH,
WETLANDS VIC 3010




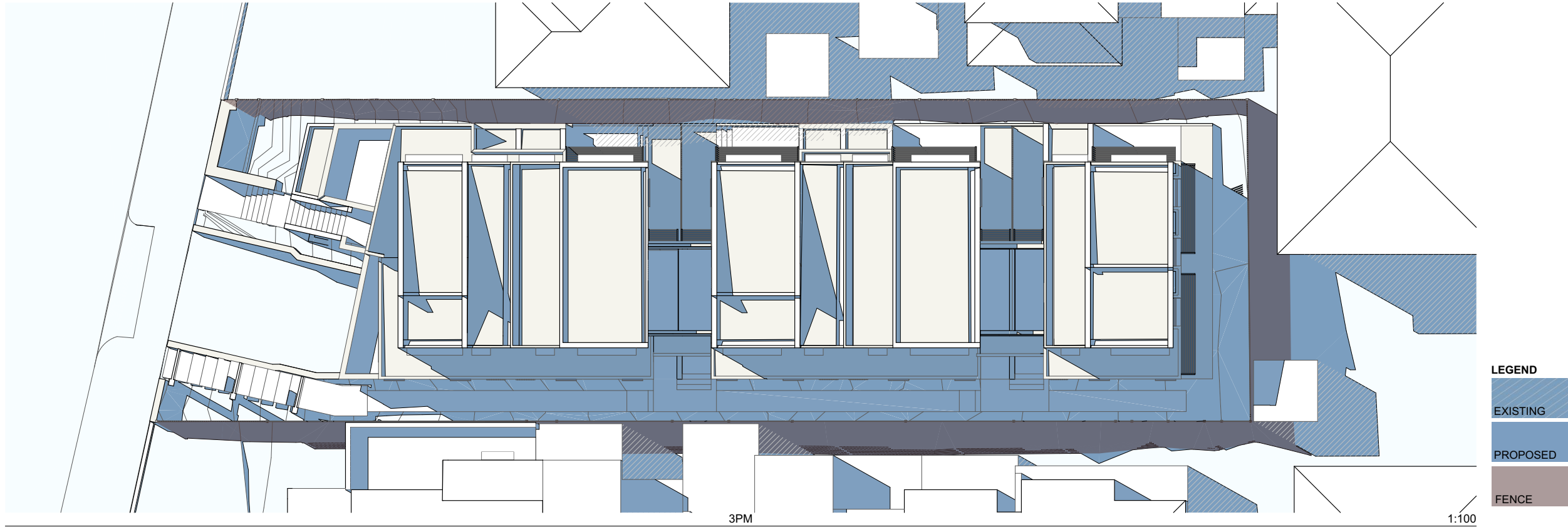
DATE:	REVISION DETAILS:	NO:	SCALE: 1:100 @ A1 PAPER SIZE		PROPERTY DETAILS:	42 ELIZABETH STREET COBURG 3058 VIC AUST.		<div>ARCHITECTURAL DESIGN DOCUMENTATION CONTRACT ADMINISTRATION TOWN PLANNING URBAN DESIGN INTERIOR DESIGN MAZARK & ASSOCIATES PTY LTD ARCHITECTS BUILDING + PLANNING DESIGN 40/40-42/44 COLLEGE STREET COBURG VIC 3058 P: 03 9397 5311 F: 03 9397 5332 M: 0434 836 332 E: info@mazark.com.au W: www.mazark.com.au</div>
			DATE: DECEMBER 2019		CLIENT:	MR NICK AND MR GEORGE CAPOZZA		
			MUNICIPALITY: DAREBIN CITY COUNCIL		PROJECT:	5 TOWNHOUSE DEVELOPMENT		
			TITLE DETAILS: LOT 15 ON LP8566 VOL 7469 CO 109		DRWG TITLE:	SHADOW DIAGRAMS 8AM - 10AM		
					DRWG NO:	3104-381	TP 13	




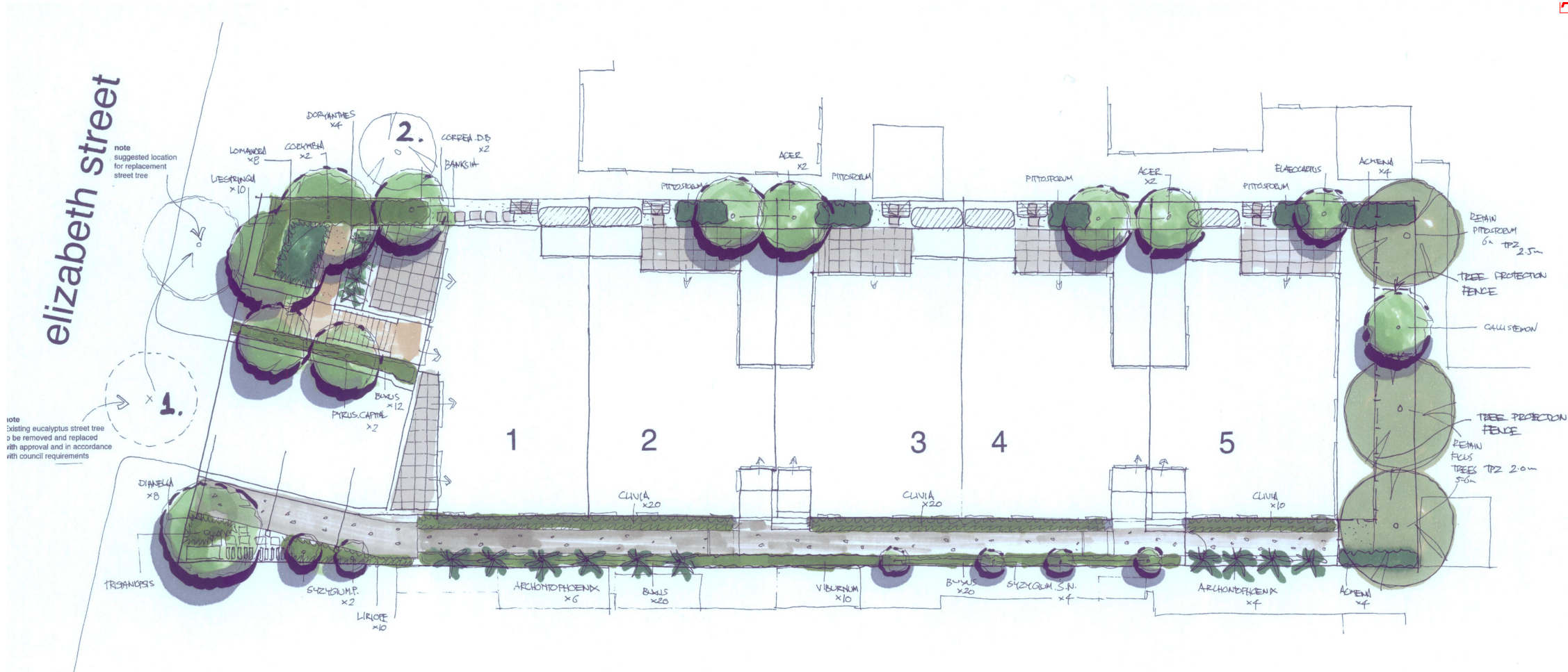
DATE:	REVISION DETAILS:	NO:	SCALE: 1:100 @ A1 PAPER SIZE		PROPERTY DETAILS:	42 ELIZABETH STREET COBURG 3058 VIC AUST.	ARCHITECTURAL DESIGN DOCUMENTATION CONTRACT ADMINISTRATION TOWN PLANNING URBAN DESIGN INTERIOR DESIGN MAZARK + ASSOCIATES PTY LTD ARCHITECTS BUILDING + PLANNING DESIGN SUITE 102/103 1000 HIGHWAY 100 COBURG VIC 3058 P 03 9587 5511 F 03 9587 5532 M 0413 876 592 SEE A COMPLETE LIST OF OUR SERVICES AT WWW.MAZARK.COM.AU VICTORIA-AUSTRALIA 3100
			DATE: DECEMBER 2019		CLIENT: MR NICK AND MR GEORGE CAPOZZA		
			MUNICIPALITY: DAREBIN CITY COUNCIL		PROJECT: 5 TOWNHOUSE DEVELOPMENT		
			TITLE DETAILS: LOT 15 ON LP8585 VOL 7459 FOL 119		DRWG TITLE: SHADOW DIAGRAMS 11AM - 12PM		
					DRWG NO: 3104-381 TP 14	REV:	



DATE:	REVISION DETAILS:	NO:	SCALE:	1:100 @ A1 PAPER SIZE		PROPERTY DETAILS:	42 ELIZABETH STREET COBURG 3058 VIC AUST.	<div>ARCHITECTURAL DESIGN DOCUMENTATION CONTRACT ADMINISTRATION TOWN PLANNING URBAN DESIGN INTERIOR DESIGN MAZARK & ASSOCIATES PTY LTD ARCHITECTS BUILDING & PLANNING DESIGN 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DATE:	REVISION DETAILS:	NO:		PROPERTY DETAILS:	42 ELIZABETH STREET COBURG 3058 VIC AUST.		ARCHITECTURAL DESIGN DOCUMENTATION CONTRACT ADMINISTRATION TOWN PLANNING URBAN DESIGN INTERIOR DESIGN M A Z A R K + ASSOCIATES PTY LTD A R C H I T E C T S BUILDING + PLANNING DESIGN 0800 007 073 0300 007 073 61 GARDENBUSH ROAD SUITE 20/21 STANTON RD MELBOURNE VIC 3003 WWW.MAZARK.COM.AU	
		SCALE:	1:100 @ A1 PAPER SIZE	CLIENT:	MR NICK AND MR GEORGE CAPOZZA			
		DATE:	DECEMBER 2019	PROJECT:	5 TOWNHOUSE DEVELOPMENT			
		MUNICIPALITY:	DAREBIN CITY COUNCIL	DRWG TITLE:	SHADOW DIAGRAMS 3PM			
		TITLE DETAILS:	LOT 15 ON LP8585 V/LC 2465/ENL 110	DRWG NO:	3104-381 TP 16		REV:	



notes

Existing vegetation
Existing trees and shrubs indicated for retention are to be protected in accordance with Australian standards. Refer to arborists report and/or council permit conditions for tree protection and management. Trees should be protected with physical barriers to prevent access within nominated tree protection zones which are to be mulched and irrigated during construction. No trees to be removed without clarification from owner or local council. All tree protection to be in accordance with relevant Australian Standards.

Garden Beds
Cultivate existing soil to 200mm. Re-use site topsoil if suitable or imported garden mix topsoil to provide minimum 100mm of topsoil to garden beds. Spread 75mm layer of 10mm pine bark mulch.

Irrigation
Low water use drip system with programmable timers connected to rainwater storage tanks or water mains. Irrigation must be used in compliance with current water restrictions.

Fences
Refer to architectural plans

Drainage
Refer to architectural or engineering plans for stormwater and drainage pit locations. All paved areas in rear gardens are to have a grade of 2.5% minimum, away from buildings. All grades, levels and drainage to comply with relevant building codes and council planning requirements.

Services
Contractors are to determine the location of all underground and overhead services prior to construction. Any services, pits, etc illustrated on this plan are indicative only and are to be checked with architectural and engineering plans.

Building Structures
The use of this plan and planting of trees, shrubs, etc as specified may require the provision of root control barriers or specifically engineered foundations or similar method of controlling root growth to avoid intrusion into adjacent areas or building foundations. A qualified consultant should advise on foundation design and/or barriers (physical or chemical) as appropriate.

Planting Schedule

Botanical Name Common Name Quantity Size*

Groundcovers, tussocks, small to medium shrubs
(Supply in 150mm pots)

Acmena 'Hedgemaster'	Hedging Lillyply	8	3x0.8 trimmed
Buxus 'Suffruticosa'	Dwarf Box	52	0.4x0.4
Clivia miniata Belgian Hybrid	Clivia	50	0.5x0.5
Correa 'Dusky Bells'	Correa	2	0.6x0.8
Dianella 'Little Flev'	Dianella	8	0.4x0.4
Doryanthes excelsa	Oymea Lilly	4	1.5x1.5
Liriope musari	Liriope	10	0.5x0.4
Lomandra 'Tanika'	Lomandra	8	0.6x0.4
Syzygium 'Straight and Narrow'	Dwarf Lillyply	4	2.5x0.8
Viburnum 'Emerald Lustre'	Viburnum	10	2x0.6 trimmed
Westringia 'Jervis Gem'	Dwarf Native Rosemary	10	0.8x0.8

Feature trees, shade trees, large shrubs
(supply in 150mm - 200mm pots or as advanced plants 1.5m high indicated with asterisk**)

Acer p. 'Crimson Sentry'	Maple	4**	7x4
Archontophoenix cunninghamiana	Bangalow Palm	10	7x2
Banksia marginata	Banksia	1	5x3
Callistemon Kings Park	Bottlebrush	1	5x4
Corymbia 'Scentuous'	Dwarf Lemon Scented Gum	2**	9x5
Elaeocarpus reticulatus	Blueberry Ash	1**	7x3
Pittosporum 'Screenmaster'	Pittosporum	4	3.5x0.8 trimmed
Pyrus 'Capital'	Upright Pear	2**	8x3.5
Syzygium 'Pinnacle'	Upright Lillyply	2	5x1
Tristanopsis laurina 'Luscious'	Kanooka	1**	9x5

*height x width average at maturity estimated for this location or maintained by trimming

key

- pebbles/toppings/stone chips
50mm compacted or 60mm loose layer of selected sustainably sourced water worn pebbles, toppings or stone chips as path or lawn substitute
- terrace
tiles or paving/concrete as per architectural plans or as selected
- path
paving or concrete as selected
- 500x500mm concrete pavers as stepping stones
- driveway
concrete as per architectural plans or as selected
- fence
refer to architectural plans
- retaining walls
refer to architectural plans for details of masonry or timber walls
- existing trees
trees to be retained and protected
- tree to be removed and replaced subject to council approval

Tree 2 - retained with a TPZ of 2.0m from the trunk edge. The tree must be protected in accordance with Australian Standard AS4370 - 2009: *Protection of trees on development sites* and to the satisfaction of the Responsible Authority.

All works within TPZs must be supervised by a qualified arborist

Any roots uncovered must be pruned with sharp/sterile tools

Any fencing within TPZs must be of light timber construction with manually excavated stump holes

Any service installation within TPZs must be bored to a minimum depth of 0.6m below existing grade. There must strictly be no 'open trench' excavation within TPZs

TPZs must remain at existing grade and be permeable

Any pruning works to Tree 1 must be undertaken by the responsible authority

Any pruning works to Tree 2 must be undertaken by a qualified arborist in accordance with AS4373-2007

Site Preparation and Maintenance notes

All weeds to be removed from site by physical removal or spraying with glyphosate based herbicide

Existing soil should be improved by the addition of organic matter and light cultivation only to break up any compaction. No cultivation within drip lines of existing retained trees on site or adjacent areas. Areas of possible contamination with paint, oil or any other materials used on site are to be removed and replaced with topsoil from a sustainable source and approved for use on site. Areas requiring topsoil to ensure levels or for plant growth are to be spread with approved soil previously stockpiled on site or from quality controlled and sustainable source.

Irrigation is to be in accordance with current water restrictions and weather conditions generally 10 minutes every second day during establishment period (6 months) and during dry summer periods if required, programmable irrigation systems are to be low water use drippers and sprays as appropriate and designed by irrigation supplier or consultant.

Weeding and trimming every 14 - 21 days. Plant replacement as required during establishment period of 6 months or longer as required by permit conditions. All plants to be pruned/shaped to appropriate size on an ongoing basis. Mulch levels to be maintained at 75mm.

landscape plan

project: 42 elizabeth street, coburg

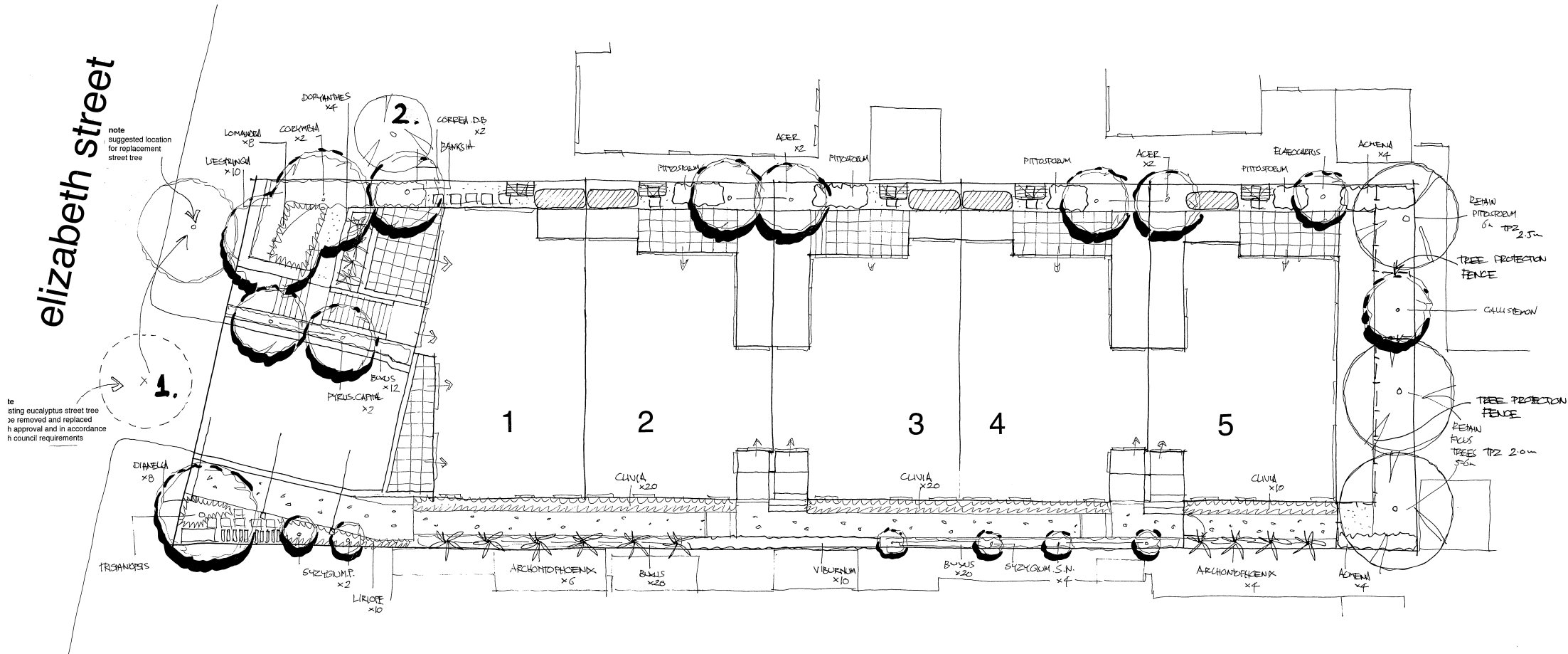
client: mr capozza

scale: 1:100 A1 date: october 2021 sheet: 1 of 1
issue A

habitat

landscape and environmental design consultants 9836 1272

this plan is intended as a layout and planting guide only. all dimensions, locations, etc are to be checked and verified on site. Refer to architectural and engineering plans and permit conditions. habitat accepts no responsibility or liability as a result of errors or omissions on this plan



This document must not be used for any purpose which may breach any copyright

notes

Existing vegetation
Existing trees and shrubs indicated for retention are to be protected in accordance with Australian standards. Refer to arborists report and/or council permit conditions for tree protection and management. Trees should be protected with physical barriers to prevent access within nominated tree protection zones which are to be mulched and irrigated during construction. No trees to be removed without clarification from owner or local council. All tree protection to be in accordance with relevant Australian Standards.

Garden Beds
Cultivate existing soil to 200mm. Re-use site topsoil if suitable or imported garden mix topsoil to provide minimum 100mm of topsoil to garden beds. Spread 75mm layer of 10mm pine bark mulch.

Irrigation
Low water use drip system with programmable timers connected to rainwater storage tanks or water mains. Irrigation must be used in compliance with current water restrictions

Fences
Refer to architectural plans

Drainage
Refer to architectural or engineering plans for stormwater and drainage pit locations. All paved areas in rear gardens are to have a grade of 2.5% minimum, away from buildings. All grades, levels and drainage to comply with relevant building codes and council planning requirements.

Services
Contractors are to determine the location of all underground and overhead services prior to construction. Any services, pits, etc illustrated on this plan are indicative only and are to be checked with architectural and engineering plans.

Building Structures
The use of this plan and planting of trees, shrubs, etc as specified may require the provision of root control barriers or specifically engineered foundations, or similar method of controlling root growth to avoid intrusion into adjacent areas or building foundations. A qualified consultant should advise on foundation design and/or barriers (physical or chemical) as appropriate.

Planting Schedule

Botanical Name Common Name Quantity Size*

Groundcovers, tussocks, small to medium shrubs
(Supply in 150mm pots)

Acmena 'Hedgemaster'	Hedging Lillypilly	8	3x0.8 trimmed
Buxus 'Suffruticosa'	Dwarf Box	52	0.4x0.4
Clivia miniata Belgian Hybrid	Clivia	50	0.5x0.5
Correa 'Dusky Belle'	Correa	2	0.6x0.8
Dianella 'Little Rev'	Dianella	8	0.4x0.4
Doryanthes excelsa	Gymea Lilly	4	1.5x1.5
Liriope muscari	Liriope	10	0.5x0.4
Lomandra 'Tanika'	Lomandra	8	0.6x0.4
Syzygium 'Straight and Narrow'	Dwarf Lillypilly	4	2.5x0.8
Viburnum 'Emerald Lustre'	Viburnum	10	2x0.8 trimmed
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Feature trees, shade trees, large shrubs
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*height x width average at maturity estimated for this location or maintained by trimming

key

pebbles/toppings/stone chips
50mm compacted or 60mm loose layer of selected sustainably sourced water worn pebbles, toppings or stone chips as path or lawn substitute

terrace
tiles or paving/concrete as per architectural plans or as selected

path
paving or concrete as selected

500x500mm concrete pavers as stepping stones

driveway
concrete as per architectural plans or as selected

fence
refer to architectural plans

retaining walls
refer to architectural plans for details of masonry or timber walls

existing trees
trees to be retained and protected
 tree to be removed and replaced subject to council approval

Tree 2 - retained with a TPZ of 2.0m from the trunk edge. The tree must be protected in accordance with Australian Standard AS4970 - 2009: *Protection of trees on development sites* and to the satisfaction of the Responsible Authority.

All works within TPZs must be supervised by a qualified arborist

Any roots uncovered must be pruned with sharp/sterile tools

Any fencing within TPZs must be of light timber construction with manually excavated stump holes

Any service installation within TPZs must be bored to a minimum depth of 0.6m below existing grade. There must strictly be no 'open trench' excavation within TPZs

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Irrigation is to be in accordance with current water restrictions and weather conditions generally 10 minutes every second day during establishment period (6 months) and during dry summer periods if required, programmable irrigation systems are to be low water use drippers and sprays as appropriate and designed by irrigation supplier or consultant.
Weeding and trimming every 14 - 21 days. Plant replacement as required during establishment period of 6 months or longer as required by permit conditions. All plants to be pruned/shaped to appropriate size on an ongoing basis. Mulch levels to be maintained at 75mm.

landscape plan



project: 42 elizabeth street, coburg

client: mr capozza

scale: 1:100 A1 date: october 2021 sheet: 1 of 1
issue A

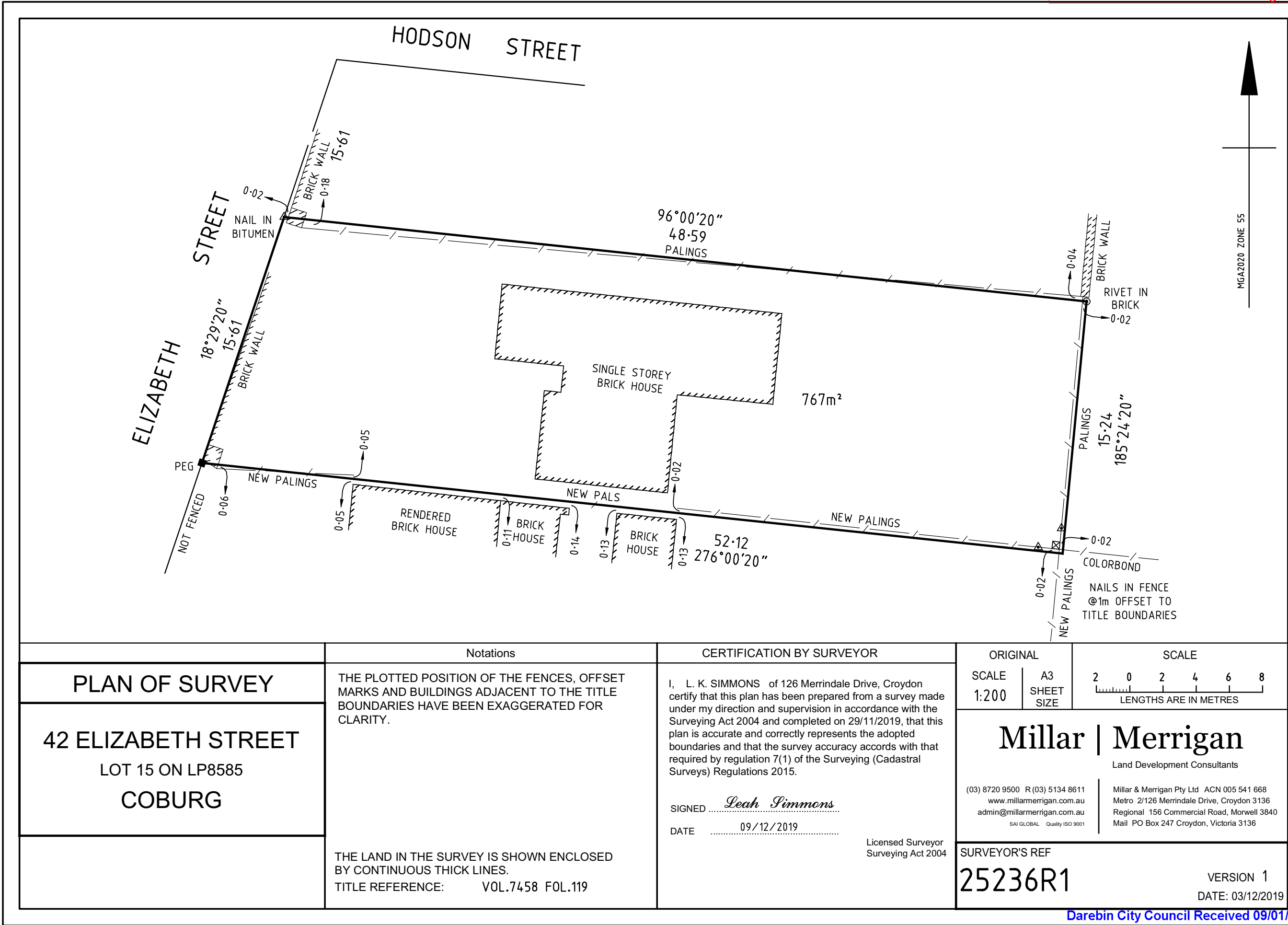
habitat

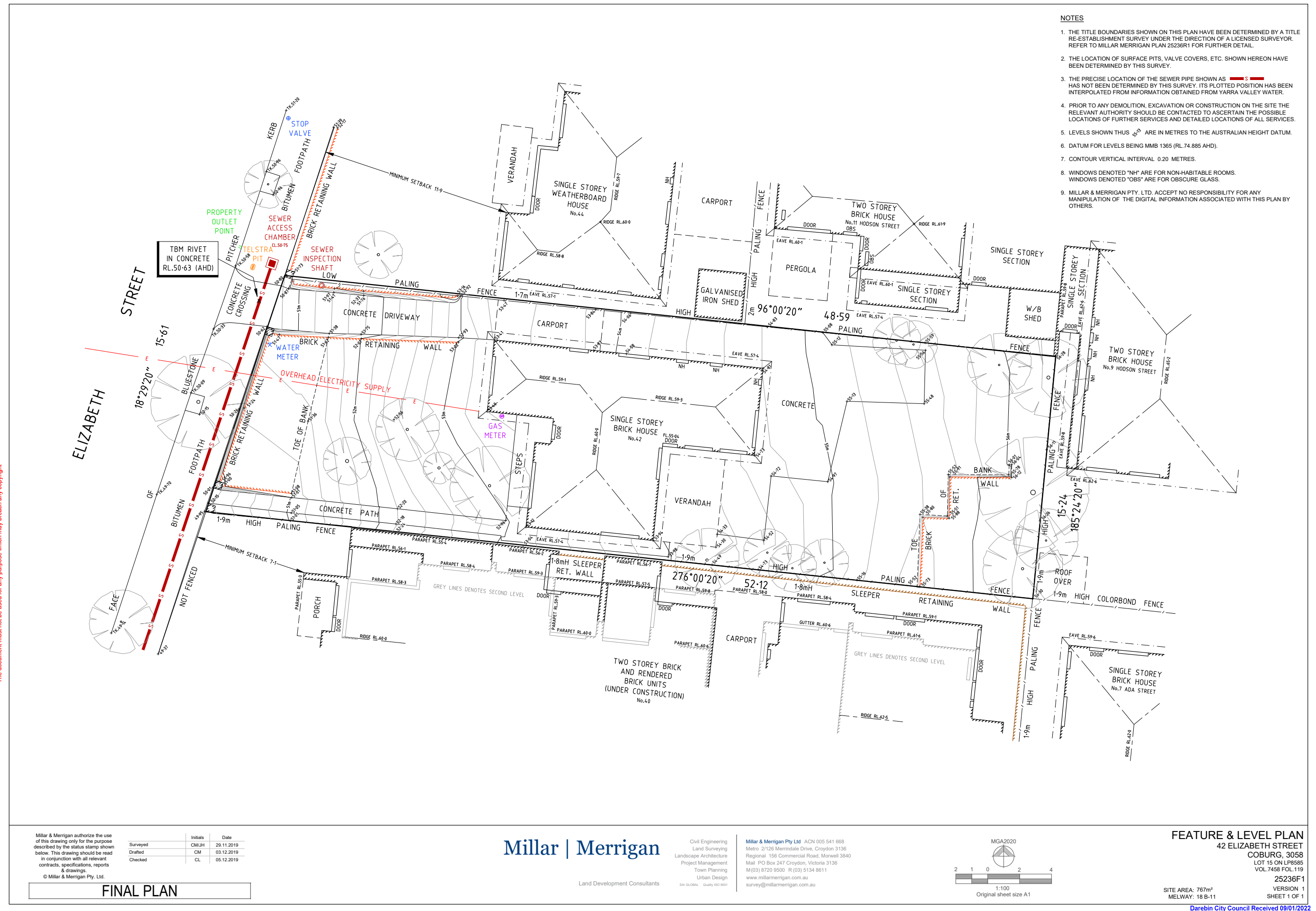


landscape and environmental design consultants 9836 1272

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**5.3 HEIDELBERG ROAD HERITAGE - PLANNING SCHEME
AMENDMENT C203DARE****Author:** Strategic Planner**Reviewed By:** General Manager City Sustainability and Strategy

EXECUTIVE SUMMARY

This report concerns two related strategic planning projects being undertaken along the Heidelberg Road Corridor, both of which seek to address the lack of suitable design and heritage controls for Darebin's side of the corridor.

Heritage Amendment C203dare

Planning Scheme Amendment C203dare ('the Amendment') proposes to apply a Heritage Overlay to seven individual properties along the Heidelberg Road through Fairfield and Alphington.

The Amendment was exhibited from 11 November to 13 December 2021. A total of four submissions were received, two in support and two with concerns. The general concerns raised in submissions to the Amendment include concerns about property value, heritage merit, individual financial impact and redevelopment limitations.

Submissions have been reviewed and considered, including review by external expert heritage consultants GML (formerly Context) against recognised heritage criteria. Consequently, some minor modifications to the statements of significance for some properties are suggested, but none of the submissions raise issues that would undermine the heritage merit of the amendment.

It is recommended that Council refer all submissions to an independent Planning Panel for further consideration. The Panel will provide submitters an independent forum to represent their concerns and have their submissions considered further.

Built form and land use provisions

At present, there is a lack of suitable design and heritage controls for Darebin's side of the corridor. The development pressure along Heidelberg Road has increased with the development of the former AMCOR papermill site (in Yarra LGA) and the local community have been voicing their concerns about the scale and type of development in the corridor.

In response to this, the Heidelberg Road Corridor Project (HRCP) involves developing new planning provisions to guide development and provide greater certainty about land use and built form outcomes.

Over the past two years a range of strategic investigations have been undertaken on economics, built form, and heritage to inform new provisions, which involves a 'whole of corridor' planning approach and a shared vision for the future of the corridor located. This vision is captured in the draft Heidelberg Road Corridor Local Area Plan.

Community engagement on the Heidelberg Road Corridor Project and proposed planning approach (land use, built form and heritage) was held between 22 June and 3 August 2021. Approximately 300 people participated in the engagement activities.

Below are some of the key findings of the engagement:

- Support for the broad objectives and outcomes identified for the corridor
- Support for mandatory heights (compared with discretionary)
- Support for the mixture of land uses through the corridor
- Broad support for heritage controls, and some opposition
- Desire to protect existing character and amenity
- Concerns that development will cause congestion and parking problems

Given the broad support for the heritage provisions, Heritage Amendment 203dare was the first project identified out of the HRCP and has been advanced separately.

Next steps for built form and land use controls

The engagement findings and the longer-term implications of the pandemic mean that further work is required before the proposed built form and land use controls can proceed to a planning scheme amendment, including:

- An economic review that considers the effects of the pandemic on the proposed transition to a more intensive form of employment in the corridor.
- A review of the urban design framework including feasibility of development in response to feedback on heights.
- A review of the proposed zoning approach, to consider the existing creative uses and the most appropriate zoning for the Fort Knox site.

It is proposed to report the outcomes from these further investigations back to Council in early 2023 and seek a resolution from Council to commence a planning scheme amendment to implement a new range of built form provisions.

Officer Recommendation

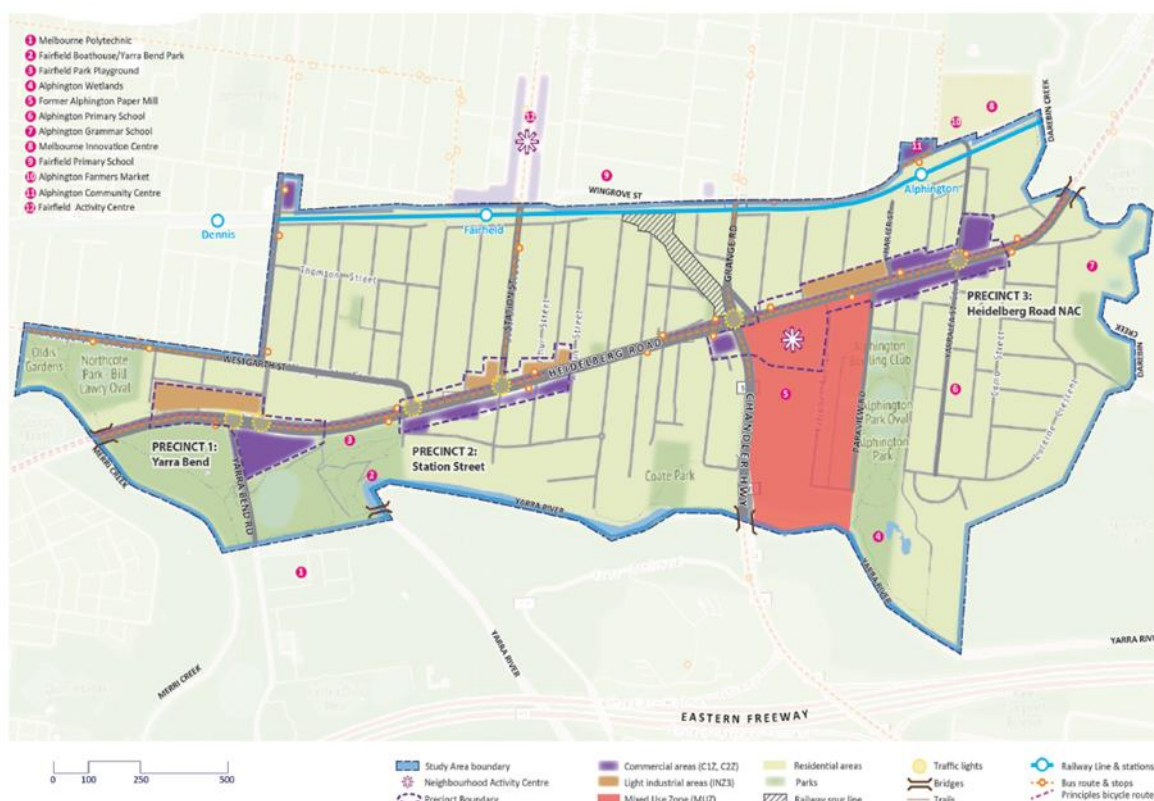
That Council, having prepared and Exhibited Amendment C203dare to the Darebin Planning Scheme under section 19 of the Planning and Environment Act 1987:

- (1) Considers all written submissions made to Amendment C203dare to the Darebin Planning Scheme (heritage controls).
- (2) Requests that the Minister for Planning appoint an independent Planning Panel to consider submissions to Amendment C203dare.
- (3) Refers all submissions to the independent Planning Panel to be appointed by the Minister for Planning.
- (4) Endorses the response to submissions outlined in this report and recommended minor changes to the Amendment documents (**Appendix B, Appendix C, and Appendix E**) to form the basis of Council's submission to an independent Planning Panel.
- (5) Authorises the Manager City Futures to make alterations and corrections, where necessary to the Amendment documents that do not change the intent of the Amendment C203dare.
- (6) Writes to all submitters to inform them of Council's decision to progress the heritage Amendment C203dare to an independent Planning Panel.

- (7) Notes the results of the 2021 Heidelberg Road Corridor community engagement (**Appendix G**) and the need for further work to progress the land use and built form provisions.

BACKGROUND / KEY INFORMATION

Heidelberg Road Corridor Project study area



The project study area covers the section of Heidelberg Road between Merri and Darebin Creeks, the border of the Darebin and Yarra LGAs. In 2019, Yarra and Darebin Councils worked collaboratively to research the existing context of Heidelberg Road, including existing planning controls, development applications and built form conditions. During this initial phase, a draft Local Area Plan for the Heidelberg Road Corridor was created, which provides the framework for ongoing strategic planning.

For Darebin, there is a focus on several precincts that are largely zoned for industrial use (IN3Z), with a commercial (C1Z) precinct located at the eastern end of the study area in Alphington. Industrial land does not permit residential uses, and this generally limits the scale of development on these sites. A public acquisition overlay (PAO1) also limits development potential by reserving the site frontage for the purposes of road widening, to a depth of 11 to 13m.

Heritage Amendment C203dare

Broad community engagement and consultation (aligned with Council's Engagement Policy and Framework) occurred between June and August 2021. The community's views on the Heidelberg Road Heritage Assessment were canvassed along with other documents that form the Local Area Plan and Built Form Framework. The engagement findings around heritage yielded a high level of community support:

- 67% of respondents showed support or strong support for heritage protection.
- 12% opposed it (mostly from those affected by the heritage overlay).

Council considered this in September 2021 when deciding whether to commence an amendment to apply heritage overlay protection to the identified locally significant places.

Protecting heritage is Council's responsibility under the *Planning and Environment Act 1987*. Local heritage outcomes are ultimately dependent on council action: completing heritage studies to identify places of local heritage significance and acting to protect them through the planning scheme.

Heritage consultants GML were engaged by Council to carry out the Heidelberg Road Heritage Assessment 2020 ('the Heritage Assessment'), which forms the basis of the Amendment and recommends the following properties meet the highest 'individually significant' local heritage grading for inclusion in a permanent heritage overlay in the Darebin Planning Scheme:

1. 159-179 Heidelberg Road, Northcote
2. 257 Heidelberg Road, Northcote
3. 273-289 Heidelberg Road, Northcote
4. 331-333 Heidelberg Road, Northcote
5. 441 Heidelberg Road, Fairfield
6. 521 Heidelberg Road, Alphington
7. 607 Heidelberg Road, Alphington

A summary of each property with images is included in **Appendix A** to this report.

At its Planning Committee meeting on 9 August 2021 Council resolved to protect 331-333 Heidelberg Road, Northcote from impending demolition via Planning Scheme Amendment C200dare. The Minister for Planning approved C200dare and the property is now protected by an interim Heritage Overlay in the Darebin Planning Scheme on a temporary basis until 30 October 2022.

Planning and Environment Act 1987 – requirements in dealing with submissions*Consideration of submissions*

Under section 22 of the *Planning and Environment Act 1987*, Council must consider every submission received during exhibition, and may consider late submissions. Pursuant to section 23 "*after considering a submission which requests a change to the amendment, the planning authority must*":

- Option 1 - Change the amendment in the manner requested by the submission; or
- Option 2 - Refer the submission to an independent Planning Panel; or
- Option 3 - Abandon the amendment or part of the amendment.

In circumstances where multiple submissions that seek different changes to an amendment have been received, Option 1 is not a viable pathway, as changes made to respond to one submission have the potential to be unsatisfactory to other submitters.

Given 173 submissions have been received seeking multiple, different changes to the amendment (and some supporting the amendment in its exhibited form); the only options available to Council are to:

- Refer all submissions to Panel, or
- Abandon part or all of the amendment.

Previous Council Resolution

At its Planning Committee meeting held on 9 August 2021, Council resolved the following in relation to the interim Heritage Overlay for 331-333 Heidelberg Road, Northcote:

‘That Council

- (1) Request the Minister for Planning prepare and approve Amendment C200dare to apply an interim heritage overlay to the Darebin Planning Scheme, pursuant to section 20(4) of the Planning and Environment Act 1987.*
- (2) Authorise the Manager City Futures to make minor alterations and corrections, where necessary, to the Amendment C200dare material as attached prior to the lodgement of the request with the Minister for Planning.*
- (3) Note that the affected landowner will have the opportunity to present their case and participate in the planning scheme amendment process for permanent heritage controls.*

At its meeting held on 27 September 2021, Council resolved the following in relation to the application of permanent heritage provisions for the seven properties:

‘That Council

- (1) Endorses the Heidelberg Road Heritage Assessment by Context and the statements of significances as recommended in the report.*
- (2) Requests the Minister for Planning authorise the preparation and exhibition of Amendment C203dare to the Darebin Planning Scheme, pursuant to section 8A of the Planning and Environment Act 1987.*
- (3) When authorised by the Minister for Planning, exhibits Amendment C203dare to the Darebin Planning Scheme in accordance with notice requirements under section 19 of the Planning and Environment Act 1987.*
- (4) Authorise the Manager City Futures to make minor alterations and corrections, where necessary, to the Amendment C203dare documentation.*
- (5) In response to any more demolition applications under Section 29a of the Building Act 1993 for properties included in Amendment C203dare, authorise the Chief Executive Officer to request the Minister for Planning prepare and approve an amendment under Section 20(4) of the Planning and Environment Act 1987 to apply an interim Heritage Overlay, while permanent heritage controls via Amendment C203dare is considered.*

Built form and land use controls

At its meeting held on 26 April 2021 Council resolved the following in relation to the Heidelberg Road Corridor Planning Project:

That Council:

- (1) Engage the community on the proposed planning response for the Heidelberg Road Corridor, including the Draft Heidelberg Road Corridor Local Area Plan and background studies.*
- (2) In the engagement, consult also on a second option that varies the proposed response to:*
 - a. retain the current industrial zones, and*
 - b. make the maximum overall building heights and street wall heights mandatory*
 - c. ask relevant stakeholders what they recommend the maximum building heights and street wall heights should be.*
- (3) Report back to Council on community feedback and technical advice in regard to both options.*

ALIGNMENT TO 2041 DAREBIN COMMUNITY VISION

Strategic Direction 2: Prosperous, Liveable and Flourishing

ALIGNMENT TO 2021-25 COUNCIL PLAN

Strategic Direction 2: Prosperous, Liveable and Flourishing

ALIGNMENT TO COUNCIL PLAN STRATEGIC OBJECTIVES

4.5 We will improve the sustainability, accessibility, and design of development on private land in our city

This project seeks to improve the quality of development in Darebin by implementing new planning provisions that support the land use and built form outcomes Council is seeking.

DISCUSSION**Heritage Amendment C203dare**Submissions Overview

The four submissions have been reviewed by officers as well as consultants GML for expert review based on recognised heritage criteria. The consultant undertook further site inspections and a comparative analysis of relevant local and wider examples of like heritage places. Consequently, minor changes to the Amendment documents are recommended in relation to the descriptions, statements of significance, and place citations for the following properties:

- 273-289 Heidelberg Road, Northcote
- 257 Heidelberg Road, Northcote
- 607 Heidelberg Road, Alphington

The table below gives an overview of the analysis and review of submissions and preferred recommendations in response:

Submitter	Point raised (overview)	Officer Response (summary)	Recommendation
1 and 2	Support for heritage protection	Support noted.	Refer to Panel. No change to the Amendment.
2	Consider further protection for the mature eucalypt trees at 273-289 Heidelberg Road, Northcote	Tree protection via overlay control other than heritage is out of scope. Refer submission to heritage consultant for advice.	Refer to Panel. Minor revision to the statement of significance amendment documentation to acknowledge the contribution of the eucalypts to the landscape setting.
3 and 4	Consider reassessing condition and significance of place reported in the heritage assessment.	Refer submitters requests for reassessment to heritage consultant for review.	Refer to Panel. Minor revision to the statements of significance amendment documents to clarify descriptions of heritage fabric.
3 and 4	Individual financial loss due to cost of renovation, maintenance, constrained redevelopment opportunity, and property devaluation.	Individual financial loss is not relevant to the planning scheme amendment process which is primarily for the purpose to determine the existence of heritage value. Personal circumstance can form part of decision making during the planning permit application stage (established by Planning Panel Reports – see Moreland C149, Stonnington C157, and Maroondah C42). Areas of growth can accommodate heritage (established by Planning Panel Report – see Boroondara C308).	Refer to Panel. No change to the Amendment.
3 and 4	Excessive control on individual rights and perceived lack of fairness of process	Provided there is appropriate basis and justification in the heritage assessment and submissions are reviewed and feedback considered; applying a heritage overlay is warranted under the planning system.	Refer to Panel. No change to the Amendment.
4	Heritage control affects the ability to respond to the Climate emergency i.e. installation of solar panels	ESD outcomes, principles of sustainable development, and heritage overlay protection is not mutually exclusive. Refer to Context heritage consultant for advice on solar panel installation.	Refer to panel. No change to the Amendment. Solar panel installation is possible to the rear with careful siting, scale and design.

Appendix B to this report provides a comprehensive summary of submissions. **Appendix C** to this report contains the Statement of Evidence prepared by the heritage consultants GML in response to the matters raised in submissions.

Recommendation

The proposed properties for heritage protection meet the threshold of local significance in Darebin. The Amendment supports and implements planning policy, is strategically justified and should proceed subject to the points of clarification raised in submissions.

It is recommended that Council proceed with the amendment, and refer the submissions to Panel for further consideration.

Built form and land use controls

The following proposed built form and land use provisions were the subject of community engagement between 5 May and 3 August 2021 (see **Appendix F** for brochure summary of proposed changes):

- The Draft Heidelberg Road Corridor Local Area Plan.
- Proposed rezoning of precincts from Industrial 3 Zone (IN3Z) to Commercial 2 Zone (C2Z), and Commercial 3 Zone (C3Z) for the Fort Knox site.
- The Heidelberg Road Built Form Framework that establishes height, setback and built form controls across the precincts, with objectives such as minimising visual bulk, reducing overshadowing, providing for landscaping, and protecting amenity for neighbouring properties. A Design and Development Overlay (DDO) is proposed to implement the recommendations of the Framework through a future planning scheme amendment.

The key issues raised by engagement participants are summarised below (refer to **Appendix G** for complete engagement summary).

<i>Built form controls</i>	<ul style="list-style-type: none"> • Support for development along Heidelberg Road if it is appropriately scaled, sustainable and high quality. • Concerns that the proposed building height and form controls could negatively impact the nearby area with overshadowing and "wind tunnels." • 4 and 5 storey buildings were more popular than 6 and 8 storey buildings. • Concerns about how the increased building height would affect the amenity of the area, as well as impacts on public open space and privacy. • Generally supported mandatory height limits over discretionary height limits.
<i>Zoning changes</i>	<ul style="list-style-type: none"> • The most common response to retaining the industrial zone was 'neutral'. However, more than a third of respondents support or strongly support changing the industrial zoning to Commercial 2 Zone. • Over a third of respondents are in favour of re-zoning Fort Knox to Commercial 3. • The majority of respondents preferred a mix of uses (residential and commercial) as it allows for a diversity of activities. • Some respondents thought that the proposed zoning changes would negatively impact their properties and the character of the corridor.

	<ul style="list-style-type: none"> • Respondents that opposed the proposed Commercial 2 Zone thought it would result in an oversupply of office spaces or price small businesses out of the area.
<i>Traffic and parking congestion</i>	<ul style="list-style-type: none"> • Concerns about traffic congestion in the corridor due to an increase in the density of development. • New developments should provide parking for all residents
<i>Heritage Overlay</i>	<ul style="list-style-type: none"> • Heritage Overlays on the identified significant sites were supported. • A small number of participants were disappointed that the proposed Heritage Overlay would affect their property. Participants expressed concern that this would lead to financial loss due to a potential devaluation of their property.

Industrial complex home to creative cluster

There is a significant cluster of live/work spaces and creative businesses in the Former Fairfield Hat Mills complex within Precinct 1 Yarra Bend Park. Darebin's Creative and Cultural Infrastructure Framework notes the importance of industrial zoning in maintaining affordable creative spaces. The appropriate zoning should be considered further.

Economic study

The economic background study informing the proposed zoning changes was completed in the early stages of the pandemic and identified the opportunity to evolve towards a more office-based employment precinct. However, ongoing work from home/office hybrid patterns could reduce the demand for office space on city fringes. The study should be updated to consider the effects of the pandemic on the demand for larger office developments along the corridor.

Further work & next steps

Based on the community consultation findings and further analysis, it is evident that the following additional work is needed:

- An economic review that analyses the potential effects of the pandemic on the proposed transition to a more intensive form of employment in the corridor.
- A review of the urban design framework including feasibility of development in response to community feedback on heights.
- A review the proposed zoning approach, to consider:
 - The identification of existing creative uses in Precinct 1 and review proposed C2Z (particularly Hat Mills).
 - Review proposed C3Z for Fort Knox site in Precinct 3, including any strategic justification for a residential component.

After the further work is completed, the proposed planning scheme amendment documents will be drafted. Officers will then report to Council on the outcomes of the further work and will seek a resolution of Council to proceed with a planning scheme amendment.

CONSIDERATION OF LOCAL GOVERNMENT ACT (2020) PRINCIPLES

Financial Management

Heritage Amendment C203dare

The ongoing work associated with planning scheme amendment C203dare is accommodated within existing budgets and resources.

Built form and land use controls

The planned further work can be accommodated within this financial year's budget (FY21/22), however further budget will be needed next financial year in order to progress and undertake a planning scheme amendment. The draft budget contains a provision for this work.

Community Engagement

Heritage Amendment C203dare

Should Council adopt the recommendation of this report and proceed to progress the Amendment to an independent Planning Panel, the following engagement will occur:

- Update to the Heidelberg Road Heritage - Planning Scheme Amendment C203dare Your Say project page will be made regarding outcome and next steps
- All submitters will be notified of Council's decision
- Once a Planning Panel has been appointed, all submitters will be advised in writing by Planning Panels Victoria about hearing arrangements, dates, and whether they wish to be heard

In consideration of the broad community consultation undertaken for the Heidelberg Road Corridor Planning project in mid-2021 (which included engagement on the Heritage Assessment); the target groups of engagement activities associated with exhibition was focused around affected landholders (owners/occupiers), adjoining properties (owners/occupiers), known interested parties, and fulfilling the statutory obligations of exhibition under the *Planning and Environment Act 1987*.

Appendix D to this report provides a summary of the engagement plan and key messages associated with exhibition of the Amendment. The below table provides a snapshot of engagement activities during exhibition:

Engagement Activity	Dates	Number of participants/ people engaged	Demographic information/ stakeholder group
Letter	9 November 2021	44/3	Landowners Occupiers of affected land
Your Say webpage/ Corporate webpage	11 November 2021	77/1	Online Community, Heidelberg Road Corridor Planning Project subscribers
Public Notice	11 November 2021	N/A	Victorian Government Gazette and The Age

Engagement Activity	Dates	Number of participants/ people engaged	Demographic information/ stakeholder group
Email	11 November 2021	8/1	Government Authorities (Pre-scribed Ministers, Local MP's, adjoining municipalities, Council Staff)
Email	12 November 2021	24	Contacts to previous consultation about the Heidelberg Road Corridor Planning Project
Letter	17 November 2021	244	Adjoining landowners and occupiers

Built form and land use controls

Approximately 300 people participated in engagement activities. The results of participation rates, demographics of respondents, and other results from engagement activities are presented below in the Table below.

Engagement Activity	Number of participants/ people engaged	Target group	Demographic information	Timing and location
Online survey	246 participants <i>(143 were fully completed, whilst 73 were only partially completed)</i>	Local residents Business owners	The majority of participants' relationship to Heidelberg Road was as resident The most common age bracket for participants was 50 and 59 years More than half of participants were women.	Open online between May and August 2021.
Online information sessions	Session on the 6 July 2021: 9 participants Session on the 13 July 2021: 33 participants	Visitors	Over 83% did not speak a language other than English at home Over 89% did not report having a disability No one identified as Aboriginal or Torres Strait Islander	Occurred between 6pm and 8pm via Zoom on both dates
Pop-up session	42 participants			Occurred at Fossette Café (737 Heidelberg Road, Alphington) on the 29th of June 2021 between 8:30am and 2pm.

Advertising and promotional activities were launched in May 2021. Details regarding the reach of promotional activities and number of participants are provided in the following Table.

Promotion Activity	Reach
Social Media (Facebook posts)	Five posts (22nd of June, 2nd of July, 12th of July, 22nd of July and the 2nd of August) with 29,132 total views. 1,218 total post engagements ²
Letter drop	1,500 letters distributed to properties within approximately 200m of Heidelberg Road on the Darebin side 140 affected landowner/occupiers received a personalised letter
Poster and factsheet display	Displayed in Preston Library
Project website (yoursay page)	Provides links to information sheets, the online survey and a Council contact

Overarching Governance Principles and Supporting Principles

- (a) Council decisions are to be made and actions taken in accordance with the relevant law;
- (b) priority is to be given to achieving the best outcomes for the municipal community, including future generations;
- (c) the economic, social and environmental sustainability of the municipal district, including mitigation and planning for climate change risks, is to be promoted;
- (d) the municipal community is to be engaged in strategic planning and strategic decision making;
- (h) regional, state and national plans and policies are to be taken into account in strategic planning and decision making;
- (i) the transparency of Council decisions, actions and information is to be ensured.

Public Transparency Principles

- (a) Council decision making processes must be transparent except when the Council is dealing with information that is confidential by virtue of this Act or any other Act;

Strategic Planning Principles

- (b) strategic planning must address the Community Vision;
- (c) Strategic planning must take into account the resources needed for effective implementation;
- (d) strategic planning must identify and address the risks to effective implementation;
- (e) strategic planning must provide for ongoing monitoring of progress and regular reviews to identify and address changing circumstances;

COUNCIL POLICY CONSIDERATIONS

Environmental Sustainability Considerations (including Climate Emergency)

Council supports Environmentally Sustainable Development (ESD) with local policies. The proposed heritage overlay is designed to co-exist with ESD policies whilst maintaining heritage value. Both objectives are important, and generally both can be achieved.

Equity, Inclusion, Wellbeing and Human Rights Considerations

An Equity Impact Assessment (EIA) was undertaken as part of the broader Heidelberg Road Corridor Planning project. The EIA was reviewed prior to exhibition with specific regard to age, disability, CALD and differences in access to digital platforms.

The impact of the EIA review informed the following necessary best practice communication strategies:

- Material translated into the top 12 languages spoken in Darebin
- Opportunity for interpreters to be requested
- Simplified FAQ's fact sheet
- Best practice font, size and colour choice (dark on light)
- Availability of Amendment documents in hard copy at Councils Preston office
- Opportunity for telephone, in person, or online discussion

Economic Development and Cultural Considerations

Heritage Amendment C203dare

The Amendment is expected to have a positive social impact by providing protection for heritage places identified as being of local significance. The protection of heritage streetscapes and precincts contribute to an understanding of Darebin's social and architectural history, for the benefit of present and future generations.

A heritage overlay may create some additional costs for landowners and/or developers if they wish to develop their property in circumstances where there was no previous planning permit requirement. However, it is a well-established principle of the planning system that any individual impact is offset by the community nature of heritage conservation as an important cultural asset in our built environment.

Built form and land use controls

An objective of the HRCP is to improve economic development outcomes in the corridor through potential changes to zoning and built form controls. The community feedback from consultation will inform updates to the economic study to ensure it is robust.

Operational Impacts

Heritage Amendment C203dare

The number of planning permit applications may increase relative to the seven (7) new proposed heritage places. Darebin's statutory planning function as Responsible Authority is set up well to consider planning permits, and this impact is considered negligible.

Built form and land use controls

The future planning controls (subject to future planning scheme amendment) may create more planning permit triggers and thus may result in more planning applications for the statutory planning department.

Legal and Risk Implications

Council is obligated under the Planning and Environment Act 1987 to conserve places of cultural heritage significance. Failure to apply appropriate heritage overlay control via the planning scheme risks noncompliance with Councils duty as a responsible authority.

Built form and land use controls

Nil.

IMPLEMENTATION ACTIONSHeritage Amendment C203dare

- **This meeting** – Refer all submissions to Planning Panel
- **Mid 2022** – Panel Hearing (TBC)
- **Mid-late 2022** – Panel Report
- **Late 2022 / Early 2023** – Council consider Panel recommendations & decision to adopt heritage amendment and submit Planning Minister








Built form and land use controls

- **April 2022** – Update Community
 - Give high level overview of consultation and further work on Yoursay page.
 - Send project update email to submitters and those registered via Yoursay.
- **Late 2022** – Undertake further strategic work (as outlined under 'Further work required')
- **Early 2023** – Prepare the planning scheme amendment documentation
 - Update the Local Area Plan in response to community feedback
 - Draft the proposed planning controls
- **2023** – update Council on further work and seek resolution of Council for Planning Scheme Amendment

RELATED DOCUMENTS

- Planning and Environment Act 1987
- Plan Melbourne 2050 – Direction and Policy Outcome 4
- Ministerial Direction 11
- Ministerial Direction 15
- Planning Practice Note 01 – Applying the Heritage Overlay

Attachments

- Appendix A - Summary of properties for inclusion in heritage overlay with images (**Appendix A**) [↓](#) 
- Appendix B - Summary table of submissions content (**Appendix B**) [↓](#) 
- Appendix C - Statement of Evidence prepared by GML (**Appendix C**) [↓](#) 
- Appendix D - Summary of Engagement Plan for exhibition of Amendment (**Appendix D**) [↓](#) 
- Appendix E - C203dare Amendment Documentation Post Exhibition (**Appendix E**) [↓](#) 
- Appendix F - HRC project recommendations summary (**Appendix F**) [↓](#) 
- Appendix G - Community Engagement summary (**Appendix G**) [↓](#) 

DISCLOSURE OF INTEREST

Section 130 of the *Local Government Act 2020* requires members of Council staff and persons engaged under contract to provide advice to Council to disclose any conflicts of interest in a matter to which the advice relates.

The Officer reviewing this report, having made enquiries with relevant members of staff, reports that no disclosable interests have been raised in relation to this report.

Summary of properties for inclusion in heritage overlay - Heidelberg Road Heritage Planning Scheme Amendment C203dare

Property Description	Image	Heritage Description
<p>Former Fairfield Hat Mills Complex (later Department of Aircraft Production branch)</p> <p>159-179 Heidelberg Road Northcote</p> <p>Land size 4,837sqm Place Type Industrial Date c. 1909-39</p>		<p>Originally established for the Fairfield Hat Mills comprising a collection of high integrity industrial buildings developed in stages, generally intact as a single industrial complex. Typical elements are large metal frame windows, simple brickwork with concrete lintels and timber loading doors.</p>
<p>Residence</p> <p>257 Heidelberg Road Northcote</p> <p>Land size 1,621sqm Place Type Residential Date c. 1948-49</p>		<p>Single storey cream brick residence. Dominating decorative features are curved corners, wide steel-framed corner windows with curved glass, bands of dark coloured brick and unusually wide yet thin and tall chimney. Overall, the building has very high integrity.</p>
<p>Church of Jesus Christ of the Latter-day Saints, Northcote</p> <p>273-289 Heidelberg Road Northcote</p> <p>Land size 10,158sqm Place Type Religious Date c.1958 & c. 1974-78</p>		<p>A church community complex with original chapel and community centre built around a quadrangle and new chapel fronting Westgarth Street. Significant elements include a combination of scale, horizontal and vertical elements with modernist ecclesiastic design, brick framework, metal framed windows, and original landscaping.</p>

<p>Former residence</p> <p>331-333 Heidelberg Road Northcote</p> <p>Land size 1,064sqm Place Type Residential Date 1913</p>		<p>Significant as a fine early example of the Queen Anne style. This is particularly evident in its layout, decorative roof ornamentation and architectural detailing and turret tower. Also notable is box bay window and narrow leaded sash windows that demonstrates art nouveau styling.</p>
<p>Marineuie Court Apartments</p> <p>441 Heidelberg Road Fairfield</p> <p>Land size 1,096sqm Place Type Residential Date 1939</p>		<p>A two-storey block of brick flats contains four residential units. Features include clinker brick walls with horizontal bands of brick tapestry work and selectively placed cream brick motifs. Other decorative elements include curved balustrades and thin metal signage that reads 'Marineuie Court'.</p>
<p>Residence</p> <p>521 Heidelberg Road Alphington</p> <p>Land size 872sqm Place Type Residential Date c.1941</p>		<p>Single storey variegated cream brick residence, with bricks laid decoratively, concrete tiled roof and features associated with the Old English style. A historically significant example of interwar residential development.</p>
<p>Kia-Ora Residence</p> <p>607 Heidelberg Road Alphington</p> <p>Land size 1,063sqm Place Type Residential Date 1913, c.1918</p>		<p>A single-storey Queen Anne style brick residence on irregular block with prominent street frontages to Grange Road, Heidelberg Road, and Fulham Road. Significant fabric includes, terracotta roof, chimneys and verandah with red brick and decorative cream brick, timber framed windows, doors and gable. Historically significant for its representation of the development of Darebin and its growing prestige of Alphington as a residential area</p>

HEIDELBERG ROAD HERITAGE – PLANNING SCHEME AMENDMENT C203dare					
Summary of Submissions					
Submitter	Position	Issues raised	Officer Response	Heritage Consultant Context - Preliminary Response.	Preliminary Recommendation
1.	Support	<p>1. Supports the importance of heritage elements in the character of the area.</p> <p>2. Supports the retention of heritage places through protections proposed by Amendment C203dare to ensure new development responds sensitively.</p>	<p>Response to submission point 1 (R1): The Heidelberg Road Heritage Assessment prepared by heritage consultants Context identifies local heritage value along the Heidelberg Road Corridor worthy of protection.</p> <p>(R2): Planning Scheme Amendment C203dare proposes to protect the identified local heritage value via a heritage overlay. This is consistent with planning policy frameworks to conserve and enhance buildings and areas of aesthetic, architectural and historical interest and facilitate development accordingly.</p>	(R1 and R2): Noted	<p>Refer to Panel.</p> <p>No change proposed.</p>
2.	Support with suggested changes	<p>1. Thanks Council for recognising planning control is essential to protect cultural assets.</p> <p>2. Re 273-289 Heidelberg Rd, submits the site is significant for:</p> <ul style="list-style-type: none"> - the built form - the green open space, cooling environment and contribution to the climate crisis - the passive leisure benefits to the community. <p>3. Re 273-289 Heidelberg Rd, suggests including the mature eucalypt trees in the Statement of Significance</p> <p>4. Suggests applying a planning control such as, Environmental Significance Overlay (ESO) or Vegetation Protection Overlay (VPO) to the eucalypt trees at 273-289 Heidelberg Rd</p>	<p>(R1): Heritage overlay protection is a core component of planning and the planning system. A high level of justification to establish a heritage overlay is required under the system and this has been undertaken as part of this Amendment process.</p> <p>(R2): Protecting the heritage value of this place demonstrates an environmental and community benefit and highlights that the conservation of heritage in our built environment can have ancillary and compounding benefits related to redressing the climate emergency.</p> <p>(R3): Referred to heritage consultants Context for review (see response).</p> <p>(R4): A different form of planning control other than heritage, such as ESO or VPO would need to be the subject of a new and separate Planning Scheme Amendment. Amendment C203dare is related to heritage significance only.</p>	<p>(R3): Although the exact age of the eucalypts is not known, a 1981 aerial confirms the trees were planted after 1981. Tree controls were not recommended as the three eucalypts have little or no historical or aesthetic significance. Minor changes to the description are recommended to clarify trees in the landscape (See Recommendation).</p> <p>(R4): Given that the eucalypt trees are not part of the heritage significance of the site it is suggested that other planning measures would be likely to provide more appropriate options for tree protection than the Heritage Overlay.</p>	<p>Refer to Panel.</p> <p>Endorse minor changes to the Amendment document, Statement of Significance, and place citation to acknowledge the landscape contribution of the remaining eucalypts to the overall site.</p>
3.	Oppose with	1. Re 257 Heidelberg Rd, the submitter challenges	(R1): The Heidelberg Road Heritage Assessments are based on Planning Practice Note 01	(R1): No further evidence of additions or modifications have been	<p>Refer to Panel.</p> <p>Endorse minor</p>

	suggested changes	<p>the conclusion of the heritage assessment e.g.</p> <ul style="list-style-type: none"> - un-original house with numerous add-ons and modifications - importance of 1940's aesthetic for future generations <p>2. Recommends Council considers carrying out further research to assess modifications and review significance e.g. Garage, Front fence, Cypress Tree</p> <p>3. Raises points about restricted re-development opportunity</p> <p>4. Raises points about devaluing of property</p> <p>5. Raises points about individual financial loss associated with maintenance and renovation costs e.g. Fence repairs, Cypress Tree maintenance</p> <p>6. Raises points about the fairness of process, communication and individual rights e.g.</p> <ul style="list-style-type: none"> - more information required about allowable repairs and renovation - delay in time between finalisation of heritage assessment report and consultation - lack of consideration of property owner opinion and rights 	<p>which sets out the importance of place through applying recognised heritage criteria in the statements of significance to form the basis for a places inclusion in a Heritage Overlay. This includes justification of What is significant, How and Why. Referred to heritage consultants Context for review (see response).</p> <p>(R2): Referred to heritage consultants Context for review (see response).</p> <p>(R3): The purpose of a heritage planning scheme amendment is to establish and justify significance of place. Development opportunity and property value is not relevant when assessing significance of place or whether heritage value exists. If a heritage overlay is justifiably established in the planning scheme this does not prohibit development or preclude buildings and works. Heritage overlay control generally requires new development to respond to existing heritage value in a sensitive way. The introduction of a heritage overlay creates another layer of planning control in addition to other permit triggers such as zoning or other overlays. Development or redevelopment can be subject to several such planning controls for the protection of, amenity, environment, neighbours etc. all of which restrict development. To abandon or disregard heritage on this basis is not adequate.</p> <p>(R4): A general ruling is that devaluation of land or individual commercial gain is not relevant. Personal circumstances may apply at the planning permit application stage but is not a consideration when assessing whether applying a heritage overlay is justified. Overall in Darebin, property values have increased over the past decades and continue to do so including in heritage places.</p> <p>(R5): Submissions about costs of maintenance and repairs or engaging specialists or obtaining consent to do work are matters of private finances and not a relevant consideration at the planning scheme amendment stage. Many refurbishments and</p>	<p>provided by the submitter. The house retains a good level of integrity, appears externally highly intact, with no obvious additions or alterations readily visible when viewed from Heidelberg Road. Buildings developed in the post-war period are gradually gaining more recognition. As described in the historical context provided in the Heidelberg Road Heritage Assessment report and defined in the <i>Darebin Thematic Environmental History</i> (2007), the immediate post-war period (late 1940s) was one of the key periods of residential development in the City of Darebin and broader metropolitan Melbourne. The house is a typical example of a Moderne style brick house built in the 1940s demonstrating this phase of development.</p> <p>(R2): The original low masonry front fence with mild steel panels and gates, and original cream brick garage are identified as significant elements and thus additional control has been proposed (outbuildings or fences control), and will require a planning permit to redevelop. Ornamental trees, hedge and cypresses in the front garden are sympathetic to the period of development but not integral to it. They enhance the landscape and provide amenity without being intrinsic to the significance of the place. Thus additional tree controls to the cypresses are not proposed, but minor changes are recommended to the description to clarify the contribution of the cypresses to the setting (See Recommendation).</p>	<p>changes to the Amendment document, Statement of significance (Criterion D) to clarify how the cypresses demonstrate the typical garden designs of the 1940s.</p>
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		<p>minor works do not need permits and internal alterations are not impacted by the proposed controls. All landowners are responsible for building maintenance whether it is an older or newer building. A heritage overlay does not compel the landowner to undertake maintenance, however, if the landowner does choose to undertake external renovation individual issues are intended to be considered at the planning permit stage e.g. alterations, demolition, economics for individuals concerned. To assist landowners Council offers a free heritage advisory service in circumstances an owner wishes to undertake permit required alterations.</p> <p>(R6): Applying a heritage overlay is a long-established practice of land use development and is an accepted practice in Victoria regulated by the planning scheme. The Heritage Council Victoria, State of Heritage Review 2020 reports that the process to apply a heritage overlay is transparent and that involvement of community through submissions made to a planning scheme amendment is a key strength of the system. Provided public notice and consideration of owner's views occurs, planning scheme requirements can be said to be fairly applied. Council has provided two opportunities for consultation on the proposed heritage controls along the Heidelberg Road Corridor; one as part of broad engagement activities; and one as part of the statutory requirements of exhibition for Amendment C203dare. The first-round broad engagement outcome helped inform Councils decision to progress Amendment C203dare. The exhibition of Amendment C203dare focused more on engaging landholders/occupiers (refer engagement and consultation in main report for more detail). The recommendation to Council to refer submissions to a planning panels hearing is intended to provide an additional opportunity for submitter/ landowner views to be further considered by an independent forum.</p>	<p>It is advised that the Heritage Overlay covers land surrounding a significant building or structure to ensure any development does not adversely affect the setting or context. This does not mean that development cannot occur, but any proposal will need to go through the planning process.</p>	
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4.	Oppose with suggested changes	<p>1. Re- 607 Heidelberg Rd, the submitter challenges the conclusion of the heritage assessment e.g.</p> <ul style="list-style-type: none"> - Interior of the house needs to be considered - Condition of the building <p>2. Recommends Council considers carrying out further research to assess modifications and review significance e.g.</p> <ul style="list-style-type: none"> - Veranda posts fretwork and tessellated tiles, brick fence, garden landscaping, extension prior to 1968 removing original slate roofing, front garden acquisition by VicRoads in 1970 <p>3. Raises points about restricted re-development opportunity and devaluing of property e.g.</p> <ul style="list-style-type: none"> - Re-sale devalued by 50% - Challenge posed by three street frontages <p>4. Raises points about development growth in the immediate neighbourhood not being compatible with heritage e.g.</p> <ul style="list-style-type: none"> - Heritage value not enhanced by busy junction location - Noise and traffic pollution affecting 'liveability' and significance - AMCOR site development overlooking and loss of privacy - Multi-storey/ low-level development more appropriate - Modern buildings <p>5. Raises points about individual financial loss associated with maintenance and renovation costs e.g.</p> <ul style="list-style-type: none"> - structural disrepair - expense of upkeep/restoration with no concessions such as reduction in rates - Cost of permits - Cost/benefit to community vs individual rights including economic implications to the individual 	<p>(R1): The Amendment does not propose any internal controls. Interior controls are usually only placed on public or semi-public buildings. As opportunities arise to inspect the interior of a private dwelling (at the owner's request) it could be a consideration but is not recommended in this case. In terms of the condition of the building, a place may be rundown but still be substantially intact and retain its heritage value. In such a case it is still appropriate to apply the heritage overlay. It is established that Statements of Significance do not need to refer to condition unless it will aid with future management of the place.</p> <p>(R2): Referred to heritage consultants Context for review (see response).</p> <p>(R3): See submission 3, Response 3 and 4. To argue a 50% devalued sale price would need to be further tested with evidence. The proposed Panel hearing will provide an independent forum for the submitter to further argue their case. In terms of the challenges presented by the proposed heritage overlay with consideration of the sites three street frontages; this has been referred to heritage consultants Context for clarification (see response). A general rule is that the specifics of a proposed redevelopment and the appropriateness of the buildings and works is a matter for consideration at the planning permit application stage.</p> <p>(R4): Planning zoning is a key determinant applied to properties for the regulation of growth and planning objectives for the goals and outcomes of the area. In this case, the property is located in a General Residential Zone (GRZ2). Incremental housing change applies in this zone which encourages lower scale density of development. This current housing framework expects that the general character of incremental change areas will evolve over time as new, yet modest types of development is accommodated. Typically, such an area includes some medium density and small apartment development, but the predominant dwelling stock is</p>	<p>(R2): Overall, the place retains good level of intactness and integrity. In terms of the condition of the brick fence and fence posts this does not impact the integrity of significance. A place may be highly intact but in a fragile condition. Minor changes are recommended to clarify descriptions of the later changes (See Recommendation).</p> <p>(R3): The principal street frontages are Heidelberg Road, Grange Road and Fulham Rd. Formal frontage is the Heidelberg Road presentation with low brick fence at the corner three streets. The Fulham Road elevation has more importance than the Grange Road elevation given the level of detailing, but the Heidelberg Road frontage and both side elevations up to the end of low brick fence should be carefully treated at the planning permit application stage.</p> <p>(R4): Newer developments around the place are not detrimental to the integrity of the place, nor do they diminish its ability to demonstrate its significance.</p> <p>(R6): Installation of solar panels on key street frontages are generally discouraged. Works or development (i.e. installation of solar panels) to the rear would be possible but it needs to be carefully sited, scaled, and designed. Specific advice on future works has to be discussed during the actual permit application process.</p>	<p>Refer to Panel.</p> <p>Endorse minor changes to the Amendment document, Statement of Significance and citation to clarify:</p> <ul style="list-style-type: none"> - The date of rear extension (pre-1968) - That the extant tiled roof is not original and has replaced original slate roofing - That tessellated verandah tiles have been removed - The change to the site boundary and installation of the extant low brick fence following the widening of Heidelberg Road (post-1969)
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		<p>6. Raises points about heritage control restricting the ability to respond to the Climate Emergency and Environmental and Sustainable Design (ESD) e.g. Installation of solar panels</p> <p>7. Raises points about the fairness of process on individual rights</p>	<p>single to double storey dwellings with some stand alone or small clusters of heritage sites. The heritage merit that is the subject of the Amendment is separated from any work that may see Council wish to update the residential zoning via the preparation of a housing strategy. Planning for housing change is different to the function of a heritage overlay. If a property is located in a planning zone that encourages growth, it is concluded that areas of growth can accommodate heritage and consideration of growth on heritage is a matter for the planning permit stage.</p> <p>(R5): See submission 3, Response 5. Decisions around structural integrity should be left to a professional as part of a planning permit process. Cost of permits are determined on a sliding scale fee schedule according to the type of permit application and the estimated cost of development. A fee for a permit application starts at approx. \$200. A reduction in rates for properties covered by a heritage overlay is not recommended.</p> <p>(R6): Council takes its commitment to tackling the climate emergency very seriously. Council also has a duty to protect heritage under the <i>Planning and Environment Act 1987</i>. Both objectives are important, and generally both can be achieved. Council supports environmentally sustainable development (ESD) as per our local policies. Heritage overlays are designed to co-exist with ESD policies to help minimise environmental impact whilst maintaining heritage value. Referred to heritage consultants Context for review (see response).</p> <p>(R7): See submission 3, Response 6.</p>		
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Heidelberg Road Heritage Assessment

Statement of Evidence

March 2022



Acknowledgement of Country

We respect and acknowledge the Wurundjeri Woi-wurrung people, their lands and waterways, their rich cultural heritage and their deep connection to Country, and we acknowledge their Elders past and present. We are committed to truth-telling and to engaging with the Wurundjeri Woi-wurrung Cultural Heritage Aboriginal Corporation to support the protection of their culture and heritage. We strongly advocate social and cultural justice and support the Uluru Statement from the Heart.





Report register

The following report register documents the development of this report, in accordance with GML's Quality Management System.

Project	Issue No.	Notes/Description	Issue Date
2974	1	Draft Report	9 March 2022
2974	2	Final Report	25 March 2022

Quality assurance

The report has been reviewed and approved for issue in accordance with the GML quality assurance policy and procedures.

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1 Introduction

1.1 Purpose

- [1] I, Kim Roberts, have prepared this statement of evidence for Darebin City Council in relation to Amendment C203dare to the Darebin Planning Scheme Amendment (the Amendment).
- [2] The Amendment proposes to implement the recommendations of the 'Heidelberg Road Heritage Assessment' (the Assessment), prepared and revised by Context (now GML Heritage Victoria Pty Ltd) in 2020.

1.2 Instructions

- [3] This statement of evidence has been prepared in response to the instructions of the City of Darebin (Council) within the context of the Amendment to the Darebin Planning Scheme. It addresses that part of the Amendment that seeks to include properties assessed in the Assessment as being of heritage significance in the Heritage Overlay (HO).
- [4] It has been requested that I review submissions and provide an opinion on the heritage significance of the following individual properties that have been recommended for the inclusion in the HO:
 - 273-289 Heidelberg Road, Northcote
 - 257 Heidelberg Road, Northcote
 - 607 Heidelberg Road, Alphington.

1.3 Sources of information

- [5] This statement draws upon the following documentation:
 - Context 2020, 'Heidelberg Road Heritage Assessment'
 - Department of Environment, Land, Water and Planning (DELWP) 2018, Planning Practice Note 1 'Applying Heritage Overlay' (PPN01)
 - Context 2008, *City of Darebin Thematic Environmental History*.

1.4 Qualifications, experience and area of expertise

- [6] I am an architect and heritage consultant and have been engaged in the heritage field for over 18 years. I have been actively providing heritage and heritage asset management advice to private individuals and businesses, municipal councils, and the Victorian Director



of Housing and Secretary of Human Services regarding sites listed at Local, State and National level during this time. Since 2016 I have been a member of the Victorian Design Review Panel where I engage in peer review of architectural projects, particularly those within heritage contexts. I have also been recently appointed to the newly created Ballarat Design Review Panel. I have extensive experience working with the Planning Scheme, and a solid understanding of the Planning Scheme Amendment process. I have acted on behalf of the Director of Housing and Greater Bendigo City Council at Planning Panels in the past.

- [7] My area of expertise of relevance to this Planning Panel hearing is the assessment of the cultural heritage significance of places, buildings and structures within the wider Victorian context.
- [8] My curriculum vitae outlining my heritage qualifications and experience with respect to heritage issues is attached as Appendix A to this report.

1.5 Summary of opinion

- [9] The Amendment adds significant heritage properties to the HO and should be supported. The inclusion of the following properties is justified by the citations prepared as part of the 'Heidelberg Road Heritage Assessment' (2020):
 - 273-289 Heidelberg Road, Northcote
 - 257 Heidelberg Road, Northcote
 - 607 Heidelberg Road, Alphington.
- [10] Minor amendments to each citation are proposed as part of this submission.
- [11] The place citations for each property determine that they meet the 'threshold' of local significance based on HERCON criteria. Further, they respond to the broad historical themes articulated in the *City of Darebin Thematic Environmental History* and provide a comparative analysis against properties currently subject to the HO and other relevant examples in the local area or elsewhere.

1.6 Further changes recommended in response to submissions

- [12] I recommend in response to the submission regarding 273-289 Heidelberg Road, Northcote, that minor revisions are made to the description and statement of significance of the place citation to acknowledge the landscape contribution of the remaining eucalyptus trees to the overall site.
- [13] A revised citation for 273-289 Heidelberg Road, Northcote, is included as Appendix B of this evidence.



- [14] I recommend in response to the submission regarding 257 Heidelberg Road, Northcote, that minor changes should be made to the statement of significance (Criterion D) to clarify how the cypresses demonstrate typical garden designs of the 1940s.
- [15] A revised citation for 257 Heidelberg Road, Northcote, is included as Appendix B of this evidence.
- [16] I recommend in response to the submission regarding 607 Heidelberg Road, Alphington, that minor changes are made to the description and statement of significance to clarify:
- the date of the rear extension (pre-1968)
 - that the extant tiled roof is not original and has replaced original slate roofing
 - that the tessellated verandah flooring has been removed
 - the change to the site boundary and installation of the extant low brick fence following the widening of Heidelberg Road (post-1969).
- [17] A revised citation for 607 Heidelberg Road, Northcote, is included as Appendix B of this evidence.

1.7 Declaration

- [18] I have made all the inquiries that I believe are desirable and appropriate and no matters of significance which I regard as relevant have to my knowledge been withheld from the Panel.

Signed,

A handwritten signature in black ink, appearing to read 'Kim Roberts'.

Dr Kim Roberts



2 Strategic basis to Amendment C203dare

- [19] The 'Heidelberg Road Heritage Assessment', dated 24 September 2020, should be taken as the strategic basis for Amendment C203dare. It contains an explanation of the assessment methodology, summarises the findings and recommendations of the Assessment, and contains the heritage citations for places recommended for the Darebin Heritage Overlay.

3 Methodology of the Assessment

3.1 Background

- [20] GML Heritage Victoria Pty Ltd (formerly Context Pty Ltd) prepared the 'Heidelberg Road Heritage Assessment' (the Assessment) in 2020. In April 2020, Context was engaged by the City of Darebin to prepare this Heritage Assessment to inform Darebin's Built Form Framework.
- [21] The Heritage Assessment was structured in two stages: Stage 1 – Preliminary assessment and Stage 2 – Detailed assessment. The final findings of the Study are outlined in the 'Heidelberg Road Heritage Assessment' report (2020). This study aimed to investigate and assess places in the study area that are identified as having potential heritage value outside Darebin's current HO. The study area is a linear corridor of single-depth properties fronting the north side of Heidelberg Road, in Northcote, Alphington and Fairfield, generally extending between Merri Creek and Darebin Creek.
- [22] The Assessment was prepared in accordance with *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Heritage Significance* (rev. 2013) and the PPN01 'Applying the Heritage Overlay' (2018).
- [23] The Assessment was carried out in accordance with the set of tasks defined in Council's Briefs (received 18 May 2020). In addition to the above, this Assessment also considers relevant Independent Panel reports.
- [24] A total of seven places were found to meet the threshold for local significance when assessed against the HERCON criteria, and thus are worthy of protection in the HO. These places include:
- 1 Former Fairfield Hat Mills Complex (later Department of Aircraft Production branch), 159-179 Heidelberg Road, Northcote
 - 2 Residence, 257 Heidelberg Road, Northcote



- 3 Church of Jesus Christ of the Latter-day Saints, 273-289 Heidelberg Road, Northcote
- 4 Former residence, 331-333 Heidelberg Road, Northcote
- 5 Marineuie Court, 441 Heidelberg Road, Fairfield
- 6 Residence, 521 Heidelberg Road, Alphington
- 7 Kia-Ora, 607 Heidelberg Road, Alphington.

3.2 Stage 1 – Preliminary assessment

3.2.1 Introduction

- [25] In Stage 1, the properties fronting the north side of Heidelberg Road between Merri Creek and Darebin Creek were subject to a preliminary assessment, with particular reference to 10 places identified by Council's heritage officer as possessing heritage potential.

3.2.2 Preliminary research

- [26] As the first task of this study Context undertook extensive desktop and limited archival research in order to understand the history and significance of the precinct. In this review we have considered the key documents including the Darebin Heritage Review (2000), City of Darebin Heritage Study (2011), and the existing *City of Darebin Thematic Environmental History* (2008), as well as other relevant studies and databases. Some historical research was also undertaken to determine the potential heritage values of a selection of properties.
- [27] Physical historical and archival research was limited due to the restrictions and closure of public data repositories associated with COVID-19, which were implemented before the commencement of the Assessment.

3.2.3 Desktop review and site inspection

- [28] In May 2020, Context staff undertook an online desktop review of all properties in the study area to determine whether there were other places with apparent heritage values in addition to those already identified by Council's heritage officer.
- [29] Following the desktop review, two Context consultants walked the entire study area and surveyed the properties of interest, taking photographs and noting alterations and any other important elements (e.g. outbuildings, fences, trees).
- [30] Site inspection involved a detailed external inspection from the public domain and documentation including field notes and photographs. These visits informed the subsequent preparation of the description in Stage 2.



3.2.4 Preliminary comparative analysis

- [31] Following the site inspection tasks, an internal project team workshop was held. The purpose of the workshop was to rationalise the benchmarking threshold of local significance and justify the potential significance of the investigated properties. Individual places and precincts included in the Darebin Heritage Overlay were examined as part of this comparative exercise.
- [32] Comparative analysis is an essential step to determining if a place or precinct meets the local (or State) threshold for heritage significance. PPN01 advises that:
- To apply a threshold, some comparative analysis will be required to substantiate the significance of each place. The comparative analysis should draw on other similar places within the study area, including those previously included in a heritage register or overlay.
- [33] In the preliminary comparative analysis process, similar places (in terms of built-date, type, and/or architectural style) already included in the Darebin Heritage Overlay were used as 'benchmarks' to provide a basis for comparison. Potential heritage places were compared according to a range of criteria, including how well they represented a historical theme, their architectural design quality, intactness and rarity.
- [34] Postwar heritage is an expanding area of heritage consideration and many comparative examples are included in Heritage Overlays in municipalities across Melbourne. In the absence of local examples with existing heritage controls the comparative analysis considers a range of similar postwar housing in other local government areas to establish an appropriate 'benchmark'.
- [35] Places that were found to fall below the threshold for local significance as individual places were not recommended for detailed assessment in Stage 2.

3.3 Stage 2 – Detailed assessment

3.3.1 Contextual and individual place histories

- [36] A brief contextual history for the Heidelberg Road corridor was prepared, providing an overview of its nineteenth and twentieth-century periods of development.
- [37] Individual histories were prepared for each individual place, providing answers to key questions such as when the building was created/built, for whom, by whom (builder and designer, if known), and how the place changed over time (both physically and in use). Biographical information on architects was also included where applicable.



[38] Researchers drew upon the following primary and secondary sources:

- previous heritage studies, including the Darebin Heritage Review (2000), City of Darebin Heritage Study (2011), and the existing *City of Darebin Thematic Environmental History* (2008)
- planning permit records and associated plans provided by City of Darebin
- local histories
- certificates of title and plans of subdivision
- Central Plan Office historic aerial photography collection
- rate books
- Parish plans
- Trove and Newspapers.com newspaper searches
- State Library of Victoria online collections of historic maps, plans and photos
- University of Melbourne archives
- Sands & McDougall street directories
- Public Record Office Victoria archival collections.

3.3.2 Description and integrity

[39] A description of each place was prepared based on the documentation from Stage 1. This set out the context (wider setting), the elements of the site (e.g., fence, garden, outbuildings), the size and massing of the building, its materials, its stylistic influence(s), features of note, and any alterations if noted.

[40] A separate integrity statement was prepared to determine the intactness and legibility of each place to inform the subsequent comparative analysis and assessment benchmarking. Considerations were made for each place's retention of overall form and massing, original external finishes, pattern of fenestration, architectural detailing and setting, as well as level of alterations.

3.3.3 Comparative analysis

[41] Comparative analysis is considered particularly important in justifying whether a place meets the threshold of local significance. It is also a key consideration in determining which assessment criteria apply and the relative importance of the place within a locality or wider area.

[42] Each comparative analysis was introduced with a brief overview of the relevant architectural style or building type. This introduction was then developed and expanded with the pertinent information from the contextual history to consider a selection of examples that provided a direct comparison with the subject site in terms of their architectural providence, style or type. A concluding discussion then considered how well the subject site compared to the comparative examples in order to benchmark its relative significance.



- [43] In most cases comparisons were sought from within the City of Darebin; in some cases, where pertinent comparisons were not found within the municipality, comparisons were sourced from farther afield. This was where they provided a direct comparison in terms of their architectural style or type, or due to their demonstration of a similar development pattern. Municipal-wide typological or comparative analysis was beyond the scope of this project.

3.3.4 Assessment against criteria

- [44] In accordance with PPN01, heritage places are no longer assigned a letter grade, but are identified as meeting the threshold of either State significance or local Significance. Places of local significance can include places that are important to a particular community or locality. Some of the places of local significance may also be important to the entire City of Darebin, but this is not essential to meet the local significance threshold.

- [45] The PPN01 advises that assessment of whether a place meets the local or State threshold should be determined in relation to model heritage criteria (also known as the HERCON criteria) which are as follows:

Criterion A: Importance to the course or pattern of our cultural or natural history (historical significance).

Criterion B: Possession of uncommon, rare or endangered aspects of our cultural or natural history (rarity).

Criterion C: Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).

Criterion E: Importance in exhibiting particular aesthetic characteristics (aesthetic significance).

Criterion F: Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance).

Criterion G: Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).

Criterion H: Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

- [46] In the context of these assessments, where the criteria say, 'our cultural or natural history', it should be understood as 'Darebin's cultural or natural history'.



3.3.5 Statement of significance

- [47] For each individual place found to meet the threshold of local significance for at least one of the criteria, a statement of significance was prepared summarising the most important facts about, and the significance of, the place.
- [48] Each statement was prepared in accordance with *The Burra Charter: The Australia ICOMOS Charter for Places of Cultural Significance* (rev. 2013), using the HERCON criteria and applying the thresholds of local or State significance. Each assessment is summarised in the format recommended by the PPN01, namely:

What is it significant? – This section should be brief, usually no more than one paragraph or a series of dot points. There should be no doubt about the elements of the place that are under discussion. The paragraph should identify features or elements that are significant about the place, for example, house, outbuildings, garden, plantings, ruins, archaeological sites, interiors as a guide to future decision makers. Clarification could also be made of elements that are not significant. This may guide or provide the basis for an incorporated plan which identifies works that may be exempt from the need for a planning permit.

How is it significant? – Using the heritage criteria above, a sentence should be included to the effect that the place is important. This could be because of its historical significance, its rarity, its research potential, its representativeness, its aesthetic significance, its technical significance and/or its associative significance. The sentence should indicate the threshold for which the place is considered important.

Why is it significant? – The importance of the place needs to be justified against the heritage criteria ... A separate point or paragraph should be used for each criterion satisfied. The relevant criterion reference should be inserted in brackets after each point or paragraph, for example "(Criterion G)".

3.3.6 Mapping and curtilages

- [49] PPN01 states in regard to mapping:

The Heritage Overlay applies to both the listed heritage item and its associated land. It is usually important to include land surrounding a building, structure, tree or feature of importance to ensure that any development, including subdivision, does not adversely affect the setting, context or significance of the heritage item. The land surrounding the heritage item is known as a 'curtilage' and will be shown as a polygon on the Heritage Overlay map. In many cases, particularly in urban areas and townships, the extent of the curtilage will be the whole of the property (for example, a suburban dwelling and its allotment).

However, there will be occasions where the curtilage and the Heritage Overlay polygon should be reduced in size as the land is of no significance. Reducing the curtilage and the polygon will have the potential benefit of lessening the number of planning permits that are required with advantages to both the landowner and the responsible authority.



[50] On this basis, the individual places recommended by the Assessment are to be mapped to the extent of the title boundaries.

3.3.7 Statutory recommendations

[51] The statutory recommendations for places and precincts assessed to be of local significance are made in accordance with relevant policies and guidelines set out in PPN01.

[52] PPN01 describes additional controls that can be ticked in the Schedule to the Heritage Overlay for a place, including:

- External Paint Controls – to control changes to paint colours, which is particularly important if evidence of an early colour scheme survives; note that a planning permit is always required to paint a previously unpainted surface (e.g. face brick, render, stone, concrete, timber shingles).
- Internal Alteration Controls – to be used sparingly and on a selective basis for special interiors of high significance.
- Tree Controls – to be applied only where a tree (or trees) has been assessed as having heritage value, not just amenity value.
- Fences and Outbuildings which are not exempt from advertising planning permit applications – if this box is ticked, demolition applications for early fences and/or outbuildings that contribute to the significance of a place must be publicly advertised and the accelerated VicSmart permit process cannot be used; note that a planning permit is required to alter, demolish or replace a fence or outbuilding even if this box is not ticked, yet public notice of the permit application is generally not required.
- Included on the Victorian Heritage Register – can only be entered by Heritage Victoria.
- Prohibited uses may be permitted – this allows additional uses not normally permitted in a given zone, subject to a planning permit; it is most frequently used to give redundant buildings a wider range of future use options to ensure their long-term survival, e.g. purpose-built shops in residential areas.
- Incorporated Plan has been adopted for the place/precinct – an incorporated plan is sometimes prepared to introduce permit exemptions for a precinct or provide specific guidance in managing a complex site.
- Aboriginal heritage place – note that Aboriginal heritage significance was not assessed as part of this study.

[53] When making statutory recommendations, recommendations for these additional controls were made where appropriate. In cases where Tree Controls or Fences and Outbuildings exemptions are recommended, the specific elements to be protected have also been indicated for inclusion in the Schedule to the Heritage Overlay to provide clear guidance for planners and owners. For example: Tree Controls: *Yes – English Oak*.



4 Response to Submissions

4.1 Introduction

- [54] This section of the report contains information regarding places where an owner or their representative has made a formal submission to Council or will be appearing at the Amendment C203dare Panel hearing. For each place the heritage-related objections are summarised, and my response is provided.
- [55] In my evidence, I will respond only to issues related to the heritage significance of the places, such as their inherent physical characteristics, building typology, intactness (and condition where this impacts upon intactness), history and comparison to other places. I will generally not respond to issues that are not associated with confirming the heritage significance of the places and which would be better assessed as part of a planning permit application should they be added to the Heritage Overlay. Such issues include maintenance costs, property value or future development plans.



4.2 273-289 Heidelberg Road, Northcote (Submission 2)



Figure 1 Church of Jesus Christ of the Latter-day Saints at 273-289 Heidelberg Road, Northcote. (Source: Context 2020)

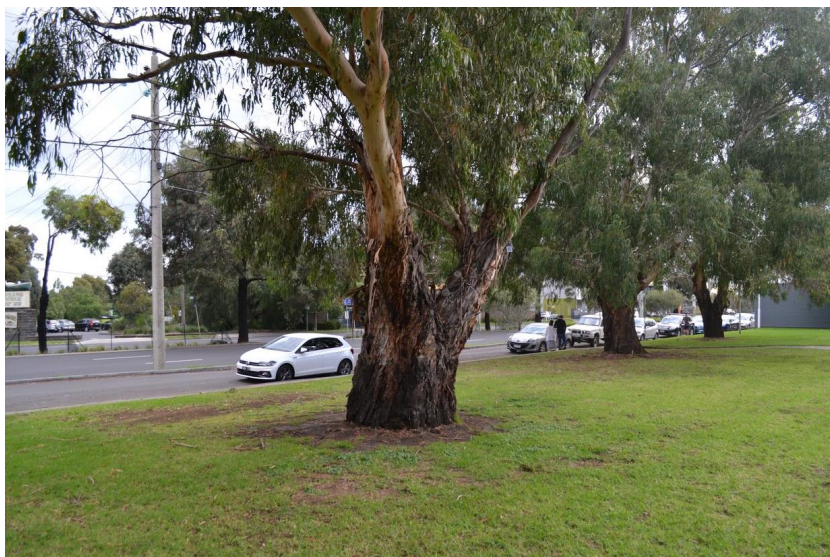


Figure 2 Three eucalypts (*Eucalyptus sp.*) planted in the Heidelberg Road setback. Note the foremost tree (left-hand side) was removed in 2021. (Source: Context 2020)



Figure 3 Two remaining eucalypts (*Eucalyptus sp.*) planted in the Heidelberg Road setback. Note disturbed ground (highlighted in red) where two trees were removed in 2021. (Source: GML 2022)

4.2.1 Recommendations and Amendment C203dare

- [56] This place was assessed as part of the 'Heidelberg Road Heritage Assessment' and found to be of local significance. It is recommended for inclusion in the Darebin Heritage Overlay as an individually significant place. The reasons for its significance are set out below.

4.2.2 Statement of Significance

WHAT IS SIGNIFICANT

Church of Jesus Christ of the Latter-day Saints complex at 273-289 Heidelberg Road, Northcote, comprising the c.1958 chapel and recreation hall building fronting Heidelberg Road and the c.1974-78 new chapel fronting Westgarth Street, is significant.



Significant fabric includes the:

- original form and scale of the c.1958 chapel and recreation hall building, including its simple rectangular form, very low-pitched roof form and its asymmetric composition of the horizontal and vertical elements of hall, rectangular tower and landscaped quadrangle;
- elements that reflect the Modernist ecclesiastic designs of the c.1958 building produced by the Church of Jesus Christ of the Latter-day Saints' Building Division in Utah, United States, including the original orange face brick cladding, full-height metal-frame windows, clerestory windows and steel universal columns supporting projecting eaves on the Heidelberg Road elevation;
- original form and scale of the c.1974-78 chapel, including its basilica-like plan and four-wings with low-pitched gables;
- elements that reflect the Modernist ecclesiastic designs of the c.1974-78 building produced by the Church of Jesus Christ of the Latter-day Saints' Building Division in Utah, United States, including original cream face brick cladding and decorative brick and concrete panelling, pattern of fenestrations as well as the tower; and
- other original landscaping elements including the lawn and brick paving on the Heidelberg Road set back, brick paving of the quadrangle, brick garden beds built as part of the c.1958 building scheme, and early signages on the c.1958 building and in front of the c.1974-78 chapel including the dwarf brick wall.

HOW IT IS SIGNIFICANT

Church of Jesus Christ of the Latter-day Saints complex at 273-289 Heidelberg Road, Northcote, is of local historic, representative and social significance to the City of Darebin.

WHY IT IS SIGNIFICANT

273-289 Heidelberg Road, Northcote, is historically significant as a church complex consisted of a c.1958 chapel and recreation hall building fronting Heidelberg Road and a c. 1974-78 chapel fronting Westgarth Street, established for the Church of Jesus Christ of the Latter-day Saints (LDS Church) in 1958. The earlier building was built c. 1958 most likely to designs prepared by Arnold Ehlers and A. Neff Taylor in conjunction with the (Mormon) Church Architectural Department. Experiencing rapid growth nationally in the post-war period, the church underwent an unprecedented expansion program in all states of Australia between 1956 and 1958, in which 19 chapels and additions to existing sites were undertaken. The Church officials at Utah, United States oversaw the entire building program, from the selection of sites to design details and functionality. The subject site would have been ideal for the church, as a new boom commenced in Darebin in the late 1940s with more than 2,500 new private houses and some large Housing Commission of Victoria estates were established between 1949 and 1954.

As a complex, 273-289 Heidelberg Road demonstrates the evolution of design aesthetics of the Building Division of the LDS church, where, unlike many other denominations,



established a standardised church designs produced by the church's Building Division and repeated around the world. The pre-standard plan building built c. 1958, comprising a chapel and a multipurpose room, was based on the Church's primitive prototype that formed the basis for the development of standard plans after the 1950s. The c. 1958 building is a tangible evidence of the last era of custom-design meetinghouses, as one of 19 churches built in that period across Australia. The later c. 1974-78 building displays the elements of more standardised church designs that were repeated in churches built in the 1970s. Gable roofs with sprawling wings, almost always accompanied by the rectangular asymmetrically placed tower form were key characteristics of the standard-plan designs. (Criterion A)

273-289 Heidelberg Road, Northcote, is of representative significance for both the c.1958 and c.1974-78 buildings' adoption of Modernist and Late-Twentieth Century Ecclesiastical style idioms. The representative elements include a restrained material palette of brick cladding and steel window frames and details. A linear, box-like horizontal and vertical massing of rectangular forms and simple rectangular tower (the c. 1958 building); and adapted traditional basilica-like plans, asymmetrically placed vertical tower form and linear, box-like massing (the c. 1974-78 building) echo the widely popular Late-Twentieth Century Ecclesiastical style architecture. (Criterion D)

The Church of Jesus Christ of the Latter-day Saints still operates today as a place of worship. The community centre houses Family History Centre, a branch of the Family History Library in Salt Lake City, Utah. The subject complex is of social significance to the City of Darebin, for its continued association with the church community. (Criterion G)

4.2.3 Heritage matters for discussion

[57] The submission regarding this property expressed support for the amendment and for the inclusion of the Church of Jesus Christ of the Latter-Day Saints at 273-289 Heidelberg Road, Northcote, as an individually significant place in the Heritage Overlay. The key point raised by the submitter is provided in *italics* beneath a subheading below. My response follows the excerpt.

Inclusion of mature eucalypts

[58] *The submitter believes the site is significant:*

- *for the built fabric of the structure*
- *as an important green open space that provides passive leisure benefits for the community.*



[59] *The submitter recommends Council to consider:*

- *inclusion of the mature eucalypts on site in the statement of significance to protect them, or*
- *apply an additional Environmental Significance Overlay or Vegetation Protection Overlay.*

[60] During the site inspection carried out for the Assessment (11 May 2020), four eucalypts were recorded as existing on the Heidelberg Road setback. A recent site visit (24 February 2022) confirms that two of these to the east of the setback have been removed. Recent aerial imagery confirms that this occurred in late 2021 (Figure 4).



Figure 4 Aerial photographs showing the locations of the four eucalypts in September and October 2021. (Source: Nearmap with GML overlay)

[61] Although the exact age of the trees is not known, an aerial photograph from 1981 (Figure 5) confirms the trees were planted after 1981. Planting of the trees was not part of the original building scheme, and is beyond the key development period of the site, which has been defined as c.1958-1978 in the current statement of significance.

[62] Tree controls were not recommended as the trees make little or no contribution to the church's historical or aesthetic significance. However, we agree that the eucalypts overall contribute positively to the visual setting and amenity of the site, particularly the landscape presentation of the Heidelberg Road setback. We also agree that this pocket of green space makes a positive contribution to the local urban environment and provides amenity benefits for the community.



[63] PPN01 does not recommend application of tree control for trees' amenity value:

... the control is designed to protect trees that are of intrinsic significance (such as trees that are included on the National Trust Heritage Register), or trees that contribute to the significance of a heritage place (for example, trees that contribute to the significance of a garden or area). The control is not meant to protect trees for their amenity value. (p.4)

[64] Given that these trees do not directly contribute to the heritage significance of the site it is suggested that other planning measures would be likely to provide more appropriate options for their protection than the Heritage Overlay.



Figure 5 273-289 Heidelberg Road in January 1981. Note there was no tree planted between the c.1958 building and Heidelberg Road at this time. (Source: Central Plan Office, 'WESTERN PORT FORESHORES (1/1981)' via Landata)

4.2.4 Conclusion and recommendations

[65] It is my opinion that:

- minor revisions should be made to the description and statement of significance of the place citation to acknowledge the landscape and setting contribution of eucalypts to the overall site.



4.3 257 Heidelberg Road, Northcote (Submission 3)



Figure 6 View of 257 Heidelberg Road, Northcote, through driveway. (Source: Context 2020)



Figure 7 View of the front fence and two cypresses by the gate. (Source: Context 2020)



4.3.1 Recommendations and Amendment C203dare

[66] This place was assessed as part of the 'Heidelberg Road Heritage Assessment' and found to be of local significance. It is recommended for inclusion in the Darebin Heritage Overlay as an individually significant place. The reasons for its significance are set out below.

4.3.2 Statement of Significance

WHAT IS SIGNIFICANT

257 Heidelberg Road, Northcote, a single-storey cream face brick residence, built c1948-49 for the owner Beniamino Bortolussi, is significant.

Significant fabric includes the:

- original built form, roof and scale of the residence and separate garage;
- unpainted brick surfaces and decorative brickwork, pattern of fenestration;
- chimney, and steel framed windows including the curved glass to the corner windows;
- low masonry brick fence with saw tooth detailing, mild steel panels and gates; and
- front garden and landscaping including the concrete and marble-paved driveway and footpath; and
- two cypresses by the gate.

HOW IT IS SIGNIFICANT

257 Heidelberg Road, Northcote, is of local historic, representative and aesthetic significance to the City of Darebin.

WHY IT IS SIGNIFICANT

257 Heidelberg Road, Northcote, a single-storey cream face brick residence, built c.1948-49, is historically significant as an example of immediate postwar residential development in Darebin. A major boom commenced in the late 1940s changed the pattern of Darebin's settlement. Over 2500 new private houses were built in the municipality between 1949 and 1954, to meet the increasing demands for housing. The building reflects the massive postwar boom and suburban expansion that characterises Darebin's postwar development. (Criterion A)

257 Heidelberg Road, Northcote, is of representative significance, for its design characteristic of the late 1940s domestic architecture. Severe shortages of building materials and increased labour costs meant that architect-designed economic housing became favoured by new homeowners. House plans published in popular magazines and



design handbooks provided solutions to maximise the efficiency of the budget and land size.

The subject residence displays the defining elements of the early postwar houses influenced by Interwar Moderne style that was popular for the interwar domestic architecture and carried onto 1950s. The elements highly characteristic of the type include its cube forms juxtaposed with curves; horizontal emphasis to the façade through its use of bands of different coloured brickwork; tall chimney that acts as a strong vertical element; relatively formal garden and landscaping of the front setback; and low masonry fence with mild steel panels and gates. These are defining elements of the late 1940s examples that developed out of the Moderne Style of the 1930s and was popular during the immediate postwar period. (Criterion D)

257 Heidelberg Road, Northcote, is also aesthetically significant, distinguished by its high intactness and integrity as well as its use of well-detailed elements that reflect the influences of Moderne style architecture adapted for late 1940s residences. Key elements include the curved corner windows with curved glass and deep eave overhangs, recessed bands of slim dark coloured brickwork and its unusually proportioned and detailed chimney. The overall brickwork and refinement of detail in the design are evidence of a high level of craftsmanship. The brickwork incorporating face cream, brown and dark red bricks, curved corners laid in header course, saw tooth detail to the fence's brick capping, piers with stepped tops and curved corners to the driveway opening all bring interest and textural depth to the elevations achieved through the adaptation of cheap building materials under the Government's building restrictions.

The front garden also features distinctive features. The driveway is paved with large custom-made brown concrete panels with a raised edge on one side that forms the edge of the garden bed. There is a brown concrete strip inserted with irregular-cut marble pieces in the middle of the driveway, which reflects the property's association with the first owner Beniamino Bortolussi, granolithic and marble contractor. Other landscaping elements that are consistent with the style include the narrow garden bed that is covered with aggregate gravels and wraps around the front lawn; cypresses planted on either side of the gate; and various ornamental plants including tapestry hedge and standard roses in the front garden. (Criterion E)

4.3.3 Heritage matters for discussion

- [67] The submission objects to the proposed inclusion of 257 Heidelberg Road, Northcote, as an individually significant place in the Heritage Overlay. This section responds to the objection raised in Submission 3, focusing on matters pertaining to heritage significance only. The key points raised by the submitter are provided in *italics* beneath a series of subheadings below. My response follows each excerpt.



Integrity of the place

[68] *The house is not in its original condition with numerous additions and modifications. Many of the original fittings and features have been altered thereby reducing the heritage significance of the property.*

[69] Following an initial site visit on 11 May 2020, I re-visited the site on 24 February 2022. When inspected from the street, the primary elevation fronting Heidelberg Road appears highly intact, with no obvious additions or alterations readily visible. Our integrity statement provided in the citation acknowledges the rear addition which is not visible from public domain. It reads (emphasis added):

257 Heidelberg Road, Northcote, is highly intact with limited changes visible to original or early fabric. The early postwar residence retains the original street frontages and built form with gable and hipped roofs. Intact original elements include cream face brick walls with brown and dark red brick bands, terracotta tile roofs, curved corners with wide steel framed corner windows fitted with curved glass, strong verticality of the chimney, low masonry fences with mild steel gate and fence panels, and landscaping features to the front garden. The discreet rear additions are not visible from public domain. Overall, the building has very high integrity.

[70] We note that no further evidence of additions or modifications have been provided by the submitter.

[71] In terms of its architectural qualities and integrity, the subject building compares favourably to the Moderne style examples on the Darebin Heritage Overlay, including:

- 36 Cooper Street, Preston (part of HO36)
- 499 St Georges Road, Thornbury (part of HO318 Thornbury Park Estate Precinct)
- 8, 9 and 10 Kelley Grove, Preston (part of HO103 Kelley Grove Precinct).

[72] I uphold the view articulated in the place citation that the house maintains a high degree of intactness as perceived from the street. It retains its original fabric and stylistic indicators, including:

- unpainted brick surfaces and decorative brickwork
- hipped roof and chimney
- pattern of fenestration and steel-framed windows including the curved glass to the corner windows
- low masonry brick fence with saw tooth detailing, mild steel panels and gates
- landscaping to the front garden that is consistent with the house period and style.



Significance of more recent buildings

[73] *The submitter questions the heritage significance of a building built in the 1940s:*

- *It does not have any particular types of architecture that make it a stand out type of property.*

[74] As described in the historical context provided in the 'Heidelberg Road Heritage Assessment' report and as defined in the *City of Darebin Thematic Environmental History* (2008), the immediate postwar period (late 1940s) was one of the key periods of residential development in the City of Darebin. Like other suburbs in broader metropolitan Melbourne, Darebin saw one of the most intense building booms in the municipality in the late 1940s, which changed the pattern of settlement in Darebin and the cultural make-up of the local population (Context 2008:75). Over 2500 new private houses were built in the municipality between 1949 and 1954 to meet the increasing demands for housing. Buildings developed in the postwar period are increasingly gaining more recognition as heritage places for their demonstration of this phase of development.

[75] As stated under Criterion A, the c.1948-49 residence at 257 Heidelberg Road is an example that reflects the massive postwar boom and suburban expansion that characterises much of Darebin's postwar development.

[76] The residence is a good example of a Moderne style brick house built in the 1940s. It displays material qualities and detailing that were popular in fashionable interwar domestic architecture and carried into the 1950s. In aesthetic terms it is a well-articulated version of this type and retains a remarkably sympathetic and intact garden setting. As noted in the statement under Criterion D, the residence retains:

The elements highly characteristic of the type ... [including] horizontal emphasis to the façade through its use of bands of different coloured brickwork; tall chimney that acts as a strong vertical element; relatively formal garden and landscaping of the front setback; and low masonry fence with mild steel panels and gates. These are defining elements of the late 1940s examples that developed out of the Moderne Style of the 1930s and was popular during the immediate postwar period. (Criterion D)

Additional controls

[77] *The fence has many large cracks and needs repairs. The submitter is unsure when the fence would be repaired or whether its original appearance will be retained.*

[78] *The cypress trees are not native trees and hinder the view of a driver reversing from the driveway. The submitter questions why a heritage overlay would be placed on a plant that has little or no significance.*



- [79] *The submitter requests the Overlay be amended to not cover the garage, the front fence or the cypress trees.*
- [80] The fence and garage retain a good level of intactness and integrity. The original low masonry front fence with mild steel panels and gates, and original cream brick garage, are identified as significant elements and as such an additional control has been proposed (Fences and Outbuildings control). Future changes to these elements would require a planning permit unless they purely constituted repairs and maintenance.
- [81] Being part of the original garden design (developed through to the 1960s), the cypresses are identified as elements that contribute to the significance of the place under 'What is significant?' in the statement of significance.
- [82] Ornamental trees, a hedge and cypresses in the front garden were typical garden design elements for houses in the 1940s. The cypresses are evidence of this popular trend and therefore contribute to the understanding and significance of the place. There are no additional controls proposed for the cypresses in their own right as they are not integral to an understanding of the place; however, the trees form part of the broader landscape character of the place and contribute to the aesthetic setting of the house.

Extent of protection

- [83] *The submitter asks if the entire house is to be covered by the overlay, or just the facade.*
- [84] It is recommended that the whole site is included on the HO to provide adequate protection of the setting and associated land into the future. PPN01 advises:

The Heritage Overlay applies to both the listed heritage item and its associated land. It is usually important to include land surrounding a building, structure, tree or feature of importance to ensure that any development, including subdivision, does not adversely affect the setting, context or significance of the heritage item. The land surrounding the heritage item is known as a 'curtilage' and will be shown as a polygon on the Heritage Overlay map. In many cases, particularly in urban areas and townships, the extent of the curtilage will be the whole of the property (for example, a suburban dwelling and its allotment). (p.5)

4.3.4 Conclusion and recommendations

- [85] It is my opinion that:
- 257 Heidelberg Road is of local significance.



- The low masonry fence and garage contribute to the significance of the place. Therefore, the proposed Fences and Outbuildings control is appropriate.
- The two cypresses also contribute to the significance of the place. Therefore, it is appropriate to retain these elements under 'What is significant?'. No separate tree controls should apply.
- Minor changes should be made to the statement of significance (Criterion D) to clarify how the cypresses demonstrate the typical garden designs of the 1940s.
- No other changes are recommended.



4.4 607 Heidelberg Road, Alphington (Submission 4)



Figure 8 View of 607 Heidelberg Road, Alphington, from Heidelberg Road. (Source: Context 2020)



Figure 9 View of 607 Heidelberg Road, Alphington, from Grange Road. (Source: Context 2020)



4.4.1 Recommendations and Amendment C203dare

[86] This place was assessed as part of the 'Heidelberg Road Heritage Assessment' and found to be of local significance. It is recommended for inclusion in the Darebin Heritage Overlay as an individually significant place. The reasons for its significance are set out below.

4.4.2 Statement of Significance

WHAT IS SIGNIFICANT

607 Heidelberg Road, Alphington, a single storey brick residence built in 1903 for Walter Foreman, is significant.

Significant fabric includes the:

- original (1903) and early (c1918) form and scale, terracotta tiled roof, chimneys and verandah roof form;
- red face brick surfaces, decorative cream brick banding and roughcast surfaces;
- pattern of fenestration, timber-framed windows and doors; and
- timber gable strapping and timber eave brackets, stringcourse label mould.

HOW IT IS SIGNIFICANT

607 Heidelberg Road, Alphington, is of local historic, representative, and aesthetic significance to the City of Darebin.

WHY IT IS SIGNIFICANT

Kia-Ora at 607 Heidelberg Road, Alphington, is of historical significance for its representation of the development of Darebin and its growing prestige of Alphington as a residential area in the twentieth century. The substantial size of the allotment and fine architectural detailing of the house reflect the elevated status of the area. This is further reflected in the building's association with Benjamin Barrington Bank Sibthorpe (occupant from 1903 and owner from 1914) who was a director of MacRobertson's Pty. Ltd., a well-known confectionery business based in Fitzroy. The construction of this finely detailed villa signals the growing prestige of the area and its desirability to middle class professionals. The house also reflects the area's economic recovery following the economic crash of the 1890s before the start of World War One. (Criterion A)

607 Heidelberg Road, Alphington, is of representative significance, for its retention of elements characteristic of Federation era designs incorporating Queen Anne styling. This includes its varied building and roof forms, red face brick surfaces, its pattern of fenestration and window and door joinery, decorative chimneys and ridge cresting. The subject building is a good representative example of a substantial Federation era villa, a typology that is relatively underrepresented in the City of Darebin Heritage Overlay. (Criterion D)



607 Heidelberg Road, Alphington, is also aesthetically significant as a fine, early example of the Queen Anne style. Its prominent, three street facing gables with fine architectural detailing, decorative chimneys and ridge cresting and wraparound verandah, demonstrate an Australian adaptation of the picturesque aesthetic qualities of this style. The substantial corner allotment with a low fence and mature garden setting enhance its aesthetic quality and distinguish the building's design as a particularly refined example within the City of Darebin. (Criterion E)

4.4.3 Heritage matters for discussion

- [87] The submission objects to the proposed inclusion of 607 Heidelberg Road, Alphington, as an individually significant place in the Heritage Overlay. This section responds to the objection raised in Submission 4, focusing on heritage matters only. The key points raised by the submitter are provided in *italics* beneath a series of subheadings below. My response follows each excerpt.

Development in the immediate neighbourhood

- [88] *The impact of the new and future developments on all corners facing 607 Heidelberg Road have been detrimental to the integrity of the place. The AMCOR site opposite 607 was demolished entirely and redeveloped with a plan that includes an 18-storey building. On the western corner of the junction is also earmarked for a multi-storey development. The site opposite number 607 has another plan for residential development. Being on the main road, it would naturally be considered a prime location for low-level development.*
- [89] It is agreed the higher density development in the vicinity of 607 Heidelberg Road, Alphington, has had some impact on the scale and character of the neighbourhood area.
- [90] It is noted, however, that 607 Heidelberg Road is separated from the existing and proposed developments within the neighbourhood by roadways. The place has been assessed as being of individual significance and not as part of a heritage precinct. Newer developments in the vicinity of 607 Heidelberg Road are not detrimental to the integrity of the place in its own right, nor do they diminish its ability to demonstrate its heritage significance as an individually significant place.
- [91] Heritage Victoria's *The Victorian Heritage Register Criteria and Threshold Guidelines* define the integrity of a place or object as follows (emphasis added):

Integrity: refers to the degree to which the heritage values of the place or object are still evident and can be understood and appreciated (for example, the degree to which the original design or use of a place or object can still be discerned). If considerable change to a place or object has occurred (through encroaching development, changes to the



fabric, physical deterioration of the fabric etc) the significant values may not be readily identifiable and the place or object may have low-level integrity. (p.5)

[92] We provided the following integrity statement for this place in the citation:

607 Heidelberg Road, Alphington, is a highly intact Queen Anne style house exhibiting minimal changes visible to original or early significant fabric.

The building retains original and early features, including its decorative ridge cresting, chimneys, gable end detailing, timber framed windows and door and its pattern of fenestration. The building also retains its original built form and scale, materials and stylistic details. Early additions, including the western gable wing and the low brick fence, are complimentary in style and materials. They contribute to the aesthetic qualities of the place and do not diminish the legibility of the original building.

The mature garden setting, including the two mature tree specimens, enhances the integrity of the place.

Overall, the building has high integrity.

[93] The developments in the vicinity of 607 Heidelberg Road, Alphington, do not closely encroach on the place or impinge on the ability of the place to illustrate its inherent heritage values. We maintain our view that the place has high integrity. However, the information regarding alterations to the property boundary provided in the submission should be reflected in the citation (refer to Section 4.4.4 and Appendix B). The details regarding alterations are set out in the table below.



Alterations to the place

Submitter's points	My response
<i>The property was purchased in 1968 and while most of the façade has remained original, some alterations were made over time. These include the following.</i>	-
<i>The original turned-timber posts and fretwork which once adorned the verandah soon rotted out and were replaced with iron materials not consistent with the period of the home.</i>	<p>We had identified the ironwork to the verandah as later additions in the description:</p> <p>It has decorative ironwork valances and posts that appear to be a later addition. Timber fretwork and turned posts were more commonly used in Federation era verandah designs. The retention of the original timber eave brackets on this building indicates that the verandah detailing may also have been timber.</p> <p>We agree that the use of iron frieze was less common in the Federation period. However, this change is reversible and does not fundamentally weaken the place's integrity.</p>
<i>The tessellated veranda flooring had to be removed and re-concreted but the tiles were never replaced.</i>	<p>I note the tessellated verandah flooring has been removed. This should be noted in the description of the place.</p> <p>However, this change is not readily visible from the street. It is reversible and does not fundamentally weaken the place's presentation or overall integrity.</p>
<i>The rounded brick fence and fence posts have gradually tilted and lean so much that both entrance gates are not aligned. In fact, the gate facing Heidelberg Rd cannot be opened at all.</i>	<p>The general physical condition of the fabric (ie tilted brick fence) does not impact the analysis of intactness and integrity. <i>The Victorian Heritage Register Criteria and Threshold Guidelines</i> advise that 'Intactness should not be confused with condition – a place may be highly intact but the fabric may be in a very fragile condition' (p.5).</p>



Submitter's points	My response
<p><i>Due to an extension being added prior to our purchase in 1968, the original slate roofing was removed and the entire roofing material was replaced with tiles. We have been advised that this alteration was completed without due consideration given to the strength and construction design of the timber roof trusses which are now supporting the tiles. As a result, the house regularly moves and cracks make a regular appearance both on the house exterior and interior. The constant vibration of traffic is no help in this regard.</i></p>	<p>Noted that the original or early slate roofing was replaced with tiles prior to 1968. The existing terracotta tiles are not, however, out of keeping with a house of the type and period.</p> <p>Removal of tiles and restoration of the slate roof would be supported from a heritage perspective.</p>
<p><i>The garden has never been properly landscaped to a suitable design for the period. There are many over-grown trees, shrubs and plants which need to be severely pruned or removed altogether. The front garden was acquired by VicRoads to widen Heidelberg Rd in 1970 decreasing the home's sense of grandeur that attracted us to purchase it in the first place.</i></p>	<p>Our citation notes that the site was subject to a road widening order in 1968:</p> <p style="padding-left: 20px;">The residence was sold for \$16,050 after Elizabeth Mary Sibthorpe's death in 1968. At that time, the property was described as a brick house with nine rooms on site of 12,7100 sq. feet subject to road widening order (Age 1 July 1968:10).</p> <p>An aerial photograph from 1969 confirms that the property curtilage changed after 1969 and the extant low brick fence dates to after this time (Figure 10). This should be noted in the site history of the place. Clarifications should also be made in the description and integrity.</p> <p>The garden provides adequate setting for the place; however, it is not an intrinsic element in the understanding of the significance. There were no significant plants identified at this site, and no tree controls have been proposed.</p> <p>The widening of Heidelberg Road in c.1970 reflects the road's continued importance as a major throughfare. Subsequent change to the site curtilage is evidence of this phase in Darebin's history.</p> <p>Acquisition of part of the front garden by VicRoads and change to the site curtilage does not unduly diminish the place's integrity. Sufficient curtilage is maintained to support an understanding of the heritage values upheld in the place citation.</p> <p>Overall, the place retains a good level of intactness and integrity despite the later changes listed.</p>



Figure 10 Extract of a 1969 aerial showing the earlier allotment boundary (red outline). Note the extent of the current allotment following the acquisition of part of the land by VicRoads c.1970 (yellow dashed line). (Source: Central Plan Office, 'Eastern Freeway Project' (1/1969), via Landata)

4.4.4 Conclusion and recommendations

[94] It is my opinion that:

- 607 Heidelberg Road is of local significance.
- The place retains a good level of intactness and integrity despite the later changes.
- Minor changes should be made to the citation and statement of significance to clarify:
 - the date of the rear extension (pre-1968)
 - that the extant tiled roof is not original and has replaced original slate roofing
 - that the tessellated verandah flooring has been removed
 - the change to the site boundary and installation of the extant low brick fence following the widening of Heidelberg Road (post-1969).



- No other changes are recommended.



References

Context 2008, *City of Darebin Thematic Environmental History*, prepared for City of Darebin.

Context 2020, 'Heidelberg Road Heritage Assessment', prepared for City of Darebin.

Department of Environment, Land, Water and Planning (DELWP) 2018, *Planning Practice Note 1 'Applying Heritage Overlay'*.

Heritage Council of Victoria 2019, *The Victorian Heritage Register Criteria and Threshold Guidelines*.



Appendix A



For me, heritage is as much about the future as the past. The way in which the continuities and changes of living culture are expressed in built fabric and cultural landscapes never cease to fascinate me.

Dr Kim Roberts Associate

Kim is a registered architect with a background in contemporary architectural design; she has specialised in heritage architecture, heritage planning and heritage asset management for over 16 years. Kim is a passionate advocate of cultural heritage and delights in developing innovative responses to heritage contexts.

Working in a range of private and public sector roles, Kim has taken on the roles of project and design architect, heritage planner and heritage consultant on a variety of heritage project types and scales. Kim has experience in the areas of architectural conservation, adaptive re-use, heritage planning and management, peer design review (with focus on heritage), academic research and architectural education. She has been extensively engaged in the provision of strategic and statutory heritage advice, including heritage asset management strategies, conservation management plans and heritage impact statements.

Prior to joining GML, Kim developed a Heritage Asset Management Strategy for the state-wide asset portfolios of the Director of Housing and Secretary of Human Services and managed the long-term implementation of this Strategy.

Kim completed a PhD on the Hiroshima Peace Memorial Park designed by Kenzo Tange and visitor responses to and interpretation of this memorial landscape at Deakin University. Throughout her career, Kim has taught in the areas of history, theory and design, frequently participating as a guest critic within architectural design studios.

Qualifications

Registered Architect, ARBV No. 16148
Doctor of Philosophy, Deakin University
Bachelor of Architecture (Honours), Deakin University
Bachelor of Arts – Literature (Honours), Deakin University

Professional affiliations

Member, Victorian Design Review Panel
Member, Australian Institute of Architects
Affiliate Member, Planning Institute of Australia

Key experience

Conservation management plans

- South African War Memorial, St Kilda—Client: City of Port Phillip, current
- Ballarat East Town Hall Gardens Conservation Management Plan—Client: City of Ballarat, 2020
- St Kilda Cemetery Conservation Management Plan—Client: Southern Metropolitan Cemeteries Trust, 2020
- Brighton General Cemetery Conservation Management Plan—Client: Southern Metropolitan Cemeteries Trust, 2020
- Abbotsford Convent Conservation Management Plan Project—Client: Abbotsford Convent Foundation, 2019
- 295 Whitehall Street, Yarraville Conservation Management Plan—Client: Independent Cement and Lime, 2019
- Emerald Hill Estate Conservation Management Plans 1–4 (for Department of Health and Human Services), 2012–2018

Built heritage assessments

- South Yarra Heritage Review—Client: City of Melbourne, current
- Nillumbik Heritage Study—Client: Shire of Nillumbik, current
- Maldon Central Historic Area Review: Significance and Heritage Impact Assessment—Client: Mount Alexander Shire Council, current
- Doveton Pool in the Park—Client: City of Casey, 2021
- Baimbridge College, Hamilton—Client: Victorian School Building Authority, 2020
- Elwood Foreshore Facilities Strategy Heritage Study—Client: City of Port Phillip, 2020
- Bayside Mid-Century Modern Heritage Study (Council and residential self-nominated places)—Client: Bayside City Council, 2020
- Moreland Stage 1 Built Heritage Assessment—Client: Moreland City Council, 2018



Heritage consulting

- Kelly House Heritage Conservation Works—Client: DELWP, current
- Palais Theatre and Luna Park Precinct Revitalisation—Client: City of Port Phillip, 2020
- St Vincent Gardens Playground—Client: City of Port Phillip, 2020
- Supreme Court Redevelopment—Heritage Architect/Heritage Consultant (for Lovell Chen/Billard Leece Partnership), 2007
- Shepparton Showgrounds Redevelopment—Architect/Heritage Consultant (for RBA Architects + Conservation Consultants), 2006
- Parliament House of Victoria, various projects—Architect/Heritage Consultant (for RBA Architects + Conservation Consultants), 2006
- Carlton Housing Redevelopment, Former Queen Elizabeth Centre—Heritage Consultant (for RBA Architects + Conservation Consultants), 2005

Heritage asset management

- Heritage Asset Management Plan (for Department of Health and Human Services), 2008–2018
- Heritage Asset Inventory (for Department of Health and Human Services), 2010–2016
- Heritage Asset Procedures and Guidelines (for Department of Health and Human Services), 2012–2018

Design

- Preston Tramways Workshops Master Plan—Design Architect/Heritage Consultant (for Lovell Chen), 2007
- Supreme Court Redevelopment—Heritage Architect/Heritage Consultant (for Lovell Chen/Billard Leece Partnership), 2007
- Shepparton Showgrounds Redevelopment—Architect/Heritage Consultant (for RBA Architects + Conservation Consultants), 2006
- Parliament House of Victoria, various projects—Architect/Heritage Consultant (for RBA Architects + Conservation Consultants), 2006
- Glenlyon Church Residential Conversion (for Multiplicity), 2003

Professional background

Associate, GML Heritage (formerly Context), 2019–present

Member, Victorian Design Review Panel, 2016–present

Heritage Planner, Department of Health and Human Services, 2008–2018

Architect and Heritage Consultant, Neil Architecture, 2007–2008

Architect and Heritage Consultant, Lovell Chen, 2005–2007

Architect and Heritage Consultant, RBA Architects + Conservation Consultants), 2003–2005

Architectural graduate, Multiplicity, 2001–2003

Architectural graduate, Greg Jones and Associates, 1999–2001

Publications

Roberts, K, 'Hiroshima: notes on the expanded field', in Frichot, H and Stead, N (eds), *Writing Architectures: Ficto-Critical Approaches*, Bloomsbury, 2020

Roberts, K, 'Hiroshima space: the pathways of post-memory', in Beljaars, D and Drozynski, C (eds), *Civic Spaces and Desire*, Routledge, 2019, pp 95–114

Roberts, K, 'The Hiroshima Peace Memorial Park and the shadow side of spatial research', *Haunting, Fabrications: Journal of the*

Society of Architectural Historians, Australia and New Zealand 29:1, 2019, pp 86–108

Roberts, K, 'Design as precursor: Michel de Certeau's "practice" and the Hiroshima Peace Memorial Park', *The Marvellous Real: Past Gazing, Future Glimpses, Double Dialogues*, Issue 17, Winter 2015

Roberts, K, 'Chapter 1: Reconstruction and Verisimilitude after the event: A poet and a city', in McCulloch, A and Goodrich, RA (eds), *The Event, the Subject and the Artwork: Into the Twenty-First Century*, Cambridge Scholars Publishing, Newcastle on Tyne, 2015, pp 12–30

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Roberts, K, 'Bridge, Mirror, Labyrinth: Shaping the Intervals of Calvino's Invisible Cities', in Mehigan, T (ed), *Frameworks, Artworks, Place: The Space of Perception in the Modern World*, Rodopi, Amsterdam, 2008, pp 137–158

Datta, S, Morison, D and Roberts, K, 'Pedagogical templates: a comparative study of higher order reflective making', in *Proceedings of the 1st Playful Design Learning Forum*, School of Architecture, Landscape Architecture and Urban Design, Adelaide University, Adelaide, 2001, pp 1–9

Presentations

Roberts, K, 'The Hiroshima Peace Memorial Park and the shadow side of spatial research', conference paper, Haunting, Memory, Place, Australian Centre for Architecture History, Urban and Cultural Heritage (ACAUCH) Annual Symposium, Melbourne School of Design, University of Melbourne, 2017

Roberts, K, 'Hiroshima: notes of the expanded-field', conference paper, Colloquium on Ficto-Critical Approaches to a Writing Architecture, University of Queensland, 2016

Roberts, K, 'Hi-ro-shi-ma space: post-memorial navigations of the Hiroshima Peace Memorial Park', conference paper, Rethinking Modern Asia-Pacific Architectures: Postgraduate Student Plenary, Melbourne University, 2016

Roberts, K, 'Hi-ro-shi-ma space: the pathways of post-memory', conference paper, Spaces of Desire: Remembrance and Civic Power, Cardiff University, 2016

Roberts, K, 'Hiroshima Peace Memorial Park: a navigational meditation from the outside', conference paper, Exploring Japan through New Lenses: Emerging Themes in Japanese Studies Postgraduate Symposium hosted by The Japanese Studies Centre, Monash University, 2015

Roberts, K, 'Past Lineage and Future Vector: Kenzo Tange and the Hiroshima Peace Memorial Park', conference paper, Precursors into the Future International Symposium, Cardiff University, Cardiff Metropolitan & University of South Wales, 2014

Roberts, K, 'Forgetting, Space and Survivance: Ethico-Aesthetics and the Hiroshima Peace Memorial Park', conference paper, 9th International Conference on Environmental, Cultural, Economic and Social Sustainability Hiroshima, Japan, 2013

Roberts, K, 'Reconstruction and verisimilitude after the event: the curious space of Araki Yasusada', conference paper, Double Dialogues conference: The Twenty-First Century: The Event, the Subject and the Artwork, University of the South Pacific, Suva, Fiji, 2012

Roberts, K, 'Celebrity: image space, ground zero', conference paper, Inaugural Celebrity Studies Journal Conference, Burwood, Australia, 2012

Roberts, K, 'Bridge, Mirror, Labyrinth: Shaping the Intervals of Calvino's Invisible Cities', conference paper, Double Dialogues



conference, On Space, University of Otago, Dunedin, New Zealand, 2006

Datta, S, Morison, D and Roberts, K, 'Pedagogical templates: a comparative study of higher order reflective making', paper presented at 1st Playful Design Learning Forum, School of Architecture, Landscape Architecture and Urban Design, Adelaide University, Adelaide, Australia, 2001

Memberships

Australian Institute of Architects

Planning Institute of Australia

Society of Architectural Historians, Australia and New Zealand



Appendix B



273-289 Heidelberg Road, Northcote

Church of Jesus Christ of the Latter-day Saints, Northcote

Citation number:

Prepared by: Context

Survey Date: May 2020

Place Type: Religious

Significance level: Significant

Architect: (likely) Arnold Ehlers and A. Neff Taylor in conjunction with the (Mormon) Church Architectural Department

Builder: Not known

Construction Date: c.1958 & c.1974-78

Extent of overlay: To title boundaries



Figure 1. Quadrangle fronting Heidelberg Street, Northcote. (Source: Context, May 2020)



Figure 2. Chapel fronting Westgarth Street, Northcote. (Source: Google, June 2019)



HISTORICAL CONTEXT

This place is associated with the following historic themes taken from the *Darebin Thematic Environmental History (2007)*:

7 Community and Culture

7.1 Worshiping

PLACE HISTORY

273-289 Heidelberg Road, Northcote, is a church and community complex built for the Mormon Church c. 1958, most likely to designs prepared by Arnold Ehlers and A. Neff Taylor in conjunction with the (Mormon) Church Architectural Department.

Prior to the construction of the church complex, it appears that the land did not have any permanent structures erected on site. A plan dated to 1909 shows the land as empty, with the majority of the surrounding blocks also undeveloped (MMBW Detail Plan no. 1270, 1909). According to street directories, the land was used by Sidney Panther as 'storage' from at least 1925 until 1955 (S&Mc 1925, 1955). This storage was likely to have been linked to Panther's timber business (*Advocate* 16 May 1949:7).

The Church of Jesus Christ of the Latter-day Saints (known commonly as the Mormon or LDS Church) has its origins in the American religious movement founded by Joseph Smith in the early nineteenth century. The movement had an established presence in Australia since the 1840s. Experiencing rapid growth nationally in the post-war period, the church underwent an unprecedented expansion program in all states of Australia between 1956 and 1958. During this time 19 chapels and additions to existing sites were undertaken at a cost of one million dollars and an estimated half-million dollars in donated labour from church members (Cummings 1961:221). A further 15 parcels of land intended for use as chapel sites had also been purchased by this time (Cummings 1961:221). All building work was designed by Arnold Ehlers and A. (Amos) Neff Taylor in conjunction with the Mormon Church's Architectural Department (Cummings 1961:221). The consistent contribution and oversight of works from Neff Taylor, Ehlers and the Department, all based in Utah (America), meant the designs for the sites around Australia conformed to general standards, design features and materiality which were also common in LDS buildings around the world.

The church at the subject site was most likely constructed in 1958 towards the end of this period of expansion between 1956 and 1958. An aerial photograph shows the building being built in June 1958 (Figure 5). The building was completed by January 1960 (Figure 3).

In 1961 the church was described in the following terms:

In a lovely setting of spacious lawns and gardens on Heidelberg Road, Fairfield, stands the chapel erected by the Melbourne Branch of the Church of Jesus Christ of the Latter-day Saints... this grand edifice not only contains a very lovely chapel, but a large recreation hall, individual classrooms for Sunday School work, committee rooms, and a beautifully appointed kitchen. These rooms are built around a large quadrangle, in which seats set on a paved area are surrounded by lawns and gardens with flowering shrubs... what a wonderful impression the landscaped grounds must make on the passer-by! If so much thought and work has been put into the beautification of the surrounding of the building, one straight away visualizes the beauty of the interior." (Cummings 1961:229)



This description indicates that the first buildings, inclusive of the original chapel and community centre with courtyard, were designed as a cohesive structure.

In 1974-78, a new chapel was built to the north of the c.1958 building (Figure 7). A passage connecting the two buildings was constructed by 1981 (**Figure 5**).

The Church of Jesus Christ of the Latter-day Saints still operates today as a place of worship. The community centre houses a Family History Centre, a branch of the Family History Library in Salt Lake City, Utah (*Newsroom* 13 April 2020).

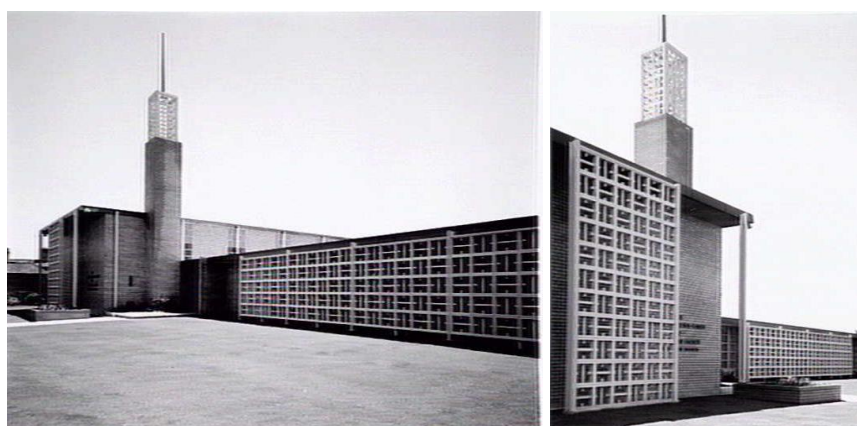


Figure 3. The building facing Heidelberg Road in January 1960. Note that the decorative screens and the spire on the tower have been removed. (Source: Lyle 1960, 'Church of Latter Day Saints', State Library Victoria Accession No: H92.20/6790)

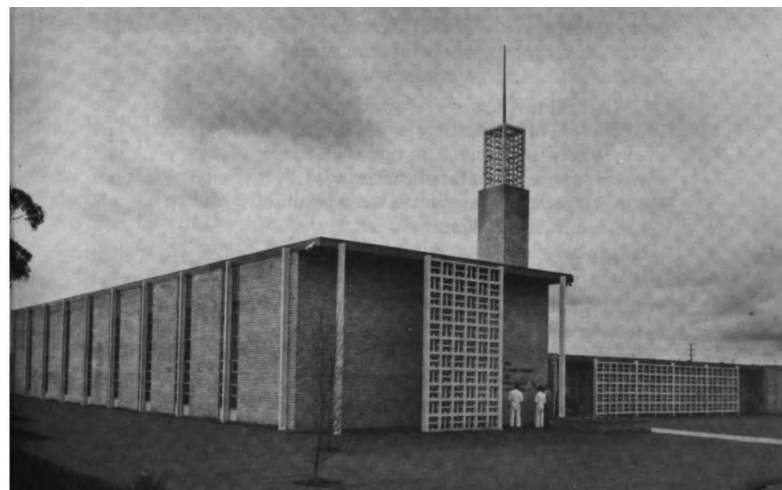


Figure 4. The building facing Heidelberg Road, at completion. Note that the decorative screens and the spire on the tower have been removed. (Source: Cummings 1961:223)



Figure 5. 273-289 Heidelberg Road in Heidelberg Road being built in June 1958. (Source: Central Plan Office, 'MELBOURNE OUTER SUBURBS NO.2 PROJECT (6/1958)' via Landata)



Figure 6. 273-289 Heidelberg Road in January 1969. The early landscaping shown is largely intact. (Source: Central Plan Office, 'EASTERN FREEWAY PROJECT (1/1969)' via Landata)



Figure 7. 273-289 Heidelberg Road in April 1978. Note the new chapel was completed by this time. (Source: Central Plan Office, 'WESTERN PORT FORESHORES (4/1978)' via Landata)



Figure 8. 273-289 Heidelberg Road in January 1981. Note the passage between the earlier building and the new chapel was completed by this time. (Source: Central Plan Office, 'WESTERN PORT FORESHORES (1/1981)' via Landata)



A. (Amos) Neff Taylor, Architect

A. Neff Taylor was born in 1919 in Utah. Taylor's grandfather had been the third president of the Latter-day Saints Church, and was involved with Joseph Smith and Brigham Young in the foundational years of the religion (*Deseret News*, 2 November 1946:8). After serving in the navy during World War Two, A. Neff Taylor joined the Latter-day Saints Church as a designer of chapels, and later, temples, for the organisation for over 26 years (*Salt Lake Tribune* 28 February 1980:32). By 1961, Taylor had been appointed the head of the technical and research section of the Church's architectural department (*Deseret News*, 26 August 1961:6). An active member of the church, Taylor held positions as a bishop, high council member and stake executive secretary until his death in 1980 (*Salt Lake Tribune* 28 February 1980:32).

Arnold Ehlers, Architect

Arnold Ehlers was born in 1901 in Hamburg, Germany, later moving with his family to Utah, America. Ehlers graduated from the Blaine School, Salt Lake City in 1917 having earlier attended the Carlisle School. Following his graduation, Ehlers took courses in mathematics and engineering at the Latter-day Saints High School, Salt Lake City, in preparation for a career in architecture. Serving as a draughtsman at multiple architectural practices, Ehlers undertook mostly minor commercial and public projects until 1939. During this time, Ehlers eventually became the Chief Draughtsman for the firm of Anderson and Young in Salt Lake City. In 1939, he left to set up a partnership with Lorenzo Young in the same city, however the firm was interrupted by the onset of World War Two (Archifact 2013:52).

Practicing intermittently through the war, Ehlers eventually obtained a position as Supervising Architect for the Latter-day Saints Building Committee, while continuing to undertake private commissions. Between 1952 and 1954, Ehlers acted as Supervising Architect for the Church Building Committee, New Zealand, followed by contributing towards the building program in Australia later in the decade (Archifact 2013:52).

Continuing to work in other roles as an Area Architect for the Church, Ehlers had a brief time in practice with his son, Jack, in 1964 and 1965. Ehlers was then charged with the Meetinghouse remodelling Programme for the Church Building Department until he retired in 1971 (Archifact 2013:52).

DESCRIPTION

The Church of Jesus Christ of the Latter-day Saints complex comprises a recreation hall fronting the northern side of Heidelberg Road (c.1958) and a later chapel (c.1974-78). fronting Westgarth Street to the south. The buildings are connected via a passage (c.1978-81). The site is generally flat and has generous front setback.

Chapel and community centre (c. 1958)

Set back from the street, the c.1958 building comprising the original two storey chapel and single storey community centre is a dominant building in the Heidelberg Road streetscape. The steel-framed buildings are constructed in orange brick with a pinkish tint laid in stretcher bond and have a low-



pitch roof clad in metal sheets that float above an expressed steel beam that acts as a modern interpretation of a classic entablature.

The original two-storey chapel is built to the west of and is attached to the single storey community centre. The community centre is built around a large internal quadrangle and originally housed a large recreation hall, individual classrooms for Sunday School work, committee rooms, and a kitchen. A tower topped with decorative panels is located along the eastern wall of the chapel where it intersects with the community centre building. The community centre is accessed from an entrance on the east.

Along the southern elevation, facing Heidelberg Road, projecting eaves are supported by regularly spaced steel universal columns. Two-storey in height across the front of the Chapel and single storey across the community centre, these columns create a colonnade effect across the buildings. At the eastern end of the community centre the building projects forward to be in line with the colonnade and its sheer wall surface is broken up by narrow recessed vertical panels in the brick works that maintain the rhythmic spacing of the columns. Narrow full height vertical openings are provided on the west, north and south elevations of the building and are commonly placed either side of an expressed steel member. Breaking the wall surface into regular bays these openings replicate the vertical emphasis created by the colonnades across the front of the buildings. Fitted with metal framed windows that are divided into a square module, the top and bottom panels of each of these windows are fitted with opaque glass. Highlight windows exist on the eastern wall of the chapel. The east elevation features a full-height metal-framed window and clerestory windows.

The landscaping around the building including the lawn, concrete pavement and brick garden beds (in matching bricks) appear original, as shown in Figure 6. [Four eucalypts \(*Eucalyptus* sp.\) Gumtrees](#) planted after 1981 [existed](#) in front of the c.1958 building close to the footpath. [Two trees were removed in late 2021 \(Nearmap\). The remaining two trees and lawned area are important urban elements that provide amenity benefits for the congregation and wider community.](#)

The courtyard within the quadrangle is paved with brick. The c.1978-81 passage is built in cream brick, with large steel-framed windows and flat roof.

New chapel (c. 1974-78)

Constructed of cream bricks laid in stretcher bond, the north-facing chapel is a modern style church building, within the broader Late Twentieth-Century Ecclesiastical idiom. The building has a traditional basilica-like plan with four wide low-pitched gabled wings comprising narthex, nave, apse, choir, and transepts.

The primary elevation facing Westgarth Street is distinguished by its sheer brick wall that steps back from the street line and incorporates a large central section constructed from panels of interlocking off form concrete that emphasise verticality. A spire rises from above the main recessed entry that is set from Westgarth Street and features geometric concrete formwork.

The roof form of the chapel is constructed using four interlocking low-pitched gables and continues towards the ground over the main entry, anchoring the building to the site at this point. Each of the minor gable ends feature a central panel of pale rock faced brickwork that is set between vertical slim



projecting brick columns. These panels provide a contrasting ribbed texture to the otherwise unadorned wall surfaces of the building.

Large rectangular steel-framed windows are provided on the east and west elevations. Small windows are on the south, and the north elevation features strip windows behind the projecting wall plane.

At the front of the Chapel a lawn area is broken up by a brick paved path that leads to the entry and appears original. Garden beds planted with small shrubs surround the building and a group of eucalypts mark the entry. A Low brick fence runs along the Westgarth Street boundary and a dwarf brick wall inset with the church name stands on the lawn behind the low fence. The 'visitors welcome' appended after the 'Church of Jesus Christ of the Latter-day Saints' is part of the Church's standard style of logo from c.1980.

INTEGRITY

As a whole, the Church of Jesus Christ of the Latter-day Saints complex at 273-289 Heidelberg Road, Northcote, is largely intact with some changes visible to original or early important fabric.

The c.1958 building is relatively intact, retaining the original built form of the original chapel and a community centre built around a quadrangle. The building's steel-frame construction, orange brick walls, tower with decorative top panels, full-height and clerestory windows, and the landscaping including the orange brick garden beds are part of the important early elements. Despite the loss of decorative panels along the colonnade and the spire above the tower, the original design of the building is still highly legible.

The c.1974-78 chapel fronting Westgarth Street represents a slightly later mode of design within the denomination's architecture. The building appears highly intact, with its retention of important elements such as the basilica-like floor plan, steel-frame construction with cream brick cladding, gable roofs with a shallow pitch, decorative stonework on each gable end and a spire.

The building has been altered, with the removal of original decorative panels along the Heidelberg Road elevation and the spire above the tower. The logo 'Church of Jesus Christ of the Latter-day Saints' on this elevation is also a later addition dating from after 1980. The earlier signage was located near the right-hand side edge of the wall (Figure 3).

The site's intact early landscaping, c.1981 passage connecting the two buildings, and its continuous use as a place of worship are other factors that contribute to the importance of the place. Overall, the building has high integrity.

COMPARATIVE ANALYSIS

Post-war Mormonist architecture

A church architect has been a feature of the Church of Jesus Christ of the Latter-day Saints since 1847. Building a ward chapel involves constant consultation with the Church Design and Architecture Division, housed in the central church offices in Salt Lake City (Starrs 2009:335). The Church officials oversaw the details from building design, temperature control, size, square footage to decorations, grading, logos facing, and signage. Unlike temples, which are used for particular rituals with exclusive access, the ward chapels (commonly known as meetinghouses) are often mass-produced with simpler designs. Since the 1920s, Mormons have repeated more or less standardised designs for the ward



chapel architecture, although there was no single standard plan adopted until after the 1950s (Starrs 2009:335).

In the 1930s, the church building slowed due to the economic depression, but it was the period when some of the most original architectural work of the church was developed, influenced by art deco and International School motifs (Starrs 2009:335). The period was followed by the church's key expansion period in the immediate postwar period. From 1945 to 1955, three firms in Salt Lake City designed more than 1000 stake and ward meetinghouses. Standardisation of plans largely advanced during this period, due to the lack of time for specialisation. In the 1950s, a standard plan prototype became established. In the ward meetinghouse, a multipurpose room was provided close to the chapel. The multipurpose room is adaptable into a gymnasium, stage, or rehearsal facilities, and all adjoined a kitchen and classrooms. (Starrs 2009:335-336).

A Church Building division was formed in 1955, with Harold Burton as church architect. Burton moved to a more modern, ecclesiastical architecture (Starrs 2009:336). In 1959, a senior church design official issued a blanket statement: 'A church should embody architectural beauty, dignity, simplicity, structural stability, and functional livability [sic], and at the same time be economic in its cost and give long service with low expenditure and maintenance' (Starrs 2009:336). The church advocated the use of a generic and place-unspecific standard design. Modern meetinghouses were enthusiastically described by church leaders as positive proof of church's success in the mission field.

In 1964, the growth in the building program of the Church led to the reorganisation of the Building Division, and the subsequent establishment of an office dedicated to standard plans (Bradley 1981:24). By the late 1970s, a complete set of 23 drawings was available. Every building was designed to accommodate the largest possible zoning regulations. Gable roofs with sprawling wings, almost always accompanied by the rectangular asymmetrically placed tower form were key characteristics of the standard-plan designs (Figure 9) (Starrs 2009:337-338). Modifications of the basic plan often included changes of basic massing, façade decoration and steeple forms. It was common to apply a decorative theme throughout the design (Bradley 1981:26).

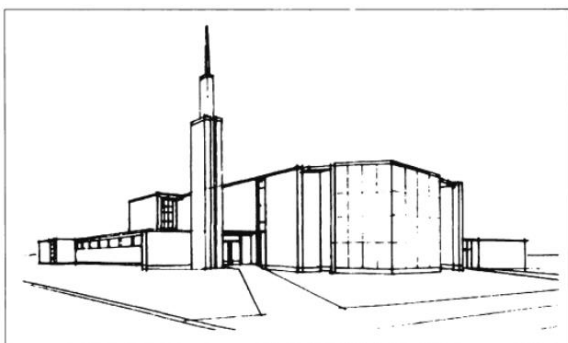


Figure 9. An example of a standard-plan drawing, known as the 'Fairmont' style. (Source: Meinig 2009:339)

In Australia, 19 chapels and additions to existing chapels were built between 1956 and 1968. The following are a selection of examples in Victoria, that are likely contemporaneous with the c.1974-78 building on the subject site. These designs were repeated across Australia, with similar designs existent in other states. None of these have heritage protection.



Figure 10. LDS Church in Gladstone Road, Dandenong North (No HO). (Source: Google, March 2020)



Figure 11. LDS Church in Hewish Road, Croydon (No HO). (Source: Google, September 2019)

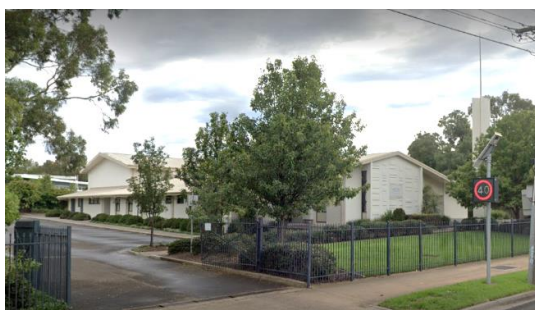


Figure 12. LDS Church in Glenroy Road, Glenroy (No HO). (Source: Google, February 2020)



Figure 13. LDS Church in Hawthorn Road, Hawthorn (No HO). (Source: Ware 2016, via Google)

An example in Greenwich, New South Wales, features decorative screens similar to the c.1958 building. It is likely another pre-standard plan building, which was constructed through the expansion program in all states of Australia between 1956 and 1958, in which 19 chapels and additions to existing sites.



Figure 14. LDS Church in Greenwich Road, Greenwich, New South Wales. (Source: Google, November 2019)

The subject site as a whole, the LDS church complex at 273-~~285~~-289 Heidelberg Road is distinctive for its unique design approach, and for its demonstration of the Church's changed design tastes in the post-war period. Combining a chapel and multi-purpose recreational hall with a box-like massing and form, the c. 1958 building is a rarer, pre-standard design church that represents profound influence of International style. The c. 1974-78 building represents the Church's fully developed standard plan designs actively adopted around the world. These elements reflect the church's original design



scheme and is consistent with the aesthetics of modernist architecture, as well as those of the Mormon church's architectural department in Utah, United States. The site as a whole is an unusual important example in Victorian context, comprising both the pre- and established standard design LDS church buildings.

Post-war churches in Darebin

The subject site is characteristic of churches of various denominations set within complexes of associated buildings and grounds, such as chapels, halls, Sunday schools and gardens. As a complex, Church of Jesus Christ of the Latter-day Saints in Northcote illustrates the progression of Heidelberg Road during the post-war boom and the evolving role of the church community in providing both educational and spiritual services to the growing community.

Post-war churches in Darebin, as in Victoria and Australia more widely, fall into a range of architectural styles, ranging through various Revival styles, Modernist, or what has been broadly categorised as a Late Twentieth-Century Ecclesiastical style. While Revival styles continued to reference strongly historical precedents such as the Gothic or Romanesque basilica or cathedral designs, Modernist designs sought to break from tradition, sometimes radically, for example by using 'round' plans or other geometric or organic forms. Between these two paths, the Late Twentieth Century Ecclesiastical style in Australia retained 'a traditional attitude', comprising a vertical motif such as the 'finger pointed to the traditional heaven' but combined with broader naves and shorter plans to emphasise 'the ministry of the word' (Apperly, Irving & Reynolds 1994:230). Familiar materials such as brick and timber were used to integrate the church into the community and to reflect the residential settings in which they were located.

The Modernist churches in Darebin that are currently included on the City of Darebin's Heritage Overlay as individual place include the following.

Regent Baptist Church complex at 726-34 High Street, Reservoir (HO271) comprises a 1918 timber chapel with a clinker brick porch added in 1923, and a 1964 church designed by Keith Reid. The Modernist church has two brown brick bays that flank a central entrance. Above the door in this entrance is a large stained-glass window and a steeply pitched roof clad in terracotta tiles crowns the composition. A cone-shaped copper spire extends up from the roof at its High Street end. A bay projects to the south at rear. The Regent Baptist Church complex is of local historic, aesthetic and social significance to Darebin City.

St George's Anglican Church, 32-34 Ralph Street, Reservoir (HO279) was constructed in 1964, designed by the noted architectural firm of Mockridge, Stahle and Mitchell. It is a Modernist Anglican church built of steel and concrete, which is of a cubic form and displays structural expressionism in its use of a space frame truss roof that appears to float above the building. A tall spire set on a raised platform is placed centrally above the roof. St George's Anglican Church is of local historic, architectural and social significance to Darebin City.

St Gabriel's Catholic Church Complex at 237-243 Spring Street, Reservoir (HO280) comprises a church designed by S. J. Moran and constructed by F. O. Dixon in 1960, and a presbytery at 237-243 Spring Street. The church is constructed of cream brick in the Modernist style with a roof clad in terracotta tiles. It is built on a diagonal to the Spring Street and Viola Street corner. The church has a



recessed entrance which is faced with glazed white tiles and panels of small green mosaic tiles. At right of the entrance is a bell tower with a cross at its top. There is a foundation stone at the base of the tower. Further west along Viola Street is a cream brick Presbytery that is contemporaneous with the church, and sympathetic to it in terms of its materials. St Gabriel's Catholic Church Complex is of local historic, architectural and social significance to Darebin City.

Holy Name Catholic Primary School & Church Complex, 2-26 Robb Street, Reservoir (HO249), Darebin City (HO249) was built in stages from 1939 to 1966. The church was designed by J. P. Saraty and constructed by 1964 and the mural and artworks were created for the church by Votire Marek. The Modernist form of the church and its setting behind an open forecourt is integral to the significance of the place. The Holy Name Church complex is of local historic, architectural, aesthetic and social significance to Darebin City.



Figure 15. Regent Baptist Church complex at 726-34 High Street, Reservoir (HO271).



Figure 16. St George's Anglican Church, 32-34 Ralph Street, Reservoir (HO279).



Figure 17. St Gabriel's Catholic Church Complex at 237-243 Spring Street, Reservoir (HO280).



Figure 18. Holy Name Catholic Primary School & Church Complex, 2-26 Robb Street, Reservoir (HO249).

For its adoption of Modernist and Late-Twentieth Century Ecclesiastical style idioms, both the c.1958 and c.1974-78 buildings at 273-289 Heidelberg Road, Northcote compare well with all of the above examples of post-war churches in Darebin. The HO-listed churches and the subject buildings utilise a restrained material palette of brick cladding and steel window frames and details.

Built with a linear, box-like horizontal and vertical massing of rectangular forms, the subject c.1958 building assumes a more functionalist aesthetic and includes a quadrangle that was part of the original



design scheme. The simple rectangular tower functions as a strong vertical element that plays off against the horizontal character of its low-lying rectangular form of the recreational wing, establishing prominence in the streetscape.

The subject c.1974-78 building is distinguished from these other modern designs by its adoption of a standard design that was provided by the centralised church offices in Utah, United States. This building adopts a more traditional basilica-like plans, less typically seen in Modernist church designs. Yet, its adoption of asymmetrically placed vertical tower form and linear, box-like massing echoes the widely popular Late-Twentieth Century Ecclesiastical style idioms that are also represented in all the above HO-listed examples.

As a group, modern post-war churches in Darebin display an eclectic character, ranging from traditional basilica forms, to the modern cubic-form church. Post-war churches are not well represented in the Heritage Overlay. The LDS church in Northcote compares favourably to other post-war churches in the municipality in terms of its architectural qualities, integrity and its use of brick cladding, plain walls and simplified forms.

The two post-war chapels demonstrate the evolution of architectural custom and Modern ecclesiastical design of the LDS church, where, unlike many other denominations, established a standardised church designs produced by the church's Building Division and repeated around the world.



ASSESSMENT AGAINST CRITERIA

✓	CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).
	CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).
	CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).
✓	CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).
	CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).
	CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)
✓	CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).
	CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).



STATEMENT OF SIGNIFICANCE

WHAT IS SIGNIFICANT

Church of Jesus Christ of the Latter-day Saints complex at 273-289 Heidelberg Road, Northcote, comprising the c.1958 chapel and recreation hall building fronting Heidelberg Road and the c.1974-78 new chapel fronting Westgarth Street, is significant.

Significant fabric includes the:

- original form and scale of the c.1958 chapel and recreation hall building, including its simple rectangular form, very low-pitched roof form and its asymmetric composition of the horizontal and vertical elements of hall, rectangular tower and landscaped quadrangle;
- elements that reflect the Modernist ecclesiastic designs of the c.1958 building produced by the Church of Jesus Christ of the Latter-day Saints' Building Division in Utah, United States, including the original orange face brick cladding, full-height metal-frame windows, clerestory windows and steel universal columns supporting projecting eaves on the Heidelberg Road elevation;
- original form and scale of the c.1974-78 chapel, including its basilica-like plan and four-wings with low-pitched gables;
- elements that reflect the Modernist ecclesiastic designs of the c.1974-78 building produced by the Church of Jesus Christ of the Latter-day Saints' Building Division in Utah, United States, including original cream face brick cladding and decorative brick and concrete panelling, pattern of fenestrations as well as the tower; and
- other original landscaping elements including the lawn and brick paving on the Heidelberg Road set back, brick paving of the quadrangle, brick garden beds built as part of the c.1958 building scheme, and early signages on the c.1958 building and in front of the c.1974-78 chapel including the dwarf brick wall.

[Two eucalypts \(*Eucalyptus sp.*\) planted in the Heidelberg Road setback contribute to the setting of the place but are not significant in their own right.](#)

HOW IT IS SIGNIFICANT

Church of Jesus Christ of the Latter-day Saints complex at 273-289 Heidelberg Road, Northcote, is of local historic, representative and social significance to the City of Darebin.

WHY IT IS SIGNIFICANT

273-289 Heidelberg Road, Northcote, is historically significant as a church complex consisted of a c.1958 chapel and recreation hall building fronting Heidelberg Road and a c. 1974-78 chapel fronting Westgarth Street, established for the Church of Jesus Christ of the Latter-day Saints (LDS Church) in 1958. The earlier building was built c. 1958 most likely to designs prepared by Arnold Ehlers and A. Neff Taylor in conjunction with the (Mormon) Church Architectural Department. Experiencing rapid growth nationally in the post-war period, the church underwent an unprecedented expansion program in all states of Australia between 1956 and 1958, in which 19 chapels and additions to existing sites were undertaken. The Church officials at Utah, United States oversaw the entire building program, from the selection of sites to design details and functionality. The subject site would have been ideal



for the church, as a new boom commenced in Darebin in the late 1940s with more than 2,500 new private houses and some large Housing Commission of Victoria estates were established between 1949 and 1954.

As a complex, 273-289 Heidelberg Road demonstrates the evolution of design aesthetics of the Building Division of the LDS church, where, unlike many other denominations, established a standardised church designs produced by the church's Building Division and repeated around the world. The pre-standard plan building built c. 1958, comprising a chapel and a multipurpose room, was based on the Church's primitive prototype that formed the basis for the development of standard plans after the 1950s. The c.-1958 building is a tangible evidence of the last era of custom-design meetinghouses, as one of 19 churches built in that period across Australia. The later c.-1974-78 building displays the elements of more standardised church designs that were repeated in churches built in the 1970s. Gable roofs with sprawling wings, almost always accompanied by the rectangular asymmetrically placed tower form were key characteristics of the standard-plan designs. (Criterion A)

273-289 Heidelberg Road, Northcote, is of representative significance for both the c.1958 and c.1974-78 buildings' adoption of Modernist and Late-Twentieth Century Ecclesiastical style idioms. The representative elements include a restrained material palette of brick cladding and steel window frames and details. A linear, box-like horizontal and vertical massing of rectangular forms and simple rectangular tower (the c.-1958 building); and adapted traditional basilica-like plans, asymmetrically placed vertical tower form and linear, box-like massing (the c.-1974-78 building) echo the widely popular -Late-Twentieth Century Ecclesiastical style architecture. (Criterion D)

The Church of Jesus Christ of the Latter-day Saints still operates today as a place of worship. The community centre houses Family History Centre, a branch of the Family History Library in Salt Lake City, Utah. The subject complex is of social significance to the City of Darebin, for its continued association with the church community. (Criterion G)

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Darebin Planning Scheme as an individually significant place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Darebin Planning Scheme:

DAREBIN PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES	No
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No



PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A



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257 Heidelberg Road, Northcote

Residence

Citation number:

Prepared by: Context

Survey Date: May 2020

Place Type: Residential

Significance level: Significant

Architect: -

Builder: Not known

Construction Date: c.1948-49

Extent of overlay: To title boundaries



Figure 1. 257 Heidelberg Road, Northcote. (Source: Context, May 2020)



Figure 2. 257 Heidelberg Road, Northcote, looking into the front gate. (Source: Context, May 2020)



HISTORICAL CONTEXT

This place is associated with the following historic themes taken from the *Darebin Thematic Environmental History (2007)*:

5 Building Suburban Darebin

5.3 Twentieth century recovery

PLACE HISTORY

257 Heidelberg Road, Northcote, was built c.1948-49. The land known as 257 Heidelberg Road, Northcote, was part of Crown Allotment 27 near Northcote, Parish of Jika Jika, County of Bourke (CT Vol. 2929 Fol. 734).

The land was vacant until 1945 (S&Mc 1945). The existing residence was listed in the 1950 Sands & McDougall postal directory, likely constructed after the transfer of land to Beniamino Bortolussi in 1948 (S&Mc 1950; CT Vol. 2929 Fol. 734). Beniamino and his wife Linda Bortolussi resided at 257 Heidelberg Road, Northcote, until they died in 1981 (CT Vol. 2929 Fol. 734).

Beniamino Bortolussi (also known as Benjamin Bortolussi) was in partnership with Domenico Pertile and Nello Buriani, carrying out business of granolithic and marble contractors, under the name of Anglo-Italian Granolithic Co. (formed by 1926), at 210A Leister Street, Carlton. In 1935, N. Buriani retired, and D. Pertile in 1954. B. Bortolussi carried on the business in Carlton from 1954 (*Age* 11 September 1926:1; 13 August 1935:15; 23 June 1954:9). The company continues today as Anglo-Italian Concrete today.

The aerial photographs from 1954, 1969 and 1981 show few changes over time (Figure 3). The house, garage and the vegetable patch at the rear of the property existed by 1954. Landscaping including the front garden setting and planting, two sheds and concrete pavement at the rear of the property were completed by the 1960s. By 1981, a tree planted in the front garden prior to 1954 had been removed. The original c.1948-49 house was extended to the north after 1981, with a patio and new hipped roofed sections attached to the northwest corner of the original house (Figure 3 and Figure 4).

257 Heidelberg Road remains as a private residence today.



Figure 3. 257 Heidelberg Road, in 1954 (left), 1969 (middle) and 1981 (right). (Source: Central Plan Office, 'MELBOURNE AND METROPOLITAN PROJECT NO.3 (3/1954)', 'EASTERN FREEWAY PROJECT (1/1969)' & 'WESTERN PORT FORESHORES (1/1981)', via Landata)

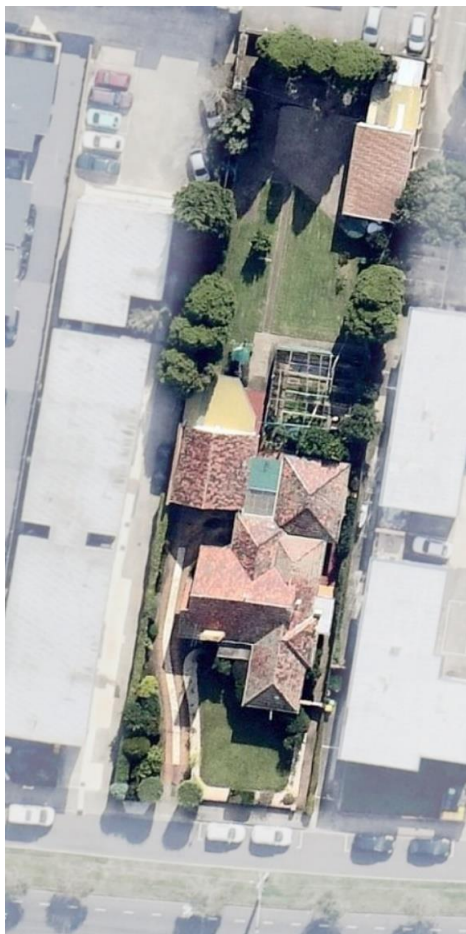


Figure 4. Aerial photograph of 257 Heidelberg Road. (Source: Nearmap)



DESCRIPTION

257 Heidelberg Road, Northcote, is a single-storey cream face brick residence, built c.1948-49 (designer unknown) for the owner Beniamino Bortolussi.

The narrow rectangular allotment is located within a largely residential strip on the north side of Heidelberg Road across the Fairfield Park. The building has a terracotta tile hip and gable roof, with a hipped roofed wing extending to the south intersected at its mid-point by a transverse gable-roofed wing that fronts the west. The roof is distinguished by exaggerated eave overhangs (accentuated by curved corner windows) lined with narrow timber lining boards. A smaller hipped roofed bay exists on the north. There are a patio and new hipped roofed sections attached to the northwest corner of the original house. An original separate garage built of cream brick (front elevation) and textured red brick (side elevations) is located near the northwest corner of the house. An open carport has been constructed to the north elevation of the original garage.

The brick house is clad with cream brick laid in fletcher bond (curved corners are laid in in header courses), with thin recessed brown brick bands running across the façade of the street-fronting wing. On the principal elevation, the lowermost three courses of brickwork are of unglazed dark red brick. Terracotta vents are inserted in these bottom courses. The brick windowsills of the corner windows are laid in angle, and the projected 'brick on edge' effect continues across the street-fronting elevation.

The dominating key decorative features of the house are: its curved corners with wide steel-framed corner windows fitted with curved glass; bands of recessed slim darker-coloured bricks; and an unusually proportioned wide, yet thin and tall chimney that acts as a strong vertical element. This is in contrast to the otherwise horizontal emphasis given to the treatment of the façade through its use of bands of different coloured brickwork, horizontal glazing bars and thin feature tiles that protrude fin-like at regular intervals up the corner of the chimney. These are defining elements of the late 1940s examples referred to as 'Waterfall' style houses that developed out of the Moderne style of the 1930s and were popular during the immediate postwar period. The entrance porch is not visible from public domain.



Figure 5. Views of 257 Heidelberg Road showing the key decorative elements and driveway. (Source: Context, May 2020)

The garden with original landscaping elements in the front setback is largely consistent with the initial construction period. The driveway and footpath are paved with large brown concrete panels with a raised edge on one side that forms the edge of the garden bed. There is a brown concrete strip inserted with irregular-cut marble pieces in the middle of the driveway, which reflects the property's association with the first owner Beniamino Bortolussi, granolithic and marble contractor.

Cypresses on either side of the gate are possibly planted in the c.1960s during the ownership of the Bortolussi family or like-for-like replacements (see Figure 3). Various ornamental plants including tapestry hedge and standard roses are planted in the front garden. At the rear of the property, there are cypresses and vegetable patch.

The front fence is constructed of matching cream brick laid in fletcher bond with brown and dark red brick accents. A distinctive saw tooth detail to the fence's brick capping, piers with stepped tops and curved corners to the driveway opening. Curved corners are laid in header course. The mild steel fence panels and gates all appear original. Tree hedging extends along both the eastern and western allotment



boundaries. A shed and watertank ~~is~~are located at the rear of the property. The sections of the back garden are concrete-paved, with footpaths to the house and around the vegetable patch.



Figure 6. Details of the front fence of 257 Heidelberg Road, constructed of matching cream brick laid in header course with brown and dark red brick accents. Mild steel gates and fence panels are also original. (Source: Context, May 2020)

INTEGRITY

257 Heidelberg Road, Northcote is highly intact with limited changes visible to original or early fabric. The early postwar residence retains the original street frontages and built form with gable and hipped roofs. Intact original elements include cream face brick walls with brown and dark red brick bands, terracotta tile roofs, curved corners with wide steel framed corner windows fitted with curved glass, strong verticality of the chimney, low masonry fences with mild steel gate and fence panels, and landscaping features to the front garden. The discreet rear additions are not visible from public domain. Overall, the building has very high integrity.

COMPARATIVE ANALYSIS

1940s Moderne style domestic architecture

After the beginning of the World War Two, the Government introduced building restrictions in 1941 that allowed only houses not exceeding a total cost of £3000 to gain a permit. Rationing of building and other materials limited new constructions and building work ceased by 1942, resulting in a short supply of housing during the wartime and postwar years. By 1946, after the end of the War, suburbs were springing up. An Influx of immigrants in the postwar period was another factor that accelerated densification of areas formerly considered outer suburbs. From 1945 to 1955, around when the wartime building restrictions became relaxed, 576,440 houses were completed. However, severe shortages of building materials and increased labour costs meant that economic housing designed by architects and mass-produced by builders became favoured by new homeowners:

The many low-cost design books or catalogues which became available in the immediate post-war era are an indication of the demand for housing. The Sun's Book of Post-War Homes, published by Melbourne's Sun News-Pictorial in 1946, was the product of an architectural competition. The Australian House, by Norman Jenkins, contained



fifty houses...Your Post-War Home by Watson Sharp offered 'Home plans of distinction for Australians who are planning to build'... (Cuffley:40)

Books, magazines and catalogues of house designs had a powerful influence in maintaining popular ideals as well as in identifying or directing trends. Magazines such as the *Australian Home Beautiful*, the *Home*, *Australian House and Garden* and *Australian Homemaker* were among the influential media (Cuffley:35). Plans published in these magazines and design handbooks provided solutions to maximise the efficiency of the budget and land size, often encouraging construction of smaller homes in anticipation of future extensions (Cuffley:74). Garages, whether or not integrated with the house itself, and formal gardens with ornamental or flowering plants were also commonly featured with the houses in the 1940s magazines and handbooks.

Melbourne's regional interpretation of the international popular Mid-century Modern or International style architecture was not fully developed until the early 1950s with the stereotypical forms and massing of detached interwar houses carried on into the 1950s. The subject residence displays the defining elements of houses that were popular during the wartime and immediate postwar period built under building restrictions. Houses from this period often employ austere design with cube forms often juxtaposed with curved and cylindrical forms derived from Moderne style architecture of earlier decades.

Moderne architecture favoured geometric forms, especially plain wall planes, curved corners and copings, interpenetration of volumes and surfaces, and a clear articulation of forms, often emphasising horizontal, vertical, or diagonal lines.

In the 1940s, the pressed imperial-size bricks were particularly popular as standard 'modular' building or cladding material. Overfired clinker bricks, cream bricks and machine-textured or 'tapestry' bricks became fashionable. Colours and textures were employed to give a desired effect, such as the use of string courses to enhance the modern horizontal emphasis or as trims and textures. Examples with vertical elements with curved or falling effects are also referred to as 'Waterfall' front houses (Cuffley:118-119).

On the Darebin's Heritage Overlay, many interwar examples are single residences predominantly in Old English/Tudor Revival and Californian bungalow style. There are only a small number of Moderne residences identified as being Individually significant in Darebin.

The Sandland Family Houses at 36 Cooper Street and 40 Cooper Street, Preston (HO208) are a pair of houses developed for the locally important Sandland family. The house at 36 Cooper Street is a rendered brick inter-war villa with a hipped roof clad in terracotta tiles. Its design features elements influenced by the Moderne style. Two projecting bays flank a central porch. The bay to the right has a curved wall at the corner of the building. The curved corner window in this location has a horizontal hood above its window. The upper walls of the house are rendered brick and the bases of the walls are face brick. The windows of the house are steel framed and contribute to the Moderne character of the dwelling. The front boundary fence is complementary and has a brick base, rendered brick pillars and wrought iron railings between each pillar. The house, garden and front fence at 36 Cooper Street, Preston are elements that contribute to the significance of the place. The pair at 36 and 40 Cooper Street are of local historic, architectural and aesthetic significance to Darebin City.

499 St Georges Road, Thornbury is a substantial early 1940s cream brick Moderne style building, originally a combined house and surgery. It has an L-shaped and geometric form relieved by the partly cantilvered and curved balconies (structural support added as a later addition), the umber brick plinth



and tapestry brick banding ('speedlines'). Fenestration includes original timber doors with porthole window and timber-framed corner windows. The extended cuboid wing, which addresses Fyffe Street, incorporated both the former surgery and garage. 499 St Georges Road is recommended as individually significant in Thornbury Park Estate precinct (assessed and recommended as individually significant place in 'Thornbury Park Estate Precinct' 2020).

8,9 and 10 Kelley Grove, Preston, are included in the Kelley Grove Precinct (HO103). They are all 1940s examples constructed of face cream brick with variegated brick detailing, asymmetrical arrangement and terracotta tiled roofs. The Kelley Grove Precinct has a highly consistent and intact streetscape.



Figure 7. 36 Cooper Street, Preston (HO208). (Source: Google, July 2019)



Figure 8. 499 St Georges Road, Thornbury (assessed and recommended as individually significant place in 'Thornbury Park Estate Precinct' 2020). (Source: Google, July 2019)



Figure 9. 10 (left) and 8 (right) Kelley Grove, Preston, in the Kelley Grove Precinct (HO103). (Source: Google, December 2018)



Figure 10. 9 Kelley Grove, Preston, in the Kelley Grove Precinct (HO103). (Source: Google, December 2018)

257 Heidelberg Road, Northcote, compares well with these examples and like them features design elements that are evocative of the Moderne style that was popular for the interwar domestic architecture and carried onto 1950s.

The use of curved corners and/or windows, low masonry fences with mild steel work, terracotta tiled hipped roofs (with or without gabled bays) and cream brick walls (except for 36 Cooper Street, Preston) with darker-coloured brick details are the common features observed in these examples. With the use of curved elements and stepping down chimneys as the primary vertical element in the street frontages, 9 and 10 Kelley Grove (in HO103 Kelley Grove Precinct) are representative examples of the 'Waterfall' front houses. 499 St Georges Street is a more representative of the late interwar Moderne domestic architecture, with its geometric two-storey and partly cantilevered and curved balconies.

257 Heidelberg Road, Northcote, is a better example than the group of places in the Kelley Grove Precinct (HO103). 257 Heidelberg Road is distinguished for its fine detailing and high integrity. This is evident in the curved corner windows with curved glass and deep eave overhangs, recessed bands of slim dark coloured brick work and its unusually proportioned and detailed chimney. It is further distinguished by its retention of key characteristics of the 1940s domestic setting including its relatively formal landscaping and original garage. The discreet rear additions are not visible from the public domain and do not diminish the place's integrity. The intact postwar ornamental garden in the front setback also complements to the place's representativeness.

The subject building compares favourably to the Moderne style examples at 36 Cooper Street, Preston (part of HO36) and 499 St Georges Road, Thornbury (recently assessed and recommended as individually significant place in 'Thornbury Park Estate Precinct' 2020) in terms of its architectural qualities, integrity and its use of decorative face brick cladding, curved windows, simplified asymmetrical form and solid massing.



ASSESSMENT AGAINST CRITERIA

✓	CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).
	CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).
	CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).
✓	CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).
✓	CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).
	CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)
	CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).
	CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

STATEMENT OF SIGNIFICANCE

WHAT IS SIGNIFICANT

257 Heidelberg Road, Northcote, a single-storey cream face brick residence, built c.1948-49 for the owner Beniamino Bortolussi, is significant.

Significant fabric includes the:

- original built form, roof and scale of the residence and separate garage;
- unpainted brick surfaces and decorative brickwork, pattern of fenestration;
- chimney, and steel framed windows including the curved glass to the corner windows;
- low masonry brick fence with saw tooth detailing, mild steel panels and gates; and
- front garden and landscaping including the concrete and marble-paved driveway and footpath; and
- two cypresses by the gate.



HOW IT IS SIGNIFICANT

257 Heidelberg Road, Northcote, is of local historic, representative and aesthetic significance to the City of Darebin.

WHY IT IS SIGNIFICANT

257 Heidelberg Road, Northcote, a single-storey cream face brick residence, built c.1948-49, is historically significant as an example of immediate postwar residential development in Darebin. A major boom commenced in the late 1940s changed the pattern of Darebin's settlement. Over 2500 new private houses were built in the municipality between 1949 and 1954, to meet the increasing demands for housing. The building reflects the massive postwar boom and suburban expansion that characterises Darebin's postwar development. (Criterion A)

257 Heidelberg Road, Northcote, is of representative significance, for its design characteristic of the late 1940s domestic architecture. Severe shortages of building materials and increased labour costs meant that architect-designed economic housing became favoured by new homeowners. House plans published in popular magazines and design handbooks provided solutions to maximise the efficiency of the budget and land size.

The subject residence displays the defining elements of the early postwar houses influenced by Interwar Moderne style that was popular for the interwar domestic architecture and carried onto 1950s. The elements highly characteristic of the type include its cube forms juxtaposed with curves; horizontal emphasis to the façade through its use of bands of different coloured brickwork; tall chimney that acts as a strong vertical element; relatively formal garden and landscaping of the front setback; and low masonry fence with mild steel panels and gates. These are defining elements of the late 1940s examples that developed out of the Moderne Style of the 1930s and was popular during the immediate postwar period. [The front garden provides a setting that is consistent with the period, retaining a pair of cypresses near the gate, other ornamental trees, and a hedge, all typical garden design elements for 1940s houses.](#) (Criterion D)

257 Heidelberg Road, Northcote, is also aesthetically significant, distinguished by its high intactness and integrity as well as its use of well-detailed elements that reflect the influences of Moderne style architecture adapted for late 1940s residences. Key elements include the curved corner windows with curved glass and deep eave overhangs, recessed bands of slim dark coloured brickwork and its unusually proportioned and detailed chimney. The overall brickwork and refinement of detail in the design are evidence of a high level of craftsmanship. The brickwork incorporating face cream, brown and dark red bricks, curved corners laid in header course, saw tooth detail to the fence's brick capping, piers with stepped tops and curved corners to the driveway opening all bring interest and textural depth to the elevations achieved through the adaptation of cheap building materials under the Government's building restrictions.

The front garden also features distinctive features. The driveway is paved with large custom-made brown concrete panels with a raised edge on one side that forms the edge of the garden bed. There is a brown concrete strip inserted with irregular-cut marble pieces in the middle of the driveway, which reflects the property's association with the first owner Beniamino Bortolussi, granolithic and marble contractor. Other landscaping elements that are consistent with the style include the narrow garden bed that is covered with aggregate gravels and wraps around the front lawn; cypresses planted on either



side of the gate; and various ornamental plants including tapestry hedge and standard roses in the front garden. (Criterion E)

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Darebin Planning Scheme as an individually significant place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Darebin Planning Scheme:

DAREBIN PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES	Yes - Masonry fence
TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

Low masonry fence with mild steel panels and gates, and original cream brick garage.



REFERENCES

Age, as cited.

Central Plan Office, *Historic Aerial Photography - 1930s to 1990s*, via Landata.com.au, as cited.

Context 2008, *City of Darebin Heritage Study Volume 1: Draft Thematic Environmental History*, prepared for City of Darebin.

Cuffley, Peter 1993, *Australian Houses of the Forties & Fifties*, Five Mile Pres:Rowville.

Land Victoria, Certificates of Title (CT), as cited.

Sands & McDougall, *Melbourne and Suburban Directories* (S&Mc), as cited.

607 Heidelberg Road, Alphington

Kia-Ora

Citation number:

Prepared by: Context

Survey Date: May 2020

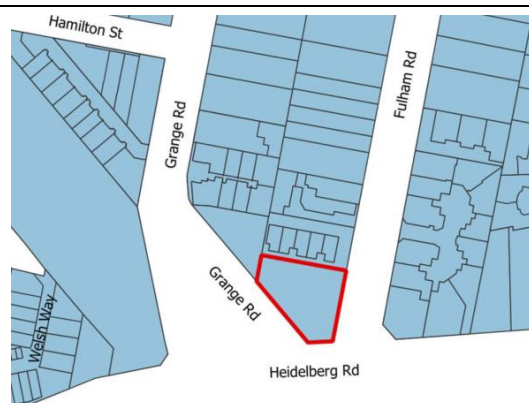
Place Type: Residential

Significance level: Significant

Architect: -

Builder: Not known

Construction Date: 1903, c.1918



Extent of overlay: To title boundaries



Figure 1. 607 Heidelberg Road, Alphington. (Source: Context, May 2020)



Figure 2. 607 Heidelberg Road, Alphington. (Source: Context, May 2020)

HISTORICAL CONTEXT

This place is associated with the following historic themes taken from the *Darebin Thematic Environmental History (2007)*:

5 Building Suburban Darebin

5.3 Twentieth century recovery

PLACE HISTORY

'Kia-Ora' at 607 Heidelberg Road, Alphington, was built by 1903, on part of Crown Portion 117, Parish of Jika Jika, County of Bourke, held by Walter Foreman, gentleman, since 1885 (CT Vol. 1757 Fol. 281). The land was part of the housing estate known as the Fulham Grange Estate. The site was formerly part of the land occupied by Perry brothers Nurseries from the 1850s before being subdivided and auctioned in 1883-85 (*Argus* 7 February 1883:2; *Argus* 24 September 1885:3).

In 1889, southern section of the allotment was acquired by the Victorian Railways Commissioners, for construction of the Outer Circle railway line. The construction of Outer Circle line commenced in 1888 and was completed by 1891. Riversdale to Fairfield was the final section to be completed. Fulham Grange Railway Station was located near the junction of Heidelberg Road, Fulham Street and Grange Street, Alphington. The costly and unsuccessful Outer Circle line closed after three years of operation, and the section that passed the former Fulham Grange Railway Station was reused as a private siding of the Australian Paper Manufacturers (AMP) from 1919 to 1994 ('Fulham Grange Station on the Outer Circle Line (Demolished)' VHD Place ID 27252).

After its completion, in 1903, the brick residence at 607 Heidelberg Road, Alphington, was occupied by Benjamin B. B. Sibthorpe and his family (ER 1903). The property was depicted in the 1910 Melbourne and Metropolitan Board of Works (MMBW) plan and is labelled as 'Kia-Ora'.

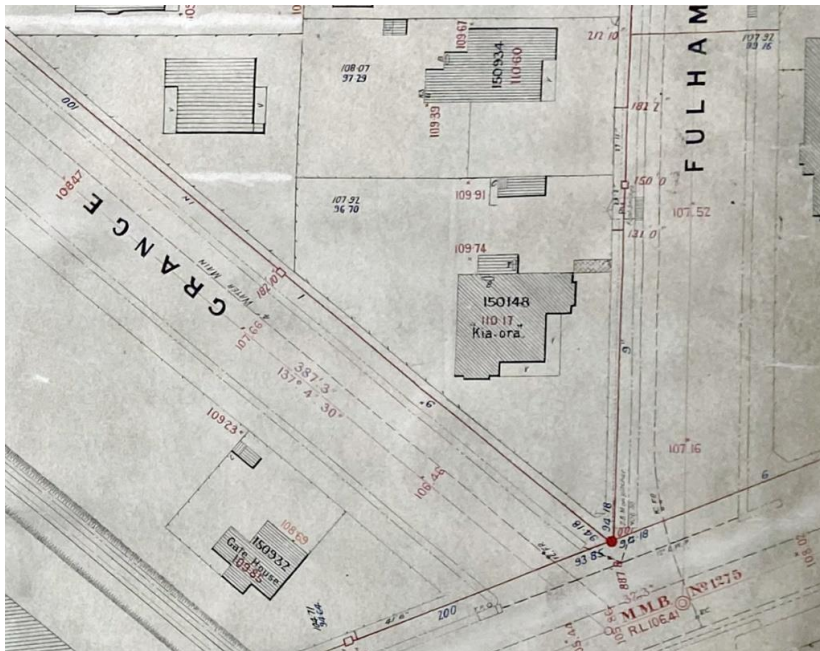


Figure 3. 'Kia-Ora', at 607 Heidelberg Road between Grange and Fulham streets. (Source: MMBW Detail Plan no.2478, 1910)

The property was still held by Walter Foreman until his death in May 1913, and was transferred to Walter Foreman Jnr. And George Alfred Stephens shortly after (CT Vol. 1757 Fol. 281).

In 1914, Benjamin B. B. Sibthorpe became the owner of the property (CT Vol. 1757 Fol. 281; S&Mc 1974). Benjamin Barrington Bank Sibthorpe was a director of MacRobertson's Pty. Ltd., a well-known confectionery business based in Fitzroy. The founder of MacRobertson's, a prominent businessman and philanthropist MacPherson Robertson was also living in the vicinity, near Heidelberg Road, at 43 Station Street, Fairfield ('Carmelea' HO80, City of Darebin).

By 1918, dentist Ernest Barrington Sibthorpe, son of Benjamin Sibthorpe, commenced dental practice at the subject premises (S&Mc 1917-18). The existing western wing was added between 1910 and 1931 (Figure 4). It is likely that the western wing was constructed c.1918 to house Ernest Sibthorpe's dental clinic.

Benjamin Sibthorpe died in 1940 and his family members continued to reside at 'Kia-Ora' through to 1968 (Age 11 September 1940:10; S&Mc 1955). [During the ownership of the Sibthorpe family, the extant rear extension was made.](#) The residence was sold for \$16,050 after Elizabeth Mary Sibthorpe's death in 1968. At that time, the property was described as a brick house with nine rooms on site of 12,7100 sq. feet subject to road widening order (Age 1 July 1968:10). [A small portion of the front garden was acquired by VicRoads to widen Heidelberg Road c.1970. The low brick fence and garden plantings are additions following this change \(Figure 6\). The widening of Heidelberg Road c.1970 reflects the road's continued importance as a major throughfare.](#)

607 Heidelberg Road remains as a private residence today.



Figure 4. 607 Heidelberg Road in 1931, showing the western wing added c.1918. (Source: Central Plan Office, 'MALDON PRISON (11/1931)', via Landata)

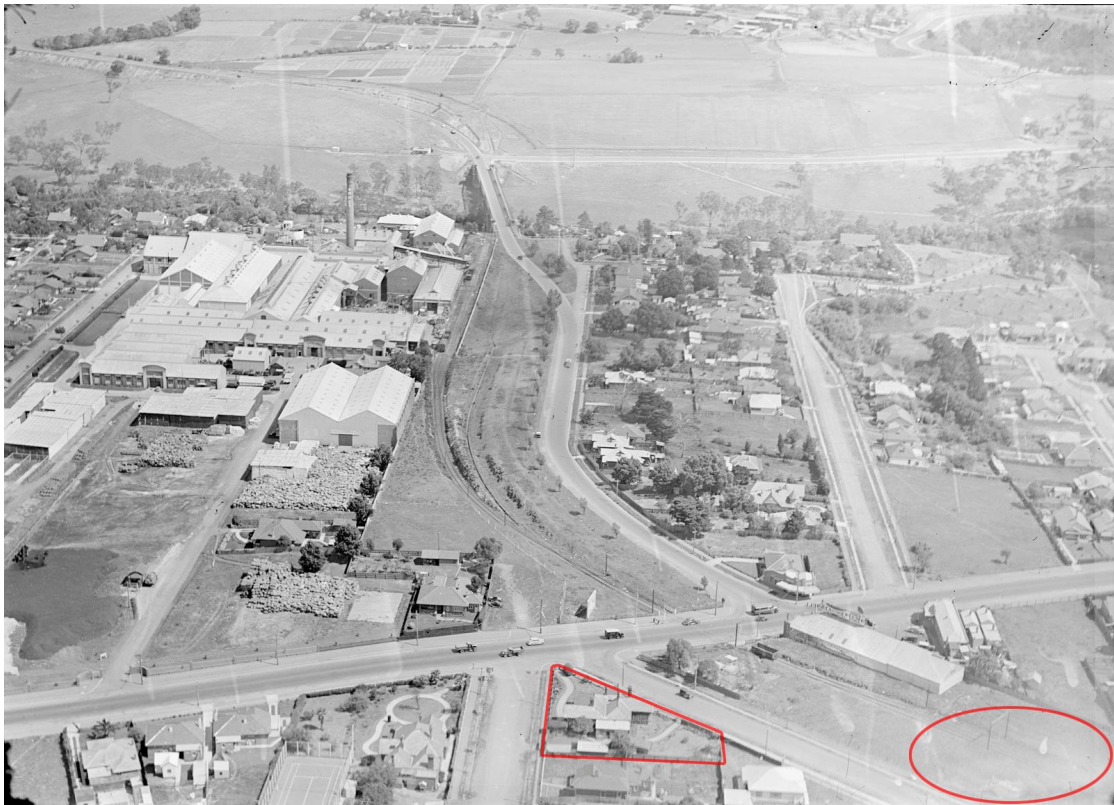


Figure 5. A c.1945 aerial photograph of Heidelberg Road looking south, showing 607 Heidelberg Road, Alphington and the approximate location of the demolished Fulham Grange Station to the bottom-right highlighted in red. (Source: Pratt 1945, 'Australian Paper Manufacturing mill (APM) at Fairfield', State Library Victoria, Accession no.: H91.160/169)



Figure 6. Extract of a 1969 aerial showing the earlier allotment boundary (red outline). Note the extent of the current allotment following the acquisition of part of the land by VicRoads c.1970 (yellow dashed line). (Source: Central Plan Office, 'Eastern Freeway Project' (1/1969)', via Landata)

DESCRIPTION

607 Heidelberg Road, Alphington, is a single storey brick residence built in 1903 (architect unknown) for the owner Walter Foreman.

Kia-Ora is sited on a substantial and irregular sized corner allotment with prominent street frontages to Grange Road, Heidelberg Road, and ~~Fullham~~ Fulham Road. The building design exhibits features associated with the Queen Anne style, notable in its roof form, layout, fine architectural details, and surface materials.

The original built form has a squarish plan and composite hip roof with two projecting gable wings oriented to the east and south. A third projecting gable wing (built c.1918) extends from the western elevation. An L-shaped corrugated metal skillion roof wraps around the north-western corner of the main built form. The northern section of this roof shelters a small red brick extension that is original. The roof along the western elevation forms an open pergola (Figure 7).



Figure 7. Aerial photograph of 607 Heidelberg Road. (Source: Nearmap)

The building has a [non-original but sympathetic](#) terracotta tiled hip and gable roof with terracotta ridge cresting. Three tall chimneys punctuate the roof. The chimneys feature decorative raised brickwork arranged in a geometric pattern and robust corbelled cornices. The eastern- and western-most chimneys are wider, and each is capped with two terracotta chimney pots, the central chimney is narrow and has a single terracotta pot.

Kia-Ora is constructed of red face brick. Two rows of cream, stretcher laid bricks form a continuous decorative banding along the eastern and southern wall surfaces. Above the arched openings are soldier course lintels. The original gable wings have wide overhanging eaves, simple timber barge boards and timber fretwork brackets. The gable ends have regularly spaced half-timber strapping interspaced with roughcast surfaces. Wide, segmentally arched windows present on the eastern and southern gable ends. The timber-framed windows comprise six panes of decorative leaded and coloured glass, the bottom ones have vertical proportions and the shorter upper panes follow the curvature of the arch. Underneath the window openings are simple projecting sills. Along the eastern façade is a tall timber-framed sash window and the front entrance door which features timber surrounds and sidelights. On the southern façade are two tall sash windows with leaded glass upper panes.

On the western elevation is a third gable wing dating from c.1911-1919. This early addition matches the original gable wings in its stylistic detail and materials. It is constructed of face brick and has wide eaves and timber fretwork brackets (of a slightly different design to the original brackets). The gable ends also have half-timber strapping and roughcast surfaces. Distinct from the other gable wing openings, this wing has a box bay window comprising narrow sash windows. A low, flat corrugated metal roof shelters the box bay window. At the rear section of the western façade there is a sash segmental arch window with a stringcourse label mould.

A verandah wraps around the south-western corner. It has decorative ironwork valances and posts that appear to be a later addition. Timber fretwork and turned posts were more commonly used in Federation era verandah designs. The retention of the original timber eave brackets on this building indicates that



the verandah detailing may also have been timber. The tessellated verandah flooring has been removed.

Four outbuildings of various sizes are dotted along the northern boundary of 607 Heidelberg Road. The largest of these, a corrugated metal clad garage fronting Fullham Road, is a later addition. Comparison of contemporary aerial photographs with historical plans and plans indicate that the smaller corrugated metal clad outside lavatory behind the garage is original. The other smaller shed structures are obscured from street view but appear to be recent additions.

Kia-Ora has a ~~mature~~ garden setting and retains early c.1970s low brick fencing along boundary of the principal street frontages to Heidelberg Road, Grange Road and Fulham Road. It has a low clinker brick wall fence with strapped cast iron gate, ~~suggesting that the fence dates from the interwar period~~. The brick fence wall has a decorative pattern made up of a central row of soldier course bricks between two rows of header bricks. Brick piers modulate the wall, adding height and visual interest. Several of these columns appear to have been repaired or reconstructed in like material. The low height of the fence and its use of red brick modulated with piers complement the building and garden. The rear section of the allotment has a timber paling fence and Colorbond gate concealing a concrete driveway off Fullham Road. A concrete path leads from the corner gate to the verandah entrance. The garden features dense vegetation and plantings along the principle facades. Two mature trees in the front yard appear to be original or early plantings, a pineapple palm and Norfolk Island palm.

INTEGRITY

607 Heidelberg Road, Alphington, is a highly intact Queen Anne style house exhibiting minimal-a few changes visible to original or early significant fabric.

The building retains original and early features, including its ~~decorative ridge cresting~~, chimneys, gable end detailing, timber framed windows and door and its pattern of fenestration. The building also retains its original built form and scale, materials and stylistic details. Early additions, including the western gable ~~wing and the low brick fence~~, are complimentary in style and materials. They contribute to the aesthetic qualities of the place. Later changes including the terracotta tiled roof which replaced an earlier slate roof, pre-1986 rear addition, removal of tessellated verandah flooring and c.1970s low brick fence ~~and~~ do not diminish the legibility of the original building.

The ~~mature~~ garden setting, ~~including the two mature tree specimens,~~ enhances the integrity of the place.

Overall, the building has high integrity.

COMPARATIVE ANALYSIS

Federation Queen Anne villas

The Queen Anne style emerged in Australia during the Federation era (sometimes also referred to as the Edwardian era) which dates from roughly 1890 to the start of the First World War in 1914. The style presents a lighter, more picturesque aesthetic that departs from the symmetry and formalism of earlier Victorian era styles. Commonly associated with domestic architecture, in Australia the style was influenced by English and American designs but with notable regional variations. One such variation was the integration of a wide wrap-around verandah.



The treatment and ornamentation of roofs is a key characteristic of Queen Anne architecture. Designs of this style feature picturesque roofscapes that consist of various roof forms. They are frequently clad in terracotta or slate and accentuated by terracotta ridging, apex ornamentation, and elongated chimneys capped with terracotta pots. Typically constructed of red brick, other common wall surfaces include roughcast panelling and wall-hung timber shingles. Asymmetrical facades often incorporated striking elements, such as low towers or sinuous Art Nouveau detailing, contribute to the romantic appearance of the style. Bay, oriel and round accent windows were popularly applied.

In the City of Darebin, this period of development is relatively under-represented, and examples of Queen Anne styles included as individual places within the Heritage Overlay are largely concentrated within Preston. The examples provided below generally have similar scale and exhibit similar stylistic features to the subject building. Comparable examples on the Heritage Overlay include:

The house at 4 Mount Street, Preston (HO237), constructed by 1917, is an early twentieth century bungalow constructed in brick with a low-pitched hip slate roof. It is of historical and architectural significance to the City of Darebin. Architecturally, it has a unique design, with an unusual combination of features that illustrates the transition in styles from the Federation era Queen Anne style, to the bungalows that emerged during the inter-war period. The house reflects the recovery in development in Preston following the economic crash of the late 1890s and prior to the post-First World War boom. It has had some recent alterations and additions made, including the outbuildings, the front fence and gates and skillion at the rear of the house.

The house formerly known as 'Balleer', constructed c.1910, at 648 Bell Street, Preston (HO204) has historical and architectural significance to the City of Darebin. It is a transitional Federation era house with a relatively unusual form comprising a main gable and two subsidiary gables. The house has a relatively high degree of external integrity. The house is described as having Arts and Crafts detailing, notably in the way that the design addresses its corner siting with the inclusion of secondary gables to the Bell Street elevation. However, it exhibits several elements that are characteristic of the Queen Anne style, including the picturesque, decorated roof, red face brick walls with roughcast panel accents, and asymmetrical composition. Later alterations and additions include the lean-to extension and other outbuildings to the rear.

The house known as 'Somerset', at 93 Cramer Street, Preston, (HO209) constructed c.1915, it is described as a substantial single-storey Edwardian villa set back from the street behind a mature garden. The house is of brick construction and has a hipped and gabled roof with slate tile roofing. The roof features the complex intersection of forms characteristic of the style and includes terracotta ridge capping, apex ornamentation and tall brick chimneys complete with terracotta chimney pots. A bay projects towards the side of the street facing elevation and a verandah with a timber frieze and brackets continues across the remainder of this façade. Another bay projects from the side of the house, contributing to its picturesque qualities. It is of local historic and architectural significance to the City of Darebin. Historically, the house is significant as evidence of the first phase of suburban development in this part of Preston in the early years of the twentieth century. Its scale and grandeur, not common in housing in Preston during that period demonstrates the diversity of its residents and their means. The house is architecturally significant as an unusually substantial brick Edwardian villa, not commonly found throughout Darebin, and is a good representative example of Edwardian villa design. Its significance is heightened by the house's intactness and good condition. The house has aesthetic qualities as a villa within a garden setting. Its front fence, outbuildings, alterations, and additions are recent developments.



1 Flinders Street, Thornbury (HO122), is a substantial brick villa constructed in 1910. The house is red brick with a terracotta tiled and ornamented roof and wide verandah with timber fretwork- all elements that are consistent with the Queen Anne style. Its symmetrical arrangement is uncommon for designs of this style and contributes to its aesthetic significance.

331-333 Heidelberg Road, Northcote, built 1913, is a substantial red brick residence that demonstrates elements of the Queen Anne style. The building features an asymmetrical layout with picturesque roof, a striking corner tower, and wraparound verandah with octagonal bay windows. Its substantial setback from the street, fine architectural detailing and the substantial size of the residence reflects the development and growing prestige of the Darebin area in the twentieth century. The building has good integrity withstanding some alterations, including modifications to the verandah, a single storey brick addition to the northwest corner and loss of the original fence. 331-333 Heidelberg Road has been identified as having potential historic, representative and aesthetic significance to the City of Darebin and recommended for inclusion in the Schedule to the Heritage Overlay of the Darebin Planning Scheme in the 'Heidelberg Road Heritage Assessment', Context 2020.



Figure 3. 4 Mount Street, Preston (HO237).



Figure 4. 'Balleer' 648 Bell Street, Preston (HO204).



Figure 5. 'Somerset' 93 Cramer Street, Preston (HO209).



Figure 6. 1 Flinders Street, Thornbury (HO122).



Figure 7. 331-333 Heidelberg Road, Northcote (recommended for inclusion in the Darebin Planning Scheme Heritage Overlay in the Heidelberg Road Heritage Assessment, Context 2020)

Kia-Ora at 607 Heidelberg Road, Alphington, is a substantial brick villa articulated in the Queen Anne style.

Like Balleer, Somerset and the houses at 1 Flinders Street, Thornbury, and 331-333 Heidelberg Road, Northcote, Kia-Ora exhibits key features of the style including prominent gable ends, terracotta ridge cresting, tall elaborate chimneys and roughcast and red face brick surfaces. Unlike these three examples, Kia-Ora does not have apex ornamentation or finials. Somerset, 1 Flinders Street and 331-333 Heidelberg Road also have wraparound verandahs comparable to the subject building, demonstrating the Australian variation of the style.

The house at 4 Mount Street, Preston, is a later construction, and has a more modest design, it retains elements of the Queen Anne style in its face brickwork, tall, corbel capped brick chimney with terracotta chimney pot, and in its fenestration. Built slightly later than the other examples, 4 Mount Bay Street has a box bay window that is comparable to the early addition at Kia-Ora.

In terms of its scale and its level of architectural detailing, 607 Heidelberg Road is most directly comparable to Somerset and 331-333 Heidelberg Road. The subject building is a refined example of the style, distinguished by its accent brickwork, decorative timber framed windows, gable ends and its mature garden setting. This is further enhanced by the substantial size and corner location of the allotment and its prominent street frontages.

Houses of the late Federation period often combine elements of the bungalow style resulting in different (and generally simpler) forms. The asymmetry of Federation-era villas may be replaced with a more symmetrical form and may include a porch (either projecting or recessed). Balleer, Somerset and 4 Mount Street reflect this transition between architectural styles. The early additions to Kia-Ora, including the western projecting gable and low brick fence, also reflect this transition and are complimentary in style and materials to the original design. Kia-Ora is distinguished by its fine detailing and substantial allotment and garden setting. Its level of integrity compares favourably to the comparative examples for its retention of early and original fabric. The recent pergola on the western elevation, timber paling fence and garage do not diminish the legibility of the subject building. 4 Mount Street, Somerset, Balleer and 331-333 Heidelberg Road have also had recent modifications and additions, including new fences and sheds.



ASSESSMENT AGAINST CRITERIA

✓	CRITERION A Importance to the course or pattern of our cultural or natural history (historical significance).
	CRITERION B Possession of uncommon rare or endangered aspects of our cultural or natural history (rarity).
	CRITERION C Potential to yield information that will contribute to an understanding of our cultural or natural history (research potential).
✓	CRITERION D Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments (representativeness).
✓	CRITERION E Importance of exhibiting particular aesthetic characteristics (aesthetic significance).
	CRITERION F Importance in demonstrating a high degree of creative or technical achievement at a particular period (technical significance)
	CRITERION G Strong or special association with a particular community or cultural group for social, cultural or spiritual reasons. This includes the significance of a place to Indigenous peoples as part of their continuing and developing cultural traditions (social significance).
	CRITERION H Special association with the life or works of a person, or group of persons, of importance in our history (associative significance).

STATEMENT OF SIGNIFICANCE

WHAT IS SIGNIFICANT

607 Heidelberg Road, Alphington, a single storey brick residence built in 1903 for Walter Foreman, is significant.

Significant fabric includes the:

- original (1903) and early (c.1918) form and scale, [terracotta tiled-main](#) roof [form](#), chimneys and verandah roof form;
- red face brick surfaces, decorative cream brick banding and roughcast surfaces;
- pattern of fenestration, timber-framed windows and doors; and
- timber gable strapping and timber eave brackets, stringcourse label mould.



HOW IT IS SIGNIFICANT

607 Heidelberg Road, Alphington, is of local historic, representative, and aesthetic significance to the City of Darebin.

WHY IT IS SIGNIFICANT

Kia-Ora at 607 Heidelberg Road, Alphington, is of historical significance for its representation of the development of Darebin and its growing prestige of Alphington as a residential area in the twentieth century. The substantial size of the allotment and fine architectural detailing of the house reflect the elevated status of the area. This is further reflected in the building's association with Benjamin Barrington Bank Sibthorpe (occupant from 1903 and owner from 1914) who was a director of MacRobertson's Pty. Ltd., a well-known confectionery business based in Fitzroy. The construction of this finely detailed villa signals the growing prestige of the area and its desirability to middle class professionals. The house also reflects the area's economic recovery following the economic crash of the 1890s before the start of World War One. (Criterion A)

607 Heidelberg Road, Alphington, is of representative significance, for its retention of elements characteristic of Federation era designs incorporating Queen Anne styling. This includes its varied building and roof forms, red face brick surfaces, its pattern of fenestration and window and door joinery, and decorative chimneys, and ridge cresting. The subject building is a good representative example of a substantial Federation era villa, a typology that is relatively underrepresented in the City of Darebin Heritage Overlay. (Criterion D)

607 Heidelberg Road, Alphington, is also aesthetically significant as a fine, early example of the Queen Anne style. Its prominent, three street facing gables with fine architectural detailing, decorative chimneys and ridge cresting and wraparound verandah, demonstrate an Australian adaptation of the picturesque aesthetic qualities of this style. The substantial corner allotment with a low fence and mature garden setting enhance its aesthetic quality and distinguish the building's design as a particularly refined example within the City of Darebin. (Criterion E)

RECOMMENDATIONS

Recommended for inclusion in the Schedule to the Heritage Overlay of the Darebin Planning Scheme as an individually significant place.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Darebin Planning Scheme:

DAREBIN PLANNING SCHEME

EXTERNAL PAINT CONTROLS	No
INTERNAL ALTERATION CONTROLS	No
TREE CONTROLS	No
OUTBUILDINGS OR FENCES	No



TO BE INCLUDED ON THE VICTORIAN HERITAGE REGISTER	No
PROHIBITED USES MAY BE PERMITTED	No
ABORIGINAL HERITAGE PLACE	No

OTHER

N/A



REFERENCES

Age, as cited.

Argus, as cited.

Australian Electoral Commission, *Electoral Rolls, 1903-1980*, via Ancestry.com, accessed online June 2020.

Central Plan Office, *Historic Aerial Photography - 1930s to 1990s*, via Landata.com.au, as cited.

'Fulham Grange Station on the Outer Circle Line (Demolished)' Victorian Heritage Database (VHD) Place ID 27252, accessed online 22 June August 2020.

Land Victoria, Certificates of Title (CT), as cited.

Melbourne Metropolitan Board of Works (MMBW) Detail Plan, as cited, State Library of Victoria.

Pratt, C. D. 1945, 'Australian Paper Manufacturing mill (APM) at Fairfield', State Library Victoria: Airspy collection of aerial photographs, Accession no.: H91.160/169

Sands & McDougall, *Melbourne and Suburban Directories (S&Mc)*, as cited.

SUMMARY OF ENGAGEMENT – Heidelberg Road Heritage – Amendment C203dare

In accordance with the statutory requirements for exhibition of a planning scheme amendment under the Planning and Environment Act 1987 and signed Community Engagement Plan dated 10 November 2021, the following activities were undertaken for a period of 4 weeks from 11 November to 13 December 2021:

- Announcements, amendment documents and supporting information available through Council's corporate and Your Say Webpages
- Hard copies of documents available at Council offices (as well as online)
- Formal notification in the State Government Gazette and The Age
- Amendment documents and supporting information available online at DEWLP website
- Email to identified stakeholders
- Letters sent via Australia post to affected landowners/occupiers and immediately surrounding properties with direct interface to the proposed heritage place
- Strategic Planning officers available to discuss the details of the Amendment via direct phone, email, online conference or face to face (whatever preferred method)
- Email to Ministers and local MP's and adjoining municipality Ministers and Local MP's

Key Messaging included:

1. Council is inviting the community to make a submission on the proposed changes to the Darebin Planning Scheme as part of Amendment C203dare
2. This consultation relates to heritage only. The heritage component of the Heidelberg Road Corridor Planning Project has been separated and brought forward of the broader project. The built-form, economic and land-use components are subject to further strategic work and will be reported on next year.
3. Council has a duty to identify and protect heritage under the provisions of the Planning and Environment Act and is pursuing Planning Scheme Amendment C203dare to apply a heritage overlay to the seven properties along the Heidelberg Road Corridor.
4. The Seven properties of individual heritage significance have been identified in the Heidelberg Road Heritage Assessment Final Report 2020 and are recommended for heritage protection in the Darebin Planning Scheme.
5. The proposed planning controls and 'Statements of Significance' are prepared in the assessment report and identify the significant fabric of the buildings to be protected and will be included as background to the heritage controls in the Darebin Planning Scheme.
6. A heritage overlay does not preclude a building or property from future development, however, there will be the need to obtain a planning permit and ensure any future development is sensitive to the heritage place.
7. A planning permit is not required for minor maintenance and repairs.
8. There are no planning controls for internal alterations and additions.
9. Heritage overlay protection generally relates to the preservation of front facades and significant fabric visible from the street.
10. Demolition of the heritage building (except in extraordinary circumstances) is prohibited.

Planning and Environment Act 1987

DAREBIN PLANNING SCHEME

AMENDMENT C203 DARE

EXPLANATORY REPORT

Who is the planning authority?

This amendment has been prepared by the Darebin City Council, who is the planning authority for this amendment.

The Amendment has been made at the request of Darebin City Council.

Land affected by the amendment

The amendment applies to seven (7) properties along the Heidelberg Road corridor in Northcote, Fairfield and Alphington, Victoria, as shown in the maps.

The amendment applies to individual properties at the following addresses:

- 159-179 Heidelberg Road, Northcote (Former Fairfield Hat Mills Complex (later Department of Aircraft Production branch)
- 257 Heidelberg Road, Northcote (Residence)
- 273-289 Heidelberg Road, Northcote (Church of Jesus Christ of the Latter-day Saints, Northcote)
- 331-333 Heidelberg Road, Northcote (Former Residence)
- 441 Heidelberg Road, Fairfield (Marineuie Court)
- 521 Heidelberg Road, Alphington (Residence)
- 607 Heidelberg Road, Alphington (Kia-Ora)

A mapping reference table is attached at Attachment 1 to this Explanatory Report.

What the amendment does

The amendment proposes to implement the recommendations of the *Context Heidelberg Road Heritage Assessment report- Final Report, September 2020* by applying the Heritage Overlay (HO319, HO321, HO322, HO323, HO324, HO325 and HO326) to the seven (7) individually significant properties identified in the report and listed above.

Specifically, the Amendment makes the following changes to the Darebin Planning Scheme:

1. Amends the Schedule to Clause 43.01 (Heritage Overlay) and Planning Scheme Map 17HO and 18HO to apply the Heritage Overlay (HO321, HO322, HO323, HO324, HO325, HO326 and HO327) to seven identified properties along the Heidelberg Road corridor.
2. Amends the Schedule to Clause 72.04 (Documents Incorporated in this Planning Scheme) to include the updated incorporated document *City of Darebin heritage study Incorporated Plan – permit exemptions (2011, amended 2021)* and include the statements of significance for each of the seven properties.
3. Amends the Schedule to Clause 72.08 (Background documents) to reference the *Context Heidelberg Road Heritage Assessment report- Final Report, September 2020*

Strategic assessment of the amendment

Why is the amendment required?

In accordance with the Planning Policy Framework (PPF), it is State policy to ensure the conservation of heritage significant places. To do this, places, buildings and objects must be identified, assessed and documented as places of natural and cultural heritage significance, as a basis for their inclusion in Victorian planning schemes.

Darebin City Council has an obligation to conserve and protect Darebin's cultural and built heritage. To do this Council undertakes heritage reviews and gap studies to investigate the significance of place and the appropriateness of their protection via a Heritage Overlay, and subsequent inclusion in the Darebin Planning Scheme. This is consistent with the Darebin Council Plan (2021-2025) to protect valued neighbourhood character. The planning scheme is the most appropriate means of protecting heritage places and achieving the desired outcome.

The amendment proposes to implement the recommendations of the *Context Heidelberg Road Heritage Assessment report- Final Report, September 2020*. This study provides strategic justification to support the amendment. In total seven properties along Heidelberg Road were identified as locally significant and worthy of individual protection in the Heritage Overlay. The desired outcome will be to formally protect places of local heritage significance in the Darebin Planning Scheme and ensure new development does not affect the significance of the heritage precinct/place. This aligns with the purpose of the Heritage Overlay.

The amendment will ensure that a planning permit is required for demolition and a range of buildings and works to ensure the heritage significance is protected. Any proposal will then be able to be assessed by Council having regard to the purpose and decision guidelines of the Planning Policy Framework and Heritage Overlay. Planning permit exemptions for minor works not deemed to impact the heritage values are outlined in the *City of Darebin Heritage study Incorporated Plan – Permit exemptions (2011, amended 2021)*

Various structural improvements were made to the Schedule to the Heritage Overlay as part of Amendment VC148. These changes enable a statement of significance to be listed and incorporated to assist decision making.

The amendment applies these new provisions by listing each of the seven properties' statements of significance within the Schedule to the Heritage Overlay (Clause 43.01) and incorporating these documents in the Schedule to 72.04 of the Darebin Planning Scheme.

How does the Amendment implement the objectives of planning in Victoria?

The amendment implements the following objectives of planning in Victoria, under Section 4 of the *Planning and Environment Act 1987*:

- *To provide for the fair, orderly, economic and sustainable use, and development of land.*
- *To conserve and enhance those buildings, areas or other places which are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value.*
- *To balance the present and future interests of all Victorians.*
- *To secure a pleasant, efficient and safe working, living and recreational environmental for all Victorians and visitors to Victoria*
- *To facilitate development in accordance with the objectives outlined above.*

The amendment implements these objectives by applying the Heritage Overlay to all identified significant heritage properties within the Heidelberg Road corridor to protect heritage places in the City of Darebin.

How does the Amendment address any environmental, social and economic effects?

The amendment is expected to have a positive environmental impact by protecting places of historic significance and thereby supporting the reuse of existing building stock.

The amendment is also expected to have positive social effects by ensuring future development responds to the heritage significance of the precinct, so it can be appreciated by future generations.

The amendment is not expected to have significant economic impacts, although it may impose some additional costs on the owners or developers of affected properties as a planning permit will be required for most buildings and works due to the application of the heritage overlay. The Heritage Overlay does not prohibit development, but instead requires the significance of a place to be considered when assessing applications. These impacts are offset by the benefit to the community provided through the protection of heritage places over many generations.

Further, planning permit exemptions for minor works triggered by the Heritage Overlay are included and updated in the Incorporated Plan.

Does the Amendment address relevant bushfire risk?

The municipal area of Darebin does not have any designated bushfire prone areas.

Does the Amendment comply with the requirements of any Minister's Direction applicable to the amendment?

The amendment is consistent with the Ministerial Direction on the Form and Content of Planning Schemes under Section 7(5) of the Act.

The amendment is consistent with Ministerial Direction No.9 – Metropolitan Strategy pursuant to Section 12 of the Act, that requires planning authorities to have regard to the Metropolitan Strategy (Plan Melbourne).

The amendment is consistent with Direction 4.4 of Plan Melbourne: Respect Melbourne's heritage as we build for the future. The amendment is consistent with this direction as it proposes to make minor changes to enable the Planning Scheme to continue to guide appropriate development in the municipality, and that the built heritage of the municipality is maintained.

The amendment is consistent with Ministerial Direction No.11 – Strategic Assessment of Amendments, as the requirements of this direction have been followed in the preparation of this amendment.

How does the Amendment support or implement the Planning Policy Framework and any adopted State policy?

The amendment supports the following aspects of the Planning Policy

Framework. (PPF): *Clause 15.03-1S Heritage Conservation:*

Objective: To ensure the conservation of places of heritage significance.

Strategies: Identify, assess and document places of natural or cultural heritage significance as a basis of their inclusion in the planning scheme.

Provide for the conservation and enhancement of those places that are of aesthetic, archaeological, architectural, cultural, scientific or social significance.

Encourage appropriate development that respects places with identified heritage values. Retain those elements that contribute to the importance of the heritage place.

Encourage the conservation and restoration of contributory elements of a heritage place. Ensure an appropriate setting and context for heritage places is maintained or enhanced.

The amendment ensures that the policy direction for heritage conservation can be met through the identification, assessment and protection of heritage places within Darebin. The protection of properties through the application of a heritage precinct will encourage appropriate development and the conservation and restoration of contributory elements of these places.

In addition, the PPF requires Council as responsible authority to balance conflicting objectives in favour of net community benefit and sustainable development, for the benefit of present and future generations. The amendment seeks to achieve this net community benefit by ensuring places with heritage values are conserved through inclusion in the heritage overlay, for present and future generations.

How does the Amendment support or implement the Local Planning Policy Framework, and specifically the Municipal Strategic Statement?

The amendment supports the Planning Policy Framework at Clause 15 (Built Environment and Heritage) and Clause 15.03-1S (Heritage Conservation).

Objective

- *To ensure the conservation of places of heritage significance.*

Strategies

- *Identify, assess and document places of natural and cultural heritage significance as a basis for their inclusion in the planning scheme.*
- *Provide for the conservation and enhancement of those places that are of aesthetic, archaeological, architectural, cultural, scientific or social significance.*
- *Encourage appropriate development that respects places with identified heritage values.*
- *Retain those elements that contribute to the importance of the heritage place.*
- *Encourage the conservation and restoration of contributory elements of a heritage place. Ensure an appropriate setting and context for heritage places is maintained or enhanced*

The amendment will assist in the implementation of Clause 21.02-4 (Heritage) within the Local Planning Policy Framework of the Darebin Planning Scheme.

In respect to this clause, the amendment supports and is consistent with:

Objective 1 - Heritage Places and Areas – ensuring that places of heritage significance are conserved and enhanced.

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Strategies: Discourage demolition or relocation of locally significant heritage buildings.

Encourage appropriate use of heritage places in keeping with heritage significance.

The amendment implements state and local planning policy as it has identified and assessed the seven individual heritage properties along the Heidelberg Road corridor in Northcote, Fairfield and Alphington as having local cultural heritage significance and is proposing to apply the Heritage Overlay to ensure their protection.

The amendment will assist in conserving Darebin's built heritage while not significantly impacting upon the broader housing development objectives of the municipality.

How does the amendment support or implement the Municipal Planning Strategy?

Not applicable as a reformed Municipal Planning Strategy as part of the Smart Planning process has yet to be introduced into the Darebin Planning Scheme.

Does the Amendment make proper use of the Victoria Planning Provisions?

The amendment makes proper use of the Victoria Planning Provisions by utilising the Heritage Overlay to protect places of local heritage significance; an approach consistent with *Planning Practice Note 1 Applying the Heritage Overlay* and the Ministerial Direction - The Form and Content of Planning Schemes.

How does the Amendment address the views of any relevant agency?

The views of the Department of Environment, Land, Water and Planning have been sought in the preparation of this amendment.

Does the Amendment address relevant requirements of the Transport Integration Act 2010?

The requirements of the Transport Integration Act 2010 apply where an amendment is likely to have a significant impact on the transport system.

This amendment makes changes to heritage controls applying to places of cultural heritage significance and is not expected to have any impact upon the objectives, strategies and decision-making principles of the *Transport Integration Act 2010*.

Resource and administrative costs

- **What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?**

The amendment will increase the number of sites subject to the provisions of the Heritage Overlay, therefore potentially resulting in more planning applications. The anticipated increase in planning applications, given the amendment is limited to just seven sites is not expected to have a significant impact on resourcing and administrative costs.

Where you may inspect this amendment

The amendment can be inspected free of charge at the Darebin City Council website at www.darebin.vic.gov.au/haveyoursay

And/or

The amendment is available for public inspection, free of charge, during office hours at the following places:

City of Darebin (Planning Counter)

274 Gower Street

Preston VIC 3072

The amendment can also be inspected free of charge at the Department of Environment, Land, Water and Planning website at www.planning.vic.gov.au/public-inspection.

Submissions

Any person who may be affected by the amendment may make a submission to the planning authority. Submissions about the amendment must be received by Monday 13 December, 2021.

A submission must be sent to:

PO Box 91

Preston VIC 3072

Or via email PlanningServices@darebin.vic.gov.au

Or online at www.darebin.vic.gov.au/haveyoursay

Panel hearing dates

In accordance with clause 4(2) of Ministerial Direction No.15 the following panel hearing dates have been set for this amendment:

- directions hearing: Monday 28 March, 2022
- panel hearing: Monday 25 April, 2022

ATTACHMENT 1 - Mapping reference table

Location	Land /Area Affected	Mapping Reference
Darebin	159-179 Heidelberg Road, Northcote	Darebin C203 001hoMap17 Exhibition
Darebin	257 Heidelberg Road, Northcote and 273-289 Heidelberg Road, Northcote	Darebin C203 002hoMap17 Exhibition
Darebin	441 Heidelberg Road, Fairfield	Darebin C203 003hoMap17 Exhibition
Darebin	331-333 Heidelberg Road, Northcote	Darebin C203 004hoMap17 Exhibition
Darebin	521 Heidelberg Road, Alphington	Darebin C203 005hoMap18 Exhibition
Darebin	607 Heidelberg Road, Alphington	Darebin C203 006hoMap18 Exhibition

Planning and Environment Act 1987

DAREBIN PLANNING SCHEME

AMENDMENT C203

INSTRUCTION SHEET

The planning authority for this amendment is the City of Darebin Council.

The Darebin Planning Scheme is amended as follows:

Planning Scheme Maps

The Planning Scheme Maps are amended by a total of 6 attached map sheets.

Overlay Maps

1. Amend Planning Scheme Map Nos 17HO and 18HO in the manner shown on the 6 attached maps marked "Darebin Planning Scheme, Amendment C203".

Planning Scheme Ordinance

The Planning Scheme Ordinance is amended as follows:

2. In **Overlays** – Clause 43.01, replace the Schedule with a new Schedule in the form of the attached document.
3. In **Operational Provisions** – Clause 72.04, replace the Schedule with a new Schedule in the form of the attached document.
4. In **Operational Provisions** - Clause 72.08, replace the Schedule with a new Schedule in the form of the attached document.

End of document

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DAREBIN PLANNING SCHEME

27/08/2021
C161dare**SCHEDULE TO CLAUSE 43.01 HERITAGE OVERLAY****1.0**27/08/2021
C161dare**Application requirements**

None specified.

2.0---/---/---
Proposed C203dare**Heritage places**

The requirements of this overlay apply to both the heritage place and its associated land.

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	VICTORIAN HERITAGE REGISTER							
HO19	Terrace Houses, 186-192 Clarke Street, Northcote	-	-	-	-	Yes Ref No H1774	No	No
HO312	Former Northcote Theatre 212-220 High Street, Northcote	-	-	-	-	Yes Ref No H2287	Yes	No
HO45	Former Northcote Cable Tramways Site 626-628 High Street, Thornbury	-	-	-	-	Yes Ref No H2129	Yes	No
HO144	Preston Tramway Workshops 16-18 Miller Street, Preston The heritage place includes Miller Street Tramway Bridge (part) (refer HO236)	-	-	-	-	Yes Ref No H2031	No	No
HO59	Former Mont Park Hospital and Avenue of Honour Ernest Jones Drive and Springthorpe Boulevard and Cherry Street Macleod	-	-	-	-	Yes Ref No H1872	Yes	No
HO74	Bundoora Park Homestead 7-27 Snake Gully Drive, Bundoora	-	-	-	-	Yes Ref No H1091	Yes	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO175	Former Little Sisters of the Poor Home for the Aged 104 – 112 St Georges Road, Northcote	-	-	-	-	Yes Ref No H1950	Yes	No
HO313	Yan Yean Water Supply System Northcote, Preston, Reservoir The heritage place includes: Part HO163 Northcote-Merri Precinct; and Part HO171 Regent G.E. Robinson Park	-	-	-	-	Yes Ref No H2333	No	No
HO314	Maroondah Water Supply System (Upper and Central Sections) Reservoir	-	-	-	-	Yes Ref No H2381	No	No
	LOCAL OVERLAYS							
	Precincts:							
HO167	Alphington Area bounded by Clive Street and Miller Street, north of Heidelberg Road to the Railway line	No	No	No	No	No	No	No
HO297	Broomfield Avenue Precinct 2-52 and 3-45 and 495 (Park); 509 and 515 Broomfield Avenue; Heidelberg Road, Alphington Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	Yes - Street trees and Bloomfield Park	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO96	Area bounded by St George's Road, Hawthorn Road, Hartington Street, Northcote	Yes	No	No	No	No	No	No
HO97	Area bounded by Herbert Street, James Street, Butler Street, Bastings Street, Eastment Street, Hawthorn Road, Separation Street & Prospect Grove, Northcote	Yes	No	No	No	No	No	No
HO98	Area bounded by Langwells Parade, Right of Way, Hunter Street & High Street, Northcote	Yes	No	No	No	No	No	No
HO99	Dally Street, Northcote	Yes	No	No	No	No	No	No
HO100	Area bounded by Clarke Street, Charles Street, Merri Parade, High Street, Northcote	Yes	No	No	No	No	No	No
HO101	Area bounded by High Street, Union Street, Westgarth Street, Northcote	Yes	No	No	No	No	No	No
HO102	Area bounded by High Street, Westgarth Street, Urquhart Street, Northcote	Yes	No	No	No	No	No	No
HO105	Robbs Parade, Northcote	Yes	No	No	No	No	No	No
HO160	Northcote - Township Area bounded by Westgarth Street, East Street, Cunningham Street, Walker Street, Ross Street, Urquhart Street, High Street and Merri Creek	No	No	No	No	No	No	No
HO161	Northcote - Westgarth Area bounded by Clarke Street, Roberts Street, Simpson Street, South Crescent, Westgarth Street, High	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	Street, Jackson Street, Tobin Avenue, Pearl Street, Timmins Street and Bridge Street							
HO162	Northcote - Rucker's Hill Area bounded by Clarke Street, Waterloo Road, Ilma Grove, High Street, Separation Street, James Street, Herbert Street, Turnbull grove, Eastment Street and Helen Street	No	No	No	No	No	No	No
HO163	Northcote – Merri Area bounded by St. George's Road, Westbourne Grove, Park Street and Gordon Grove	No	No	No	No	No (part Ref No H2333 refer HO313)	No	No
HO164	Northcote - Clarke Street North and south sides of Clarke Street, west of St. George's Road to Merri Creek	No	No	No	No	No	No	No
HO165	Northcote – Sumner Estate Area bounded by Auburn Avenue, Sumner Avenue, St. George's Road and Winifred Street	No	No	No	No	No	No	No
HO166	Northcote - Croxton Area bounded by Arthurton Road, Scott Street, Gladstone Avenue, Railway Parade, and St. George's Road	No	No	No	No	No	No	No
HO173	Newmarket Street Area bounded by Clarke Street, Brooke Street and includes all properties in Newmarket Street	No	No	No	No	No	No	No
HO298	Gladstone Avenue Precinct	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	1-35 & 2-46 Gladstone Avenue Northcote Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)							
HO95	HCV Newlands Estate, Elizabeth Street, Preston.	Yes	No	No	No	No	No	No
HO103	Kelley Grove, Preston	Yes	No	No	No	No	No	No
HO104	Collins Street, Preston	Yes	No	No	No	No	No	No
HO168	Preston Tramway Area bounded by Oakover Road, Gillingham Street, Davies Street and Devon Street	No	No	No	No	No	No	No
HO169	Preston State School Area bounded by Orient Grove, Oakover Road, Etnam Street and Scotia Street	No	No	No	No	No	No	No
HO182	<i>Preston, Bruce Street</i> 9-25 Bruce Street, 2-8 Herbert Street, & 17 Mary Street, Preston Incorporated plan: Preston Residential Heritage Precincts Permit Exemptions	No	No	No	No	No	No	No
HO183	<i>Preston, 'Heart of Preston' precinct</i> 8-42 & 9-43 William Street, Preston Incorporated plan:	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	Preston Residential Heritage Precincts Permit Exemptions							
HO184	<i>Preston Mary Street precinct</i> 5-15 & 26-36 Mary Street, Preston Incorporated plan: Preston Residential Heritage Precincts Permit Exemptions	No	No	No	No	No	No	No
HO185	<i>Preston Spencer Street precinct</i> 1-23 & 8-18 Spencer Street, Preston Incorporated plan: Preston Residential Heritage Precincts Permit Exemptions	No	No	No	No	No	No	No
HO186	<i>Preston War Service Homes precinct</i> 17-25 & 18-28 Arthur Street, 27-37 Bruce Street, 1-9 & 10-16 Herbert Street and 76-84A St Georges Road, Preston Incorporated plan: Preston Residential Heritage Precincts Permit Exemptions	No	No	No	No	No	No	No
HO170	Bell Railway Area bounded by Garnet Street, Showers Street, west of High Street to the Railway line	No	No	No	No	No	No	No
HO299	Carlisle Street Precinct 42-46, 52-56 & 62-64 Carlisle Street, Preston Incorporated plan:	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)							
HO300	Garnet Street Houses 7-17 & 16 Garnet Street, Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO301	High Street Preston 274-288 & 317-341 High Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO302	Larne Grove & Roxburgh St Precinct 1-31 & 4-26 Larne Gve, 1-23 & 2-24 Roxburgh St, 23-33 Dundas St & 30-36 Milton Cres, Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO303	Livingstone Parade Precinct 1 -9 & 6-24 Livingstone Parade Preston, 8 & 10 South Street Preston Incorporated plan:	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)							
HO304	Milton Crescent Precinct 6-12 & 5-11 Milton Crescent Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO305	Plenty Road Precinct 85-107, 131-141 & 126-134 Plenty Road Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO171	Regent G.E. Robinson Park Area bounded by King William Street, Down Street, Garden Street and High Street	No	No	No	No	No (part Ref No H2333 refer HO313)	No	No
HO172	Preston Oakhill Avenue Area bounded by Tyler Street, Oakhill Avenue, Capp Street, Xavier Grove, Mc Ivor Street, Southernhay Street, McCarten Street, King William Street and Joffre Street	No	No	No	No	No	No	No
HO306	Edgar Street Precinct 2-18 Edgar Street Reservoir Incorporated plan:	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)							
HO307	High Street Reservoir 658-694 & 763-793 High Street Reservoir Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO308	Queen Street Precinct 1-27, 41-49 & 2-58 Queen Street Reservoir Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO309	High Street, Thornbury 732-848 & 827-927 High Street Thornbury Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO310	Plow Street Precinct 1-31 & 2-30 Plow Street Thornbury Incorporated plan:	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)							
HO311	Rossmoyne Street Precinct 43-67 & 50-78 Rossmoyne Street Thornbury Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO181	Woolton Avenue, 55-67 & 52-60 Woolton Avenue, Thornbury	No	No	No	No	No	No	No
HO295	Whittlesea Railway Precinct Arthurton Road, Merri parade Northcote, Normanby Avenue Thornbury, Bell Street, Murray Road Preston High Street, Regent Street Reservoir. Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO315	Fairfield Village Heritage Precinct Railway Place, Fairfield Railway Station and reserve, Wingrove Street and Station Street, Fairfield Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	Yes	No	Yes - Two palm trees on the railway reserve	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	Individual Items:							
	Alphington							
HO187	Clifton Bridge Yarana Road (Darebin Parklands), Alphington	No	No	No	Yes	No	No	No
	Bundoora							
HO111	Former Larundel Hospital Complex	Yes	No	No	No	No	Yes	No
HO107	Hugh Linaker's Cottage, Larundel	Yes	No	No	No	No	Yes	No
HO108	Idiot Block, Farm Workers Block, and Idiot Cottages, Larundel (Kingsbury)	Yes	No	No	No	No	Yes	No
HO188	Preston General Cemetery, 900 Plenty Road Bundoora	No	No	Yes	No	No	No	No
	Fairfield							
HO1	1-3 Abbott Street, Fairfield (House)	Yes	No	No	No	No	No	No
HO2	17-19 Arthur Street, Fairfield (House & Shop)	Yes	No	No	No	No	No	No
HO3	35 Arthur Street, Fairfield (House)	Yes	No	No	No	No	No	No
HO112	92-96 Arthur Street, Fairfield (Post Office)	Yes	No	No	No	No	Yes	No
HO6	51 Austin Street, Fairfield (House)	Yes	No	No	No	No	No	No
HO7	59 Austin Street, Fairfield(House)	Yes	No	No	No	No	No	No
HO8	Former St Anthony's Presbytery 59 Austin Street, Fairfield	Yes	No	No	No	No	Yes	No
HO34	12 Hanslope Avenue, Fairfield (House)	Yes	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO125	Merri Creek Bridge, Heidelberg Road, Fairfield	Yes	No	No	No	No	No	No
HO35	Centenary Dairy Complex 181-187 Heidelberg Rd, Fairfield	Yes	No	No	No	No	Yes	No
HO36	Grandview Hotel 429 Heidelberg Rd, Fairfield	Yes	No	No	No	No	Yes	No
HO37	457 Heidelberg Road, Fairfield (House)	Yes	No	No	No	No	No	No
HO316	St Andrew's Alphington and Fairfield Uniting Church, 85-87 Gillies Street, Fairfield Incorporated document City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	Yes	Yes	No	No	No	No	No
HO38	Uniting (Former Methodist) Church complex, 797-809 Heidelberg Road, Alphington	Yes	No	No	No	No	No	No
HO39	Hills View (former), 849-851, Heidelberg Road, Alphington	Yes	No	No	No	No	Yes	No
HO189	Fairfield Primary School No. 2711 1-5 & 176-206 Langridge Street & Wingrove Street, Fairfield	Yes	No	Yes - Moreton Bay Fig and Pepper trees	No	No	No	No
HO75	2 Rowe Street, Fairfield (House & Canary Island Palm-"Phoenix Canariensis")	Yes	No	Yes	No	No	No	No
HO78	31 Station Street, Fairfield (House)	Yes	No	No	No	No	No	No
HO79	36 Station Street, Fairfield (House)	Yes	No	No	No	No	No	No
HO80	43 Station Street, Fairfield (House)	Yes	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO154	61 Station Street, Fairfield	Yes	No	No	No	No	No	No
HO190	St Paul's Anglican Church and Organ 88E Station Street Fairfield	No	Yes	No	No	No	No	No
	Macleod							
HO62	Paying Patients Ward, Former Mont Park Hospital, Former Mont Park Hospital	Yes	No	No	No	No	Yes	No
HO64	Laundry Workers Block, Former Mont Park Hospital	Yes	No	No	No	No	Yes	No
HO66	Hospital Block, Former Mont Park Hospital	Yes	No	No	No	No	Yes	No
HO109	Female Convalescent Ward, Mont Park	Yes	No	No	No	No	Yes	No
	Northcote							
HO4	5 Auburn Avenue, Northcote (House)	Yes	No	No	No	No	No	No
HO5	8 Auburn Avenue, Northcote (House)	Yes	No	No	No	No	No	No
HO9	46 Bastings Street, Northcote (House)	Yes	No	No	No	No	No	No
HO113	58 Bastings Street, Northcote (House & Shop)	Yes	No	No	No	No	No	No
HO10	Anglican Church 1-3 Bayview Street, Northcote	Yes	No	No	No	No	Yes	No
HO11	13 Bayview Street, Northcote (House)	Yes	No	No	No	No	No	No
HO114	135 Bent Street, Northcote (House)	Yes	No	No	No	No	No	No
HO115	42 Bower Street, Northcote (House)	Yes	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO12	16-20 Candy Street, Northcote (Row Houses)	Yes	No	No	No	No	No	No
HO116	12-16 Christmas Street, Northcote (Houses)	Yes	No	No	No	No	No	No
HO117	41-45 Christmas Street, Northcote (Houses)	Yes	No	No	No	No	No	No
HO13	5-11 Clarke Street, Northcote (Row Houses)	Yes	No	No	No	No	No	No
HO14	106 Clarke Street, Northcote (House)	Yes	No	No	No	No	No	No
HO118	108-110 Clarke Street, Northcote (Houses)	Yes	No	No	No	No	No	No
HO15	107-109 Clarke Street, Northcote (House)	Yes	No	No	No	No	No	No
HO119	127 Clarke Street, Northcote (House)	Yes	No	No	No	No	No	No
HO16	151 Clarke Street, Northcote (House)	Yes	No	No	No	No	No	No
HO17	155 Clarke Street, Northcote (House)	Yes	No	No	No	No	No	No
HO120	157 Clarke Street, Northcote (House)	Yes	No	No	No	No	No	No
HO18	178 Clarke Street, Northcote (House)	Yes	No	No	No	No	No	No
HO20	212 Clarke Street, Northcote (House)	Yes	No	No	No	No	No	No
HO21	215 Clarke Street, Northcote (House)	Yes	No	No	No	No	No	No
HO22	219 Clarke Street, Northcote (House)	Yes	No	No	No	No	No	No
HO23	224 Clarke Street, Northcote (House)	Yes	No	No	No	No	No	No
HO25	47 Cunningham Street, Northcote (House)	Yes	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO26	85 Cunningham Street, Northcote (House)	Yes	No	No	No	No	No	No
HO28	92 Dennis Street, Northcote (House)	Yes	No	No	No	No	Yes	No
HO121	33 Derby Street, Northcote (House)	Yes	No	No	No	No	No	No
HO180	Former Joshua Pitt tannery 52-60 Gadd Street, Northcote 1. 1907 Drying House 2. 1925 Drying House annex 3. remnant chimney	No	Yes – 1907 Drying house only	No	No	No	No	No
HO40	Helen Street Primary School, Northcote	Yes	No	No	No	No	Yes	No
HO126	12-18 Helen Street Northcote (Houses)	Yes	No	No	No	No	No	No
HO41	Former Wesleyan Manse, Helen Street (lot 1, TP845679E), Northcote	Yes	No	No	No	No	No	No
HO42	74-76 Herbert Street, Northcote (Houses)	Yes	No	No	No	No	No	No
HO127	Merri Creek Bridge, High Street Northcote	Yes	No	No	No	No	No	No
HO43	136-144 High Street, Northcote (Houses & Shops)	Yes	No	No	No	No	Yes	No
HO129	329 High Street, Northcote (Shop & House)	Yes	No	No	No	No	Yes	No
HO130	466-468 High Street, Northcote (Shops & Houses)	Yes	No	No	No	No	Yes	No
HO44	RSL Hall 496 High Street, Northcote	Yes	No	No	No	No	Yes	No

DAREBIN PLANNING SCHEME

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HO131	509-513 High Street, Northcote (Shops & Houses)	Yes	No	No	No	No	Yes	No
HO192	Baptist Church 540-542 High Street Northcote	No	No	No	No	No	No	No
HO132	581-599 High Street, Northcote (Shops & Houses)	Yes	No	No	No	No	Yes	No
HO133	607-617 High Street, Northcote (Croxtton Park Hotel)	Yes	No	No	No	No	Yes	No
HO52	25 Jackson Street, Northcote (House)	Yes	No	No	No	No	No	No
HO53	Presbyterian Church & Hall 40-42 James Street, Northcote	Yes	No	No	No	No	Yes	No
HO177*	Former Northcote police station 43 James Street, Northcote. Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	Yes	Yes	No	No	No	Yes	No
HO54	36 James Street, Northcote (House)	Yes	No	No	No	No	No	No
HO55	51 James Street, Northcote (House)	Yes	No	No	No	No	No	No
HO56	57 James Street, Northcote (House)	Yes	No	No	No	No	No	No
HO57	68 James Street, Northcote (House)	Yes	No	No	No	No	No	No
HO58	69 James Street, Northcote (House)	Yes	No	No	No	No	No	No
HO140	34 Jenkins Street, Northcote (House)	Yes	No	No	No	No	No	No
HO141	36 Jenkins Street, Northcote (House)	Yes	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

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HO193	Former Ensign Dry Cleaning 24 Leinster Grove Northcote	No	Yes	No	No	No	No	No
HO142	1-3 Leonard Street, Northcote (Houses)	Yes	No	No	No	No	No	No
HO69	3 McLachlan Street, Northcote (House)	Yes	No	No	No	No	No	No
HO70	4-4a McLachlan Street, Northcote (House)	Yes	No	No	No	No	No	No
HO71	5 McLachlan Street, Northcote (House)	Yes	No	No	No	No	No	No
HO72	11 McLachlan Street, Northcote (House)	Yes	No	No	No	No	No	No
HO145	18 Mitchell Street, Northcote (Primitive Methodist Church, now Salvation Army Hall)	Yes	No	No	No	No	Yes	No
HO146	70 Mitchell Street, Northcote Shop (former) and residence	Yes	No	No	No	No	No	No
HO147	76-82 Mitchell Street, Northcote (Houses)	Yes	No	No	No	No	No	No
HO191	Reserve - Johnson Park 12 Palmer Street Northcote	No	No	Yes	No	No	No	No
HO194	Northcote Cemetery 143 Separation Street Northcote	No	No	Yes - Italian Cypress	No	No	No	No
HO195	Northcote High School 19-29 St Georges Road Northcote	No	No	Yes	No	No	No	No
HO196	Reserve - Merri Park 33 St Georges Road Northcote	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO77	140 St George's Road, Northcote (House)	Yes	No	No	No	No	No	No
HO155	1 Thomson Street Northcote (Shop & House)	Yes	No	No	No	No	No	No
HO156	9-15 Union Street, Northcote (Houses)	Yes	No	No	No	No	No	No
HO82	26 Urquhart Street, Northcote (House)	Yes	No	No	No	No	No	No
HO83	44 Urquhart Street, Northcote (House)	Yes	No	No	No	No	No	No
HO85	1-3 Walker Street, Northcote (Duplex Dwellings)	Yes	No	No	No	No	No	No
HO86	7 Walker Street, Northcote (House)	Yes	No	No	No	No	No	No
HO87	Former Police Station 24 Walker Street, Northcote	Yes	No	No	No	No	Yes	No
HO88	34 Walker Street, Northcote (House)	Yes	No	No	No	No	No	No
HO89	45 Walker Street, Northcote (House)	Yes	No	No	No	No	No	No
HO90	3 Wardrop Grove, Northcote (House)	Yes	No	No	No	No	No	No
HO197	Reserve - Oldis Gardens and Northcote Cricket Ground Westgarth Street Northcote	No	No	Yes	No	No	No	No
HO157	74 Waterloo Road, Northcote (House)	Yes	No	No	No	No	No	No
HO91	127 Westgarth Street, Northcote (House)	Yes	No	No	No	No	No	No
HO158	153 Westgarth Street, Northcote (House, St. Helens)	Yes	No	No	No	No	No	No
	Preston							

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO198	Howard Park 172 Albert Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	Yes	No	No	No	No	No	No
HO199	Sacred Heart Catholic Church complex (Church, Rectory, Hall, School) 322 Bell Street Preston, 4-6 Clifton Grove & 89 David Street, Preston	Yes	Yes - church only	No	No	No	No	No
HO200	Preston Masonic Centre 382-4 Bell Street Preston	No	No	No	No	No	No	No
HO201	House 392 Bell Street Preston	No	No	No	No	No	No	No
HO202	Former BP Service Station 548 Bell Street Preston	Yes	No	No	No	No	No	No
HO203	House 634 Bell Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO204	House (Balleer) 648 Bell Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

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HO205	House 664 Bell Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	Yes - Canary Island Palm (Phoenix canariensis)	No	No	No	No
HO206	House (La Rocque) 82 Bruce Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO207	Former Stables 43 Carlisle Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO24	Preston Girls' High School Cooma Street Preston	Yes	No	No	No	No	Yes	No
HO208	Houses (Sandland family) 36 & 40 Cooper Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	Yes	Yes - Front Fence	No	No	No
HO209	House 93 Cramer Street Preston Incorporated plan:	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

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	City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)							
HO210	Preston City Oval & Band Hall 11-21 Cramer Street Preston	No	No	Yes	No	No	No	No
HO27	Former Salvation Army Hall 61 David Street, Preston	Yes	No	No	No	No	Yes	No
HO30	Former Bacon Curing Factory cnr Dundas St & Plenty Rd, Preston	Yes	No	No	No	No	Yes	No
HO211	House 7 Eastwood Avenue Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO31	Newlands State Primary School, 2-26 Murphy Street, Preston	Yes	No	No	No	No	Yes	No
HO32	HCV Bachelor Flats, 15-17 Eric Street, Preston	Yes	No	No	No	No	No	No
HO212	West Preston Progress Hall 523 Gilbert Road Preston	No	No	No	No	No	No	No
HO213	Houses 244-46 Gower Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO214	Reg Parker sculpture (Untitled 8/73) 266 Gower Street Preston	Yes	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

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HO215	Truby King Baby Health Centre 270 Gower Street Preston	No	No	No	No	No	No	No
HO216	Junction Hotel 2-4 High Street Preston	No	No	No	No	No	No	No
HO128	93-103 High Street, Preston (Howe Leather Factory)	Yes	No	No	No	No	Yes	No
HO217	Shops & residences 107-109 High Street Preston	No	No	No	No	No	No	No
HO218	Prince Alfred Hotel (former) & Shop 111-113 High Street Preston	No	Yes - staircase only	No	No	No	No	No
HO219	Fidelity Tent No. 75 of the Independent Order of Rechabites (former) 251-3 High Street Preston	No	No	No	No	No	No	No
HO220	Shop & residence 283 High Street Preston	No	No	No	No	No	No	No
HO221	Shops & residences 306-08 High Street Preston	Yes	No	No	No	No	No	No
HO50	Preston Town Hall & Municipal Offices 350 High Street, Preston	Yes	No	No	No	No	Yes	No
HO222	Shops 352-72 High Street Preston	No	No	No	No	No	No	No
HO223	Commonwealth Bank 374-76 High Street Preston	No	No	No	No	No	No	No
HO224	Metropolitan Fire Brigade - Preston (former) 378 High Street Preston	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO225	All Saints Anglican Church complex 400 High Street Preston & 239 Murray Road Preston	Yes	Yes - church only	Yes - Bhutan Cypress	No	No	No	No
HO226	Shop 435 High Street Preston	No	No	No	No	No	No	No
HO227	Shops 471-73 High Street Preston	No	No	No	No	No	No	No
HO228	J. Harvey Grocer (former) 626-628 High Street Preston	Yes	No	No	No	No	No	No
HO229	House (Prestonia) 10 Hotham Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO230	House (Crawford) 12 Hotham Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO231	Preston South Primary School No. 824 56B Hotham Street Preston	No	No	Yes	No	No	No	No
HO51	56-82 Hotham Street, Preston (Builders Terrace)	Yes	No	No	No	No	No	No
HO232	House (Rainhamville) 4 Hurlstone Avenue Preston Incorporated plan:	No	No	Yes - Canary Island Palm	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)							
HO234	House and Shop 65 Jessie Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO235	House 65 May Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO236	Miller Street Tramway Bridge Miller Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No (part Ref No H2031 refer HO144)	No	No
HO237	House 4 Mount Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO238	Houses (Yarraberb & Leura) 7 & 9 Mount Street Preston	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)							
HO239	Preston West Primary School No. 3885 83 Murray Road Preston	No	No	Yes	No	No	No	No
HO179	House 418 Murray Road, Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	Yes	No	No	No	No	No	No
HO240	East Preston Tram Depot 211-243 Plenty Road Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO73	Bluestone Cottage & Shop 339 Plenty Road, Preston	Yes	No	No	No	No	Yes	No
HO241	Shops 519-541 Plenty Road Preston	No	No	No	No	No	No	No
HO242	House, garage & doctor's surgery (former) 572 Plenty Road Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	Yes	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO243	State Savings Bank of Victoria (former) 600-606 Plenty Road Preston	No	No	No	No	No	No	No
HO244	House 230 Raglan Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO245	Brickworks' Houses 227-45 & 259-63 Raglan Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO246	House 16 Regent Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO247	House (Cliveden) 18 Regent Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO248	House and Canary Island Palms 30 Regent Street, Preston Incorporated plan:	No	No	Yes - Canary Island Palms	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)							
HO249	Holy Name Catholic Primary School & Church 2-26 Robb Street Reservoir	Yes	Yes - church only	No	No	No	No	No
HO150	59B Roseberry Avenue, Preston (Preston Police Station)	Yes	No	No	No	No	Yes	No
HO174	66 Spring Street, Preston (House)	Yes	No	No	No	No	No	No
HO76	Oakover Hall 12 Stafford Street, Preston	Yes	No	No	No	No	Yes	No
HO250	Preston Technical College (Former) 77-89 St Georges Road Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO81	Preston East Primary School Sylvester Grove, Preston	Yes	No	No	No	No	Yes	No
HO251	Preston Primary School No. 1494 240 Tyler Street Preston	No	No	No	No	No	No	No
HO252	House (Leura) 268 Tyler Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO253	Houses (Wahroonga & Leaholme) 297 & 299 Tyler Street Preston	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)							
HO254	House 20 Winifred Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO92	131 Wood Street, Preston (Former Hospital)	Yes	No	No	No	No	Yes	No
HO255	House 192 Wood Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO256	House (St John's Villa) 282 Wood Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO94	Greek Orthodox Church Yann Street, Preston	Yes	No	No	No	No	No	No
HO257	House 8 Yann Street Preston Incorporated plan:	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)							
HO258	House 17 Yann Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO259	Grandview Dairy (former) 16 Young Street Preston Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
	Reservoir							
HO260	House and Fence 18 Barton Street Reservoir Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	Yes - Front Fence	No	No	No
HO261	St Mark's Anglican Church and Vicarage 19-21 Beatty Street Reservoir	No	No	No	No	No	No	No
HO262	House and fence 194 Edwardes Street Reservoir Incorporated plan:	No	No	No	Yes - Front Fence	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)							
HO263	Reserve - Edwardes Lake and Park 200A Edwardes Street Reservoir	No	No	Yes	No	No	No	No
HO264	Methodist Church 34 George Street Reservoir	No	No	No	No	No	No	No
HO265	Clydebank Dairy Trees 679 Gilbert Road Reservoir	No	No	Yes - Bhutan Cypresses	No	No	No	No
HO266	House 685 Gilbert Road Reservoir Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO267	House 689 Gilbert Road Reservoir Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO268	House 40 Gloucester Street Reservoir Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	Yes - Canary Island Palm	No	No	No	No
HO49	Uniting Church 648-656 High Street, Reservoir	Yes	No	No	No	No	Yes	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO271	Regent Baptist Church 726-734 High Street Reservoir	Yes	No	No	No	No	No	No
HO273	House 34 King William Street Reservoir Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO274	House 59 King William Street Reservoir Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO275	House (Annandale) 40 Leamington Street Reservoir Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	Yes - Front Fence	No	No	No
HO276	Reserve - F.G Pike Reserve 26 Mason Street Reservoir	No	No	Yes	No	No	No	No
HO277	House 34 Mason Street Reservoir Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	Yes - Canary Island Palm	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO278	House (Rosehill) 7 Pellew Street Reservoir Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO279	St George's Church of England 32-34 Ralph Street Reservoir	No	Yes - church only	No	No	No	No	No
HO280	St Gabriel's Catholic Church 237-243 Spring Street Reservoir	No	Yes - church only	No	No	No	No	No
HO281	House 9 Station Street Reservoir Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
HO282	House 1 Wild Street Reservoir Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)	No	No	No	No	No	No	No
	Thornbury							
HO176	Northcote Pottery 85a Clyde Street, Thornbury.	Yes	Yes	No	No	No	No	No
HO29	82 Dundas Street, Thornbury (House)	Yes	No	No	No	No	No	No
HO122	1 Flinders Street, Thornbury (House)	Yes	No	No	No	No	No	No
HO33	1-4/6 Francis Grove, Thornbury (Flats)	Yes	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO283	UFS Dispensary (former) 2 Gooch Street Thornbury	No	No	No	No	No	No	No
HO123	9 Gooch Street, Thornbury (House)	Yes	No	No	No	No	No	No
HO284	Reserve - The Steps 1 Clarendon St, 12 & 19 Gooch St, 26 Flinders, 29 Rossmoyne St & 2A Raleigh St Thornbury	No	No	Yes - Canary Island Palms	No	No	No	No
HO124	9-11 Harold Street, Thornbury (Houses)	Yes	No	No	No	No	No	No
HO134	703 High Street, Thornbury (Shop & House)	Yes	No	No	No	No	Yes	No
HO135	707 High Street, Thornbury (Shop & House)	Yes	No	No	No	No	Yes	No
HO285	Salvation Army Hall & Sunday School 710 High Street Thornbury	Yes	No	No	No	No	No	No
HO136	711 & 715 High Street, Thornbury (Shops & Houses)	Yes	No	No	No	No	Yes	No
HO46	St Mary's Church 718-730 High Street, Thornbury	Yes	No	No	No	No	Yes	No
HO137	731 High Street, Thornbury (Shop & House)	Yes	No	No	No	No	Yes	No
HO286	Shops 735-737 High Street Thornbury	No	No	No	No	No	No	No
HO138	759-761 High Street, Thornbury (Shops & Houses)	Yes	No	No	No	No	Yes	No
HO48	Thornbury Regent Theatre 859 High Street, Thornbury	Yes	No	No	No	No	Yes	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO287	Thornbury Primary School No. 3889 16-24 Hutton Street Thornbury	No	No	Yes - Italian Cypress	No	No	No	No
HO139	21 Hutton Street, Thornbury (House)	Yes	No	No	No	No	No	No
HO288	MMTB Substation 3-5 Martin Street Thornbury	No	No	No	No	No	No	No
HO143	34 Martin Street, Thornbury (House)	Yes	No	No	No	No	No	No
HO148	2-4 Normanby Avenue, Thornbury (Houses)	Yes	No	No	No	No	No	No
HO289	Electricity Substation Pender Street, Thornbury	No	No	No	No	No	No	No
HO290	Reserve - Penders Park 48A Pender Street Thornbury	No	No	Yes	No	No	No	No
HO149	66 Raleigh Street, Thornbury (House)	Yes	No	No	No	No	No	No
HO291	Thornbury Uniting Church 7-15 Rossmoyne Street Thornbury.	No	No	No	No	No	No	No
HO151	28 Shaftesbury Parade, Thornbury (Holy Trinity Anglican Church, Vicarage and Parish Hall)	Yes	No	No	No	No	Yes	No
HO152	40 Shaftesbury Parade, Thornbury (Former S.G. Tomkins Pty Ltd Dairy & House)	Yes	No	No	No	No	Yes	No
HO292	Front fence 47 Shaftesbury Parade Thornbury	No	No	No	Yes - front fence	No	No	No
HO153	52 Shaftesbury Parade, Thornbury (House)	Yes	No	No	No	No	No	No
HO293	House (Hillside) 6 Speight Street Thornbury	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	Incorporated plan: City of Darebin Heritage Study Incorporated Plan - Permit Exemptions (2021)							
HO294	Penders Grove Primary School No. 3806 370 Victoria Road Thornbury	No	No	No	No	No	No	No
HO84	Primary School Wales Street, Thornbury	Yes	No	No	No	No	Yes	No
HO159	54 Woolton Avenue Thornbury (House)	Yes	No	No	No	No	No	No
HO93	60 Woolton Avenue Thornbury (House)	Yes	No	No	No	No	No	No
HO319	331-333 Heidelberg Road, Northcote (Former Residence) Incorporated plan: City of Darebin Heritage study Incorporated Plan – Permit exemptions (2011, amended 2021) Statement of significance: 331-333 Heidelberg Road, Northcote (Former Residence) Statement of Significance, September 2021	No	No	No	No	No	No	No
HO321	159-179 Heidelberg Road, Northcote (Former Fairfield Hat Mills Complex (later Department of Aircraft Production branch) Incorporated plan: City of Darebin Heritage study Incorporated Plan – Permit	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	<p>exemptions (2011, amended 2021)</p> <p>Statement of significance:</p> <p>159-179 Heidelberg Road, Northcote (Former Fairfield Hat Mills Complex (later Department of Aircraft Production branch) Statement of Significance, September 2021</p>							
HO322	<p>257 Heidelberg Road, Northcote (Residence)</p> <p>Incorporated plan:</p> <p>City of Darebin Heritage study</p> <p>Incorporated Plan – Permit</p> <p>exemptions (2011, amended 2021)</p> <p>Statement of significance:</p> <p>257 Heidelberg Road, Northcote (Residence) Statement of Significance, September 2021</p>	No	No	No	Yes-masonry fence	No	No	No
HO323	<p>273-289 Heidelberg Road, Northcote (Church of Jesus Christ of the Latter-day Saints, Northcote)</p> <p>Incorporated plan:</p> <p>City of Darebin Heritage study</p> <p>Incorporated Plan – Permit</p> <p>exemptions (2011, amended 2021)</p> <p>Statement of significance:</p> <p>273-289 Heidelberg Road, Northcote (Church of Jesus Christ of the Latter-day Saints, Northcote) Statement of Significance, September 2021</p>	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
HO324	441 Heidelberg Road, Fairfield (Marineuie Court) Incorporated plan: City of Darebin Heritage study Incorporated Plan – Permit exemptions (2011, amended 2021) Statement of significance: 441 Heidelberg Road, Fairfield (Marineuie Court) Statement of Significance, September 2021	No	No	No	No	No	No	No
HO325	521 Heidelberg Road, Alphington (Residence) Incorporated plan: City of Darebin Heritage study Incorporated Plan – Permit exemptions (2011, amended 2021) Statement of significance: 521 Heidelberg Road, Alphington (Residence) Statement of Significance, September 2021	No	No	No	Yes- masonry fence	No	No	No
HO326	607 Heidelberg Road, Alphington (Kia-Ora) Incorporated plan: City of Darebin Heritage study Incorporated Plan – Permit exemptions (2011, amended 2021) Statement of significance:	No	No	No	No	No	No	No

DAREBIN PLANNING SCHEME

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses may be permitted?	Aboriginal heritage place?
	607 Heidelberg Road, Alphington (Kia-Ora) Statement of Significance, September 2021							

**Denotes interim controls apply*

DAREBIN PLANNING SCHEME

31/07/2018
VC148**SCHEDULE TO CLAUSE 72.04 DOCUMENTS INCORPORATED IN THIS PLANNING SCHEME****1.0**--/--/----
Proposed C203dare**Incorporated documents**

Name of document	Introduced by:
5-9 Nisbett Street, Reservoir - September 2020	C193dare
29-31 Clingin Street, Reservoir - September 2020	C193dare
48-50 Clingin Street and 37-45 Nisbett Street, Reservoir - October 2020	C195dare
Assessment of Trees for VPO Update in Mount Cooper, Bundoora 3 December 2009	C105
Assessment of Trees for VPO Update in Springthorpe Estate, Macleod 16 May 2010	C105
Biosciences Research Centre Incorporated Document, June 2008	C94
Chandler Highway Upgrade Incorporated Document, March 2016 (Amended December 2017)	GC80
City of Darebin Development Contributions Plan, Version 3.0 (Darebin City Council, 2020)	C190dare
City of Darebin Heritage Study Incorporated Plan – Permit Exemptions (2021)	C203dare
Concept Plan and Building Envelope Plan, Northland Plan No 3, September 2000	C21
High Street, Reservoir Level Crossing Removal Project Incorporated Document, March 2018	GC86
Hurstbridge Rail Line Upgrade 2017 Incorporated Document, January 2017	GC60
Incorporated Document - Preston Residential Heritage Precincts Permit Exemptions, February 2008	C68
Lancaster Gate Tree Protection Layout Plan – Stages 3 and 4 – 1 September 2003	C51
Lancaster Gate Tree Protection Plan – Stages 1 and 2 – 1 September 2003	C51
Preston Central Incorporated Plan March 2007 (as amended 2014)	C135
Preston Market Incorporated Plan March 2007	C67
Vegetation Survey – Former Kingsbury Centre Site, Bundoora - Map 2	C5
159-179 Heidelberg Road, Northcote (Former Fairfield Hat Mills Complex (later Department of Aircraft Production branch) Statement of Significance, September 2021	C203dare
257 Heidelberg Road, Northcote (Residence) Statement of Significance, September 2021	C203dare
273--289 Heidelberg Road, Northcote (Church of Jesus Christ of the Latter-day Saints, Northcote) Statement of Significance, September 2021	C203dare
331-333 Heidelberg Road, Northcote (Former Residence) Statement of Significance, September 2021	C203dare
441 Heidelberg Road, Fairfield (Marineuie Court) Statement of Significance, September 2021	C203dare
521 Heidelberg Road, Alphington (Residence) Statement of Significance, September 2021	C203dare
607 Heidelberg Road, Alphington (Kia-Ora) Statement of Significance, September 2021	C203dare

DAREBIN PLANNING SCHEME

31/07/2018
VC148

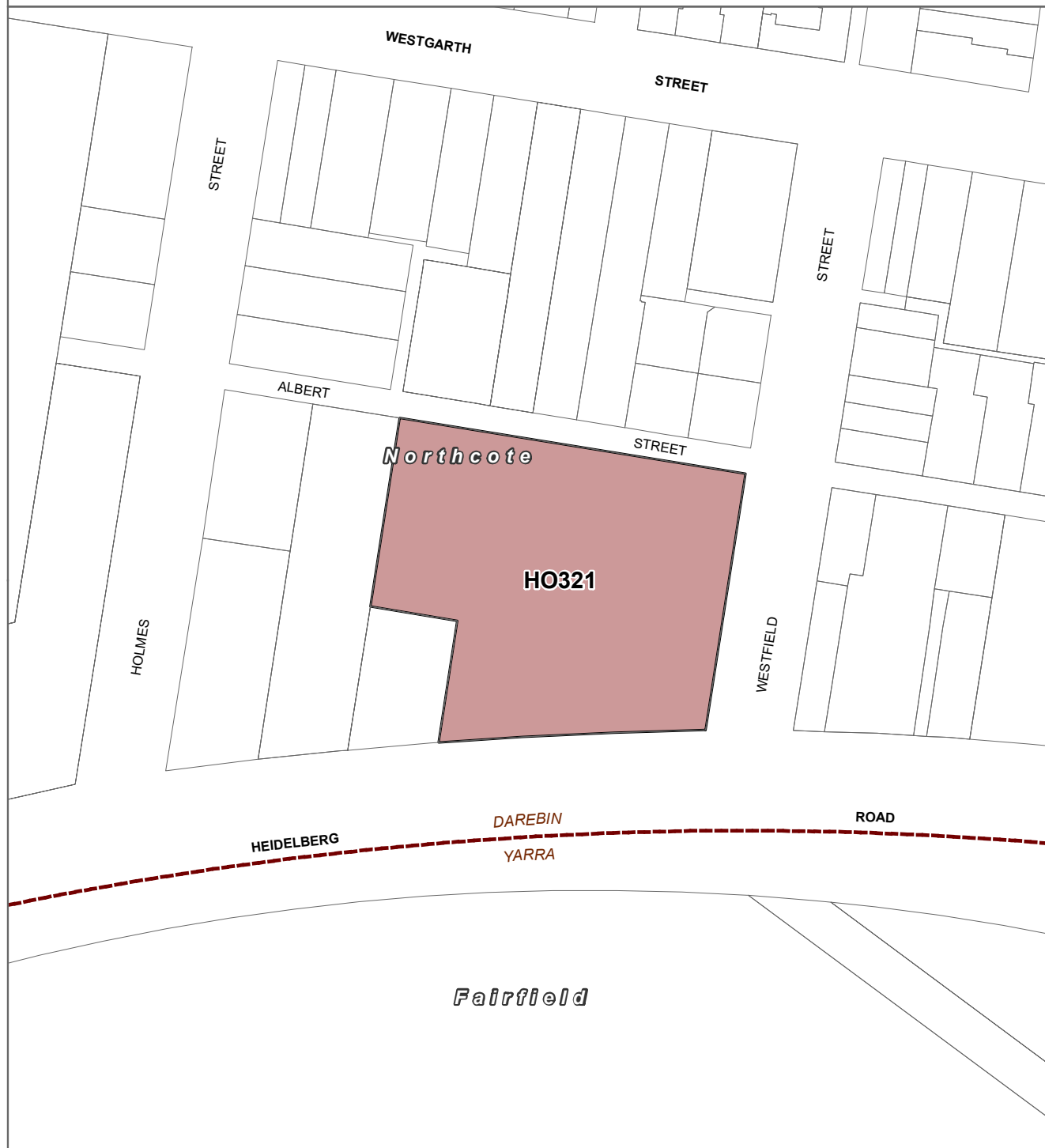
SCHEDULE TO CLAUSE 72.08 BACKGROUND DOCUMENTS**1.0**

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Proposed C203dare

Background documents

Name of background document	Amendment number - clause reference
Faifield Village Built Form Guidelines 2017 (amended 2019)	C161dare - Schedule 21 to Clause 43.02
Fairfield Village Heritage Assessment 2017 (amended 2019)	C161dare - Schedule 1 to Clause 43.01
Context Heidelberg Road Heritage Assessment report- Final Report, September 2020	C203dare

DAREBIN PLANNING SCHEME - LOCAL PROVISION
AMENDMENT C203dare



LEGEND

- HO - Heritage Overlay
- Local Government Area

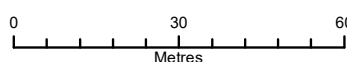


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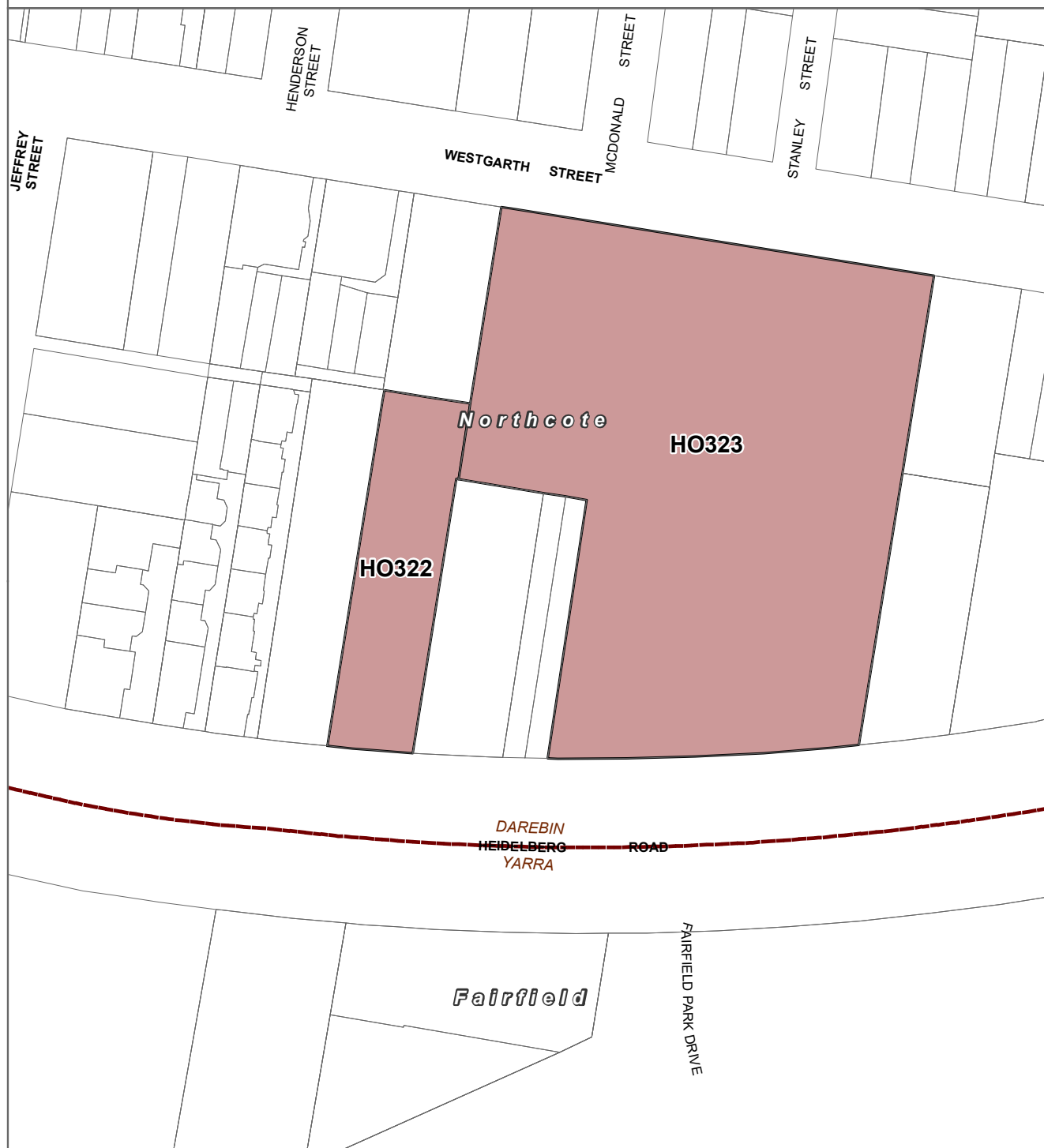
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DAREBIN PLANNING SCHEME - LOCAL PROVISION
AMENDMENT C203dare



LEGEND

- HO - Heritage Overlay
- Local Government Area

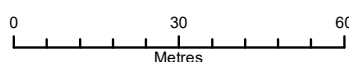


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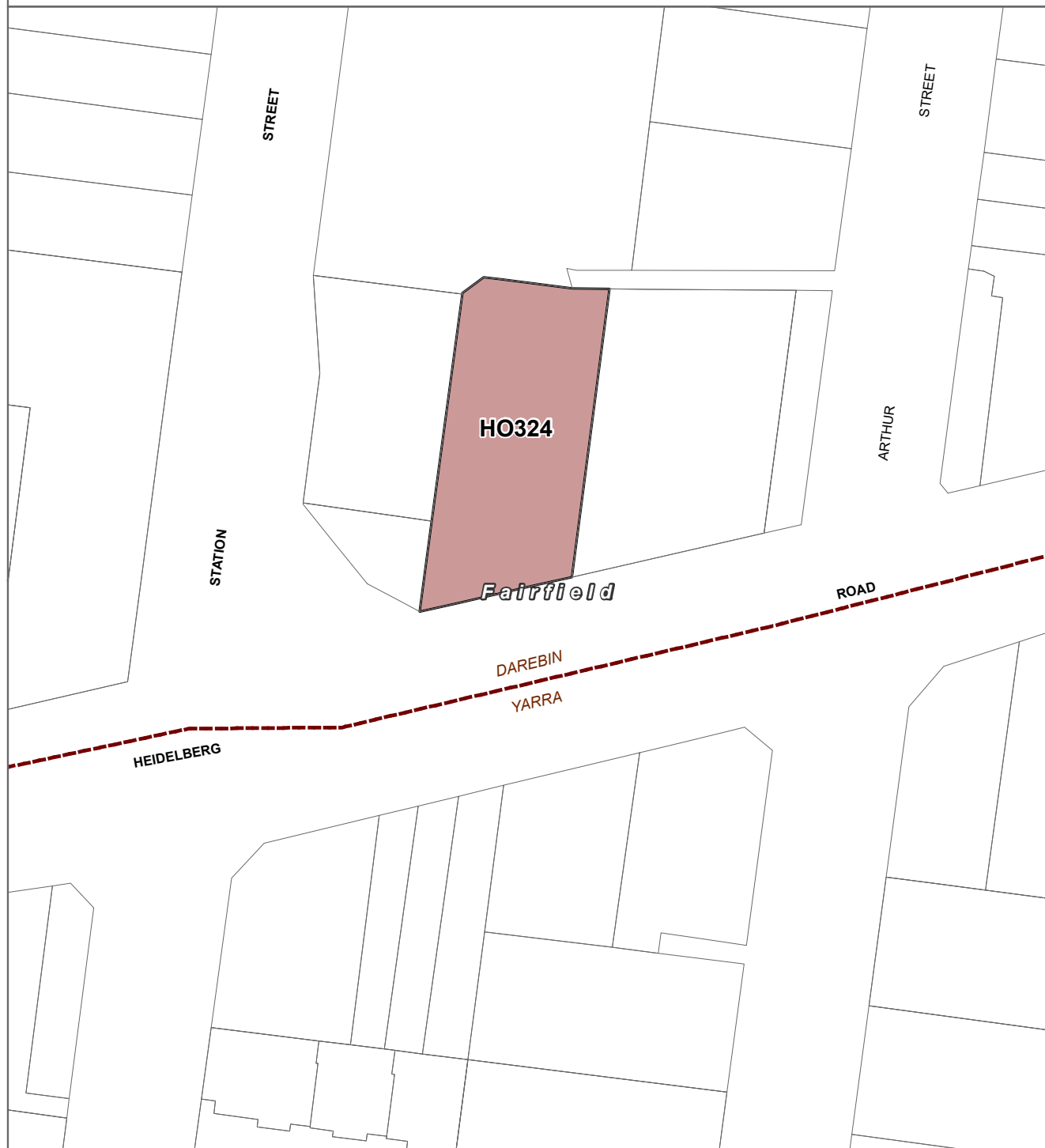
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AMENDMENT C203dare



LEGEND

- HO - Heritage Overlay
- Local Government Area

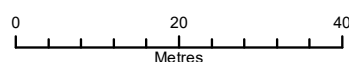


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AMENDMENT C203dare



LEGEND

- HO - Heritage Overlay
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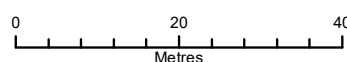


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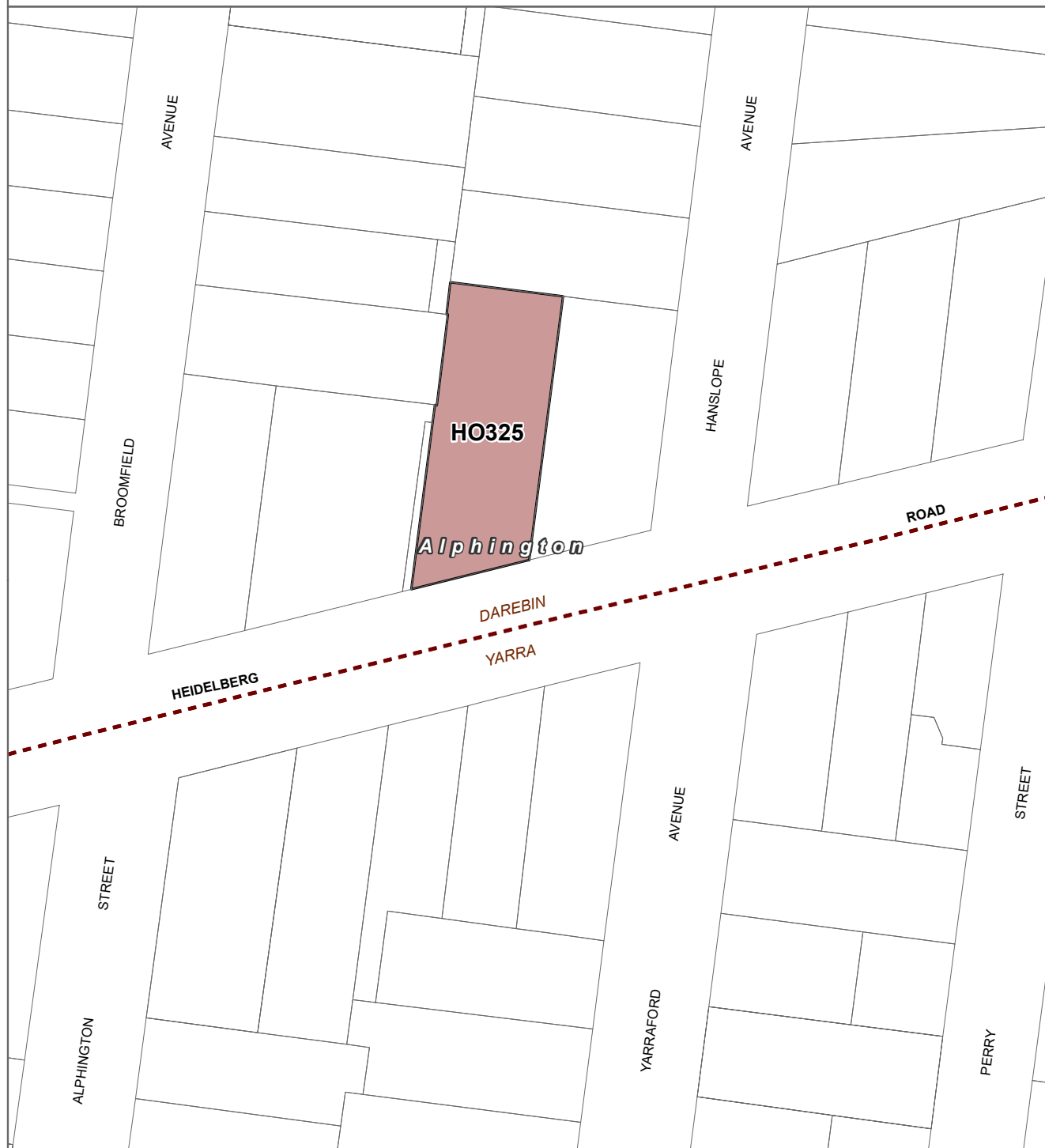
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AMENDMENT C203dare



LEGEND

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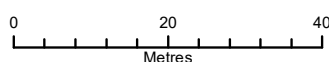


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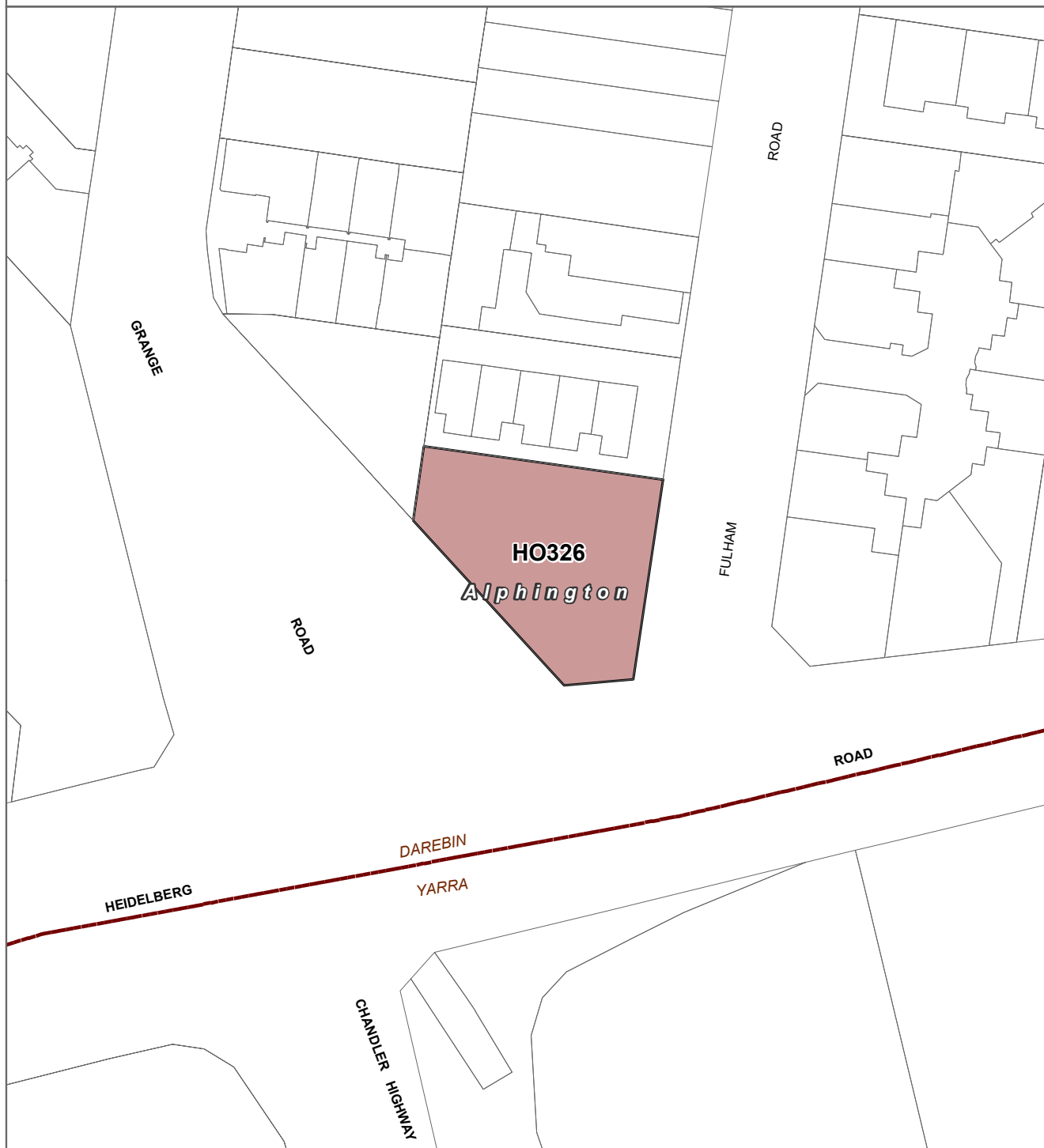
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 Amendment Version: 1



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DAREBIN PLANNING SCHEME - LOCAL PROVISION
AMENDMENT C203dare



LEGEND

- HO - Heritage Overlay
- Local Government Area

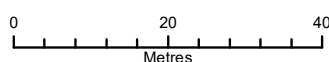


Part of Planning Scheme Map 18HO

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Environment,
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DAREBIN PLANNING SCHEME

159-179 Heidelberg Road, Northcote (Former Fairfield Hat Mills Complex (later Department of Aircraft Production branch) Statement of Significance, September 2021

Heritage Place:	159-179 Heidelberg Road, Northcote	PS ref no:	HO321
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Figure 26. Significance of individual elements of 159-179 Heidelberg Road, Northcote. (Source: Nearmap, with Context overlay)

What is significant?

159-179 Heidelberg Road, Northcote, comprising buildings built between 1909 and 1939 for the Fairfield Hat Mills and the subsequent owner Spry's Corn Flakes Pty Ltd, is significant.

Significant fabric includes the:

- Two-storey main building at the corner of Heidelberg Road and Westfield Street built c.1939, including its original built form and scale, and materiality including the rendered finish over loadbearing brickwork (street frontages) and face brickwork with concrete lintels (rear elevation);
- Main building's architectural detailing including the original fenestrations, multi-pane steel-frame windows, bays with pilasters and spandrels and other elements influenced by Moderne style such

as the stepped parapet and distinctive oversized stepped architrave around the front entrance that is inset with tiled edges;

- Overall representation of the site as an industrial complex evidenced in the assemblage of early brick buildings developed between c.1909 and c.1939; and
- Original or early built form and scale, loadbearing face brickwork, and the utilitarian characteristics of the existing c.1909-39 buildings, including: concrete lintels, original openings with intact large multi-pane metal-frame windows, timber loading doors and hoist.

The c.1970s single-storey building and the 2010 exposed concrete building at the corner of Albert and Westfield streets are not significant.

How is it significant?

159-179 Heidelberg Road, Northcote, is of local historic and representative significance to the City of Darebin.

Why is it significant?

The complex at 159-179 Heidelberg Road, Northcote, is historically significant for its continued industrial use and development over time under the management of various businesses. The complex was originally established and expanded between 1905-07 and the 1930s for the Fairfield Hat Mills, and substantially renovated in 1939 for Spry's Corn Flakes Pty Ltd. The Moderne style main building at the corner of Heidelberg Road and Westfield Street was completed during the 1939 renovation and extension. The Commonwealth of Australia acquired the property in 1941, after when the buildings were used by the Department of Aircraft Production (1941-c.1960) and the Postmaster-General's Engineering Division Depot (c.1960-1986). By 1986, the site was owned by the Australian Telecommunications Commission until 1994.

The industrial complex is significant for its demonstration of the development of manufacturing businesses in Darebin in the early twentieth century, when light industry, including garment and hat making and food production, became the key industries of the municipality.

The site's association with the production of military hats during the Fairfield Hat Mills era in 1912, and its later operation as a Department of Aircraft Production branch from 1941 to c.1960 is also an important demonstration of Darebin's wartime efforts in the past. (Criterion A)

The complex comprising the Moderne style main building and other utilitarian brick buildings at 159-179 Heidelberg Road, Northcote, is of representative significance as an industrial complex consisting of a group of low-rise loadbearing brick buildings constructed in the first half of the twentieth century. It is one of a small group of surviving and intact industrial complexes established in Darebin during this period. With its distinctive Moderne office building and supporting group of more utilitarian industrial buildings, the complex provides important tangible evidence of Darebin's industrial in its early built form, massing and materiality. (Criterion D)

Primary source

Context Heidelberg Road Heritage Assessment report - Final Report, September 2020

Building Number	Address	Grade
1	159-179 Heidelberg Road, Northcote	Significant
2	159-179 Heidelberg Road, Northcote	Contributory
3	159-179 Heidelberg Road, Northcote	Contributory
4	159-179 Heidelberg Road, Northcote	Non-contributory
5	159-179 Heidelberg Road, Northcote	Contributory

6	159-179 Heidelberg Road, Northcote	Contributory
7	159-179 Heidelberg Road, Northcote	Contributory
8	159-179 Heidelberg Road, Northcote	Non-contributory

This document is an incorporated document in the Darebin Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

Pink text shows proposed changes in response to submissions

DAREBIN PLANNING SCHEME

257 Heidelberg Road, Northcote (Residence) Statement of Significance, September 2021

Heritage Place:

257 Heidelberg Road, Northcote

PS ref no:

HO322

What is significant?

257 Heidelberg Road, Northcote, a single-storey cream face brick residence, built c.1948-49 for the owner Beniamino Bortolussi, is significant.

Significant fabric includes the:

- original built form, roof and scale of the residence and separate garage;
- unpainted brick surfaces and decorative brickwork, pattern of fenestration;
- chimney, and steel framed windows including the curved glass to the corner windows;
- low masonry brick fence with saw tooth detailing, mild steel panels and gates; and
- front garden and landscaping including the concrete and marble-paved driveway and footpath; and
- two cypresses by the gate.

How is it significant?

257 Heidelberg Road, Northcote, is of local historic, representative and aesthetic significance to the City of Darebin

Why is it significant?

257 Heidelberg Road, Northcote, a single-storey cream face brick residence, built c.1948-49, is historically significant as an example of immediate postwar residential development in Darebin. A major boom commenced in the late 1940s changed the pattern of Darebin's settlement. Over 2500 new private houses were built in the municipality between 1949 and 1954, to meet the increasing demands for housing. The building reflects the massive postwar boom and suburban expansion that characterises Darebin's postwar development. (Criterion A)

257 Heidelberg Road, Northcote, is of representative significance, for its design characteristic of the late 1940s domestic architecture. Severe shortages of building materials and increased labour costs meant that architect-designed economic housing became favoured by new homeowners. House plans published in popular magazines and design handbooks provided solutions to maximise the efficiency of the budget and land size.

The subject residence displays the defining elements of the early postwar houses influenced by Interwar Moderne style that was popular for the interwar domestic architecture and carried onto 1950s. The elements highly characteristic of the type include its cube forms juxtaposed with curves; horizontal emphasis to the façade through its use of bands of different coloured brickwork; tall chimney that acts as a strong vertical element; relatively formal garden and landscaping of the front setback; and low masonry fence with mild steel panels and gates. These are defining elements of the late 1940s examples that developed out of the Moderne Style of the 1930s and was popular

Pink text shows proposed changes in response to submissions

during the immediate postwar period. The front garden provides a setting that is consistent with the period, retaining a pair of cypresses near the gate, other ornamental trees, and a hedge, all typical garden design elements for 1940s houses. (Criterion D)

257 Heidelberg Road, Northcote, is also aesthetically significant, distinguished by its high intactness and integrity as well as its use of well-detailed elements that reflect the influences of Moderne style architecture adapted for late 1940s residences. Key elements include the curved corner windows with curved glass and deep eave overhangs, recessed bands of slim dark coloured brickwork and its unusually proportioned and detailed chimney. The overall brickwork and refinement of detail in the design are evidence of a high level of craftsmanship. The brickwork incorporating face cream, brown and dark red bricks, curved corners laid in header course, saw tooth detail to the fence's brick capping, piers with stepped tops and curved corners to the driveway opening all bring interest and textural depth to the elevations achieved through the adaptation of cheap building materials under the Government's building restrictions.

The front garden also features distinctive features. The driveway is paved with large custom-made brown concrete panels with a raised edge on one side that forms the edge of the garden bed. There is a brown concrete strip inserted with irregular-cut marble pieces in the middle of the driveway, which reflects the property's association with the first owner Beniamino Bortolussi, granolithic and marble contractor. Other landscaping elements that are consistent with the style include the narrow garden bed that is covered with aggregate gravels and wraps around the front lawn; cypresses planted on either side of the gate; and various ornamental plants including tapestry hedge and standard roses in the front garden. (Criterion E)

Primary source

Context Heidelberg Road Heritage Assessment report - Final Report, September 2020

This document is an incorporated document in the Darebin Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

Pink text shows proposed changes in response to submissions

DAREBIN PLANNING SCHEME

273-289 Heidelberg Road, Northcote (Church of Jesus Christ of the Latter-day Saints, Northcote) Statement of Significance, September 2021

Heritage Place:	273-289 Heidelberg Road, Northcote	PS ref no:	HO323
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What is significant?

Church of Jesus Christ of the Latter-day Saints complex at 273-289 Heidelberg Road, Northcote, comprising the c.1958 chapel and recreation hall building fronting Heidelberg Road and the c.1974-78 new chapel fronting Westgarth Street, is significant.

Significant fabric includes the:

- original form and scale of the c.1958 chapel and recreation hall building, including its simple rectangular form, very low-pitched roof form and its asymmetric composition of the horizontal and vertical elements of hall, rectangular tower and landscaped quadrangle;
- elements that reflect the Modernist ecclesiastic designs of the c.1958 building produced by the Church of Jesus Christ of the Latter-day Saints' Building Division in Utah, United States, including the original orange face brick cladding, full-height metal-frame windows, clerestory windows and steel universal columns supporting projecting eaves on the Heidelberg Road elevation;
- original form and scale of the c.1974-78 chapel, including its basilica-like plan and four-wings with low-pitched gables;
- elements that reflect the Modernist ecclesiastic designs of the c.1974-78 building produced by the Church of Jesus Christ of the Latter-day Saints' Building Division in Utah, United States, including original cream face brick cladding and decorative brick and concrete panelling, pattern of fenestrations as well as the tower; and
- other original landscaping elements including the lawn and brick paving on the Heidelberg Road set back, brick paving of the quadrangle, brick garden beds built as part of the c.1958 building scheme, and early signages on the c.1958 building and in front of the c.1974-78 chapel including the dwarf brick wall.

Two eucalypts (*Eucalypts* sp.) planted in the Heidelberg Road setback contribute to the setting of the place but are not significant in their own right.

How is it significant?

Church of Jesus Christ of the Latter-day Saints complex at 273-289 Heidelberg Road, Northcote, is of local historic, representative and social significance to the City of Darebin.

Why is it significant?

273-289 Heidelberg Road, Northcote, is historically significant as a church complex consisted of a c.1958 chapel and recreation hall building fronting Heidelberg Road and a c. 1974-78 chapel fronting Westgarth Street, established for the Church of Jesus Christ of the Latter-day Saints (LDS Church) in 1958. The earlier building was built c. 1958 most likely to designs prepared by Arnold Ehlers and A. Neff Taylor in conjunction with the (Mormon) Church Architectural Department. Experiencing rapid growth nationally in the post-war period, the church underwent an unprecedented expansion program in all states of Australia between 1956 and 1958, in which 19

Pink text shows proposed changes in response to submissions

chapels and additions to existing sites were undertaken. The Church officials at Utah, United States oversaw the entire building program, from the selection of sites to design details and functionality. The subject site would have been ideal for the church, as a new boom commenced in Darebin in the late 1940s with more than 2,500 new private houses and some large Housing Commission of Victoria estates were established between 1949 and 1954.

As a complex, 273-289 Heidelberg Road demonstrates the evolution of design aesthetics of the Building Division of the LDS church, where, unlike many other denominations, established a standardised church designs produced by the church's Building Division and repeated around the world. The pre-standard plan building built c. 1958, comprising a chapel and a multipurpose room, was based on the Church's primitive prototype that formed the basis for the development of standard plans after the 1950s. The c. 1958 building is a tangible evidence of the last era of custom-design meetinghouses, as one of 19 churches built in that period across Australia. The later c. 1974-78 building displays the elements of more standardised church designs that were repeated in churches built in the 1970s. Gable roofs with sprawling wings, almost always accompanied by the rectangular asymmetrically placed tower form were key characteristics of the standard-plan designs. (Criterion A)

273-289 Heidelberg Road, Northcote, is of representative significance for both the c.1958 and c.1974- 78 buildings' adoption of Modernist and Late-Twentieth Century Ecclesiastical style idioms. The representative elements include a restrained material palette of brick cladding and steel window frames and details. A linear, box-like horizontal and vertical massing of rectangular forms and simple rectangular tower (the c. 1958 building); and adapted traditional basilica-like plans, asymmetrically placed vertical tower form and linear, box-like massing (the c. 1974-78 building) echo the widely popular Late-Twentieth Century Ecclesiastical style architecture. (Criterion D)

The Church of Jesus Christ of the Latter-day Saints still operates today as a place of worship. The community centre houses Family History Centre, a branch of the Family History Library in Salt Lake City, Utah. The subject complex is of social significance to the City of Darebin, for its continued association with the church community. (Criterion G)

Primary source

Context Heidelberg Road Heritage Assessment report - Final Report, September 2020

This document is an incorporated document in the Darebin Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

DAREBIN PLANNING SCHEME

331-333 Heidelberg Road, Northcote (Former Residence) Statement of Significance, September 2021

Heritage Place:	331 Heidelberg Road, Northcote	PS ref no:	HO319
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What is significant?

331-333 Heidelberg Road, Northcote, a single storey brick residence constructed in 1912 for Samuel Trevena, is significant.

Significant fabric includes the:

- original form, slate roof, turret tower and projecting bay window
- face brick cladding, roughcast gridded panels, pattern of fenestration and timber window and door joinery
- terracotta ridge cresting, gargoyles, finials, chimneys; and
- deep set back from the street

How is it significant?

331-333 Heidelberg Road, Northcote, is of local historic, representative, and aesthetic significance to the City of Darebin.

Why is it significant?

331-333 Heidelberg Road, Northcote is of historical significance as a physical representation of the development of the Darebin area and its growing prestige in the twentieth century. The building's substantial setback from the street and fine architectural detailing reflect the status of the building's original owner, the former Mayor of Collingwood Samuel Treven. The construction of this elaborate villa signals the growing prestige of the area. The building reflects the recovery in development in Darebin following the economic crash of the 1890s and before the start of World War One. (Criterion A)

331-333 Heidelberg Road, Northcote, is of representative significance, for its retention of elements characteristic of Federation era designs. This includes its varied building and roof forms, red face brick surfaces, its pattern of fenestration and window and door joinery, and decorative roof ornamentation. The subject building is a sound representative example of a substantial Federation era villa, a typology that is relatively underrepresented in the City of Darebin Heritage Overlay (Criterion D)

331-333 Heidelberg Road, Northcote, is also aesthetically significant as a fine, early example of the Queen Anne style. Its dramatic, varied roof composition with contrasting slate and terracotta materials, decorative ornamentation and sweeping bellcast verandah, demonstrate the picturesque aesthetic. The low tower and projecting bay window add romantic detail and distinguish the building's design as a particularly elaborate example within the City of Darebin. The retention of the original windows and deep setback further enhance the building's aesthetic quality. (Criterion E)

Primary source

Context Heidelberg Road Heritage Assessment report- Final Report, September 2020

This document is an incorporated document in the Darebin Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

DAREBIN PLANNING SCHEME

441 Heidelberg Road, Fairfield (Marineuie Court) Statement of Significance, September 2021

Heritage Place:	441 Heidelberg Road, Fairfield	PS ref no:	HO324
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What is significant?

Marineuie Court at 441 Heidelberg Road, Fairfield, a block of flats built in 1939 for Walter J. Marriner, is significant.

Significant fabric includes the:

- original freestanding two-storey building form and hipped roof;
- face brick finish and well-detailed brickwork incorporating at least four different kinds of bricks including clinker, cream and tapestry bricks and variegated bricks
- other early decorative elements influenced by Moderne style, including the curved balustrades to the upper level balconies, and thin metal signage 'Marineuie Court' on the Heidelberg Road (south) elevation;
- original timber-framed windows • original brick carports at the rear of the property; and
- modest front and side setbacks, as well as the garden setting and layout.

How is it significant?

Marineuie Court at 441 Heidelberg Road, Fairfield is of local historic, representative and aesthetic significance to the City of Darebin.

Why is it significant?

Marineuie Court at 441 Heidelberg Road, Fairfield, built in 1939 for Walter James Marriner, licenced victualler, is historically significant as the earliest flats built in the section of Heidelberg Road between Merri and Darebin creeks. Walter J. Marriner was one of the first purchasers of the 1922 MacRobertson Estate subdivision which envisioned full commercial development along Station Street between Heidelberg Road and the Railway Station. The land remained vacant up until October 1938 when Marriner purchased another allotment in the same subdivision for the development of brick flats now extant at 441 Heidelberg Road. Marineuie Court is one of the less common examples that demonstrates the earlier development of flats in the City of Darebin in the late interwar period. It illustrates the historical shift from the predominance of single-storey, freestanding houses erected during the 1920s and early 1930s to the gradual social acceptance of multi-storey flats. (Criterion A)

Marineuie Court at 441 Heidelberg Road, Fairfield is of representative significance for its retention of early important elements including the original face brick finish, building and roof form, external materials, original features including windows, doors and decorative detailing, the garden setting and layout. Its modest front and side setbacks and open presentation to Heidelberg Road over a low fence (later addition) along the title boundary are also important. (Criterion D)

441 Heidelberg Road, Fairfield is also aesthetically significant, distinguished by its highly decorative, well-detailed brickwork that incorporates at least four different kinds of bricks. Marineuie Court features walls laid in distinctive face clinker brick walls laid in stretcher-bond with horizontal bands of variegated tapestry brickwork, and selectively placed vertical cream brick motifs. The windowsills are demarcated in header course brickwork and the lintels are soldier course.

441 Heidelberg Road is also important for its demonstration of decorative elements influenced by Moderne style, including the curved balustrades in upper level, and thin metal signage 'Marineuie Court' on the Heidelberg Road (south) elevation. (Criterion E)

Primary source

Context Heidelberg Road Heritage Assessment report- Final Report, September 2020

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DAREBIN PLANNING SCHEME

521 Heidelberg Road, Alphington (Residence) Statement of Significance, September 2021

Heritage Place:	521 Heidelberg Road, Alphington	PS ref no:	HO325
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What is significant?

521 Heidelberg Road, Alphington, a single storey brick residence built c.1941 for Vincent J. O'Meara, is significant.

Significant fabric includes the:

- original built form, roof and scale;
- unpainted brick surfaces and decorative brickwork, pattern of fenestration;
- arched entrance portico, chimney, timber window joinery; and
- low brick fence with brick pillars.

How is it significant?

521 Heidelberg Road, Alphington, is of local historic and representative significance to the City of Darebin

Why is it significant?

521 Heidelberg Road, Alphington, built c.1941, is of historic significance as a later example of interwar residential development in Darebin. The building reflects the transitional period between the gradual growth and elevated status of the area in the interwar period to the massive growth and suburban expansion that characterises its post-war development. (Criterion A)

The house demonstrates key characteristics of the interwar Old English style that was popularised in suburban domestic architecture in the interwar period including its stepped projecting gabled portico, decorative brickwork and tripartite timber framed windows. The style is relatively underrepresented within Heritage Overlay to the City of Darebin planning scheme. It is a modest but architecturally refined and highly intact example of the Old English style, enhanced by extant garden elements including the original front fence, and unsealed driveway. (Criterion D)

Primary source

Context Heidelberg Road Heritage Assessment report- Final Report, September 2020

This document is an incorporated document in the Darebin Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

Pink text shows proposed changes in response to submissions

DAREBIN PLANNING SCHEME

607 Heidelberg Road, Alphington (Kia-Ora) Statement of Significance, September 2021

Heritage Place:

607 Heidelberg Road, Alphington

PS ref no:

HO326

What is significant?

607 Heidelberg Road, Alphington, a single storey brick residence built in 1903 for Walter Foreman, is significant.

Significant fabric includes the:

- original (1903) and early (c.1918) form and scale, ~~main terracotta tiled~~ roof ~~form~~, chimneys and verandah roof form;
- red face brick surfaces, decorative cream brick banding and roughcast surfaces;
- pattern of fenestration, timber-framed windows and doors; and
- timber gable strapping and timber eave brackets, stringcourse label mould.

How is it significant?

607 Heidelberg Road, Alphington, is of local historic, representative, and aesthetic significance to the City of Darebin.

Why is it significant?

Kia-Ora at 607 Heidelberg Road, Alphington, is of historical significance for its representation of the development of Darebin and its growing prestige of Alphington as a residential area in the twentieth century. The substantial size of the allotment and fine architectural detailing of the house reflect the elevated status of the area. This is further reflected in the building's association with Benjamin Barrington Bank Sibthorpe (occupant from 1903 and owner from 1914) who was a director of MacRobertson's Pty. Ltd., a well-known confectionery business based in Fitzroy. The construction of this finely detailed villa signals the growing prestige of the area and its desirability to middle class professionals. The house also reflects the area's economic recovery following the economic crash of the 1890s before the start of World War One. (Criterion A)

607 Heidelberg Road, Alphington, is of representative significance, for its retention of elements characteristic of Federation era designs incorporating Queen Anne styling. This includes its varied building and roof forms, red face brick surfaces, its pattern of fenestration and window and door joinery ~~and~~, decorative chimneys ~~and ridge cresting~~. The subject building is a good representative example of a substantial Federation era villa, a typology that is relatively underrepresented in the City of Darebin Heritage Overlay (Criterion D)

607 Heidelberg Road, Alphington, is also aesthetically significant as a fine, early example of the Queen Anne style. Its prominent, three street facing gables with fine architectural detailing, decorative chimneys ~~and ridge cresting~~ and wraparound verandah, demonstrate an Australian adaptation of the picturesque aesthetic qualities of this style. The substantial corner allotment with a low fence and mature garden setting enhance its aesthetic quality and distinguish the building's design as a particularly refined example within the City of Darebin. (Criterion E)

Primary source

Context Heidelberg Road Heritage Assessment report- Final Report, September 2020

This document is an incorporated document in the Darebin Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

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changes in response to
submissions

CITY OF DAREBIN HERITAGE STUDY INCORPORATED PLAN – PERMIT EXEMPTIONS (2011, amended 2021)

This incorporated plan sets out the permit exemptions from the provisions of the Heritage Overlay in accordance with Clause 43.01-2 that apply to specific heritage place and precincts assessed by the *City of Darebin Heritage Study – Historic Heritage Places* (2011), which were added to the Heritage Overlay by Amendment C108 (Part 1) to the Darebin Planning Scheme and the Fairfield Village Heritage Assessment 2017, which were added to the Heritage Overlay by Amendment C161 to the Darebin Planning Scheme.

Please refer to the relevant heritage place and precinct citations in the *City of Darebin Heritage Study – Historic Heritage Places* (2011), ~~and~~ the *Fairfield Village Heritage Assessment, 2017* and the Heidelberg Road Heritage Assessment (Context) 2020 for further information about the significance of each place and precinct, including history, description and statements of significance. This information can also be accessed from the City of Darebin website or by contacting Darebin Council.

1 Application

These permit exemptions apply to places included within the Heritage Overlay as follows:

- Heritage precincts in the residential zones as specified in Table 3.1 (Section 3.1)
- Individual heritage places in the residential zones (Section 3.2)
- Heritage precincts in the business zones as specified in Table 3.2 (Section 3.3)
- East Plenty Tram Depot, 211-43 Plenty Road, Preston (Section 3.4)
- Whittlesea Railway Precinct (Section 3.5)
- Miller Road Tramway Bridge (Section 3.6)
- Northern Metropolitan Institute of Technology (Former Preston Technical School) (Section 3.7)
- House and former doctor's surgery, 572 Plenty Road, Preston (Section 3.8)
- St Andrew's Alphington and Fairfield Uniting Church, 85 Gillies St, Fairfield (Section 3.9) Fairfield Railway reserve. (Section 3.10)

This incorporated plan does not provide permit exemptions from a planning permit if required by any other provision of the Darebin Planning Scheme.

2 Definitions

The following definitions apply:

DEFINITIONS

Heritage Place	Significant	A <i>Significant</i> place is a single heritage place that has cultural heritage significance which may be independent of its context. These places may also contribute to the significance of a heritage precinct. <i>Significant</i> places within a heritage precinct will not usually have a separate Statement of Significance.
	Contributory	A <i>Contributory</i> place contributes to the significance of a heritage precinct, but would not be significant on their own.

	<i>Significant feature</i>	A <i>Significant feature</i> is any feature (building, tree, structure etc.) identified as contributing to the significance of a heritage place or precinct. <i>Significant features</i> are identified in the <i>City of Darebin Heritage Study 2008</i> and the <i>Fairfield Village Heritage Assessment, 2017</i> .
<i>Non Heritage Place</i>	<i>Non-contributory or Not Significant</i>	<i>Non-contributory or Not Significant</i> places which do not contribute to the significance of a heritage precinct. In some instances, a <i>Significant</i> place may be considered <i>Non-contributory or Not Significant</i> within a precinct. For example, an important Modernist house within a Victorian era precinct.
<i>Maintenance</i>		<i>Maintenance</i> means the continuous protective care of a <i>place</i> , and its <i>setting</i> . <i>Maintenance</i> is to be distinguished from repair which involves <i>restoration or reconstruction</i> .

Significant, Contributory and Non-contributory or Not Significant places within heritage precincts are shown on the precinct maps that form part of this incorporated plan – see Attachment A.

3 No Planning Permit Required

3.1 Heritage precincts in the residential zones

This applies to the heritage precincts listed in Table 3.1, which are shown on the attached precinct maps. It does not apply to heritage places that are individually listed in the schedule to the Heritage Overlay (Refer to Section 3.2).

Table 3.1 – Heritage precincts

Precinct	Locality	HO No.
Broomfield Avenue	Alphington	HO297
Gladstone Avenue	Northcote	HO298
Carlisle Street	Preston	HO299
Garnet Street	Preston	HO300
Larne Grove and Roxburgh Street	Preston	HO302
Livingstone Parade	Preston	HO303
Milton Crescent	Preston	HO304
Edgar Street	Reservoir	HO306
Queen Street	Reservoir	HO308
Plow Street	Thornbury	HO310
Rossmoyne Street	Thornbury	HO311
Woolton Avenue	Thornbury	HO181

Under Clause 43.01-2 of the Planning Scheme, no planning permit is required for the following development within the heritage precincts subject to the Heritage Overlay specified in Table 3.1:

Demolition and routine maintenance

- Demolition of a building or part of a building on a property shown as *Non-contributory* on the relevant precinct map.
- Demolition of a side or rear fence. This does not apply to a property located on a corner or if any part of the side or rear fence is identified as a *Significant feature*.
- Repairs or routine maintenance to a building that would change the appearance of that building on a property shown as *Non-contributory* on the relevant precinct map. This does not apply if the repairs or routine maintenance would result in an extension to the building.
- Repairs or routine maintenance or alterations to the wall of a building that faces the rear boundary that would change the appearance of that building on a property shown as *Contributory* on the relevant precinct map. This does not apply if the repairs or routine maintenance would result in an extension to the building, or to a property on a corner site.

Construction of and extensions to buildings, other structures, services and fences

- Construction of an outbuilding with a gross floor area not more than 10 square metres and a maximum building height not more than 3 metres above natural ground level within the rear yard as defined in Figure 1.
- Construction or extension of an open-sided pergola or verandah with a finished floor level not more than 800mm above natural ground level and a maximum building height not more than 3 metres above natural ground level within the rear yard as defined in Figure 1.
- Construction or extension of a deck with a finished floor level not more than 800mm above natural ground level within the rear yard as defined in Figure 1.
- Construction of an extension to a building on a property shown as *Contributory* on the relevant precinct map provided that all of the following conditions are met:
 - the building height¹ is not more than the building height of the original dwelling excluding any later extensions or additions;
 - The extension is sited within the rear yard as defined in Figure 1.
 - the setback from side boundaries is not less than the setback of the existing building.
- Construction of an extension to a building on a property shown as *Non contributory* on the relevant precinct map provided that:
 - the building height¹ is not more than the building height of the existing building; and
 - the setback from front or side boundaries is the not less than the setback of the existing building.
- Construction of a front fence not more than 1.2metres in height above natural ground level provided that this does not require the demolition of an existing front fence of a property shown as *Significant* or *Contributory* on the relevant precinct map or identified as a *Significant feature* within the precinct.
- Construction of a side or rear fence including the installation of lattice or trellis. This exemption does not apply to:
 - Side fences within 3 metres of the frontage; or
 - Side fences along the secondary frontage of a property on a corner site.
- Installation of domestic services normal to dwelling on any property that may be visible from a street or public park provided that the installation:
 - is not attached to the front wall of the building;

¹ "Building height" as defined by Clause 72 General Terms in the Darebin Planning Scheme

- is not situated between the front wall of the building and the front property boundary;
- if attached to the side wall of a building on a property shown as *Significant* or *Contributory* on the relevant precinct map, it is set back not less than 4 metres from the minimum front setback of the dwelling (See Note 1);
- does not project above the highest point of the roof;
- is not situated on that part of the roof that faces directly toward a street (including a side street); and if situated on part of a roof that faces a side boundary on a property shown as *Significant* or *Contributory* on the relevant precinct map, it is set back not less than 4 metres from the minimum front setback of the dwelling (See Note 1).
- Construction or extension of a domestic swimming pool or spa and associated mechanical equipment and safety fencing on any property provided that the pool is situated within the rear yard as defined in Figure 1

3.2 Individual places in the residential zones

This applies to heritage places that are individually listed in the Schedule to the Heritage Overlay, except for 572 Plenty Road, Preston (Refer to Section 3.8).

Under Clause 43.01-2 of the Planning Scheme, no planning permit is required for the following development for individually listed heritage places within the residential zones subject to the Heritage Overlay:

Demolition and routine maintenance

- Demolition of or alterations to a building that is not specified as a *Significant feature*. This includes routine maintenance that would change the appearance of a building.
- Demolition of a side or rear fence. This does not apply to a property located on a corner or if any part of the side or rear fence is identified as a *Significant feature*.

Construction of and extensions to buildings and fences

- Construction of an outbuilding with a gross floor area not more than 10 square metres and a maximum building height not more than 3 metres above natural ground level within the rear yard of a property as defined in Figure 1. This does not apply if it would require the removal, demolition or alteration of a *Significant feature*.
- Construction or extension of an open-sided pergola or verandah with a finished floor level not more than 800mm above natural ground level and a maximum building height not more than 3 metres above natural ground level within the rear yard as defined in Figure 1. This does not apply if it would require the removal, demolition or alteration of a *Significant feature*.
- Construction or extension of a deck with a finished floor level not more than 800mm above natural ground level within the rear yard as defined in Figure 1. This does not apply if it would require the removal, demolition or alteration of a *Significant feature*.
- Construction of a front fence not more than 1.2 metres in height above natural ground level provided that this does not require the demolition of an existing front fence that is identified as a *Significant feature*.
- Construction of a side or rear fence including the installation of lattice or trellis. This exemption does not apply to:
 - Side fences within 3 metres of the frontage; or
 - Side fences along the secondary frontage of a property on a corner site.
 - The installation of lattice or trellis on a fence identified as a *Significant*

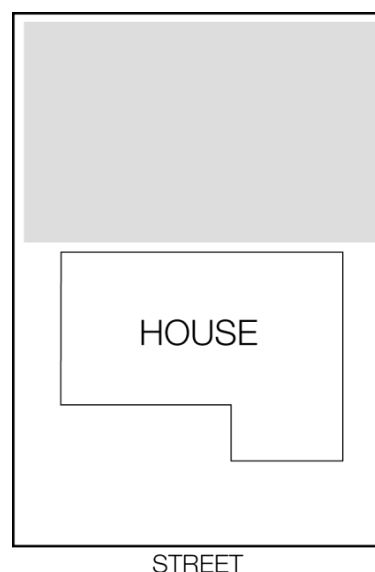
feature.

- Construction or extension of a domestic swimming pool or spa and associated mechanical equipment and safety fencing on any property provided that the pool is situated within the rear yard as defined on Figure 1. This does not apply if it would require the removal, demolition or alteration of a *Significant feature*.

NOTE 1: *For the purposes of this exemption the front setback is measured to the original dwelling and not to any later extensions or additions such as garages or carports*

FIGURE 1

The shaded area defines the rear yard for the purposes of this policy



3.3 Heritage precincts in the business zones

This applies to the heritage precincts listed in Table 3.2, which are shown on the attached precinct maps.

Table 3.2 – Heritage precincts

Precinct	Locality	HO No.
High Street, Preston	Preston	HO301
Plenty Road	Preston	HO305
High Street, Reservoir	Reservoir	HO307
High Street, Thornbury	Thornbury	HO309
Fairfield Village	Fairfield	HO315
<u>159-179 Heidelberg Road, Northcote (Former Fairfield Hat Mills Complex)</u>	<u>Northcote</u>	<u>HO321</u>

Under Clause 43.01-2 of the Planning Scheme, no planning permit is required for the following development within the heritage precincts subject to the Heritage Overlay listed in Table 3.2:

- Demolition of a building or part of a building on a property shown as *Non-contributory* or *Not Significant* on the relevant precinct map.
- Routine maintenance to a building that would change the appearance of that

building on a property shown as *Non-contributory* or *Not Significant* on the relevant precinct map.

- Signage situated below verandah at ground floor level on a building on a property shown as *Non-contributory* or *Not Significant* on the relevant precinct plan.
- Above verandah signage on a building on a property shown as *Non-contributory* on the relevant precinct plan unless the building is adjacent to a *Significant* or *Contributory* building as shown on the relevant precinct map.
- Installation of an automatic teller machine on a building on a property shown as *Non-contributory* or *Not Significant* on the relevant precinct plan.
- The alteration to an existing building façade of a building on a property shown as *Non-contributory* or *Not Significant* on the relevant precinct plan provided that:
 - The alteration does not include the installation of an external roller shutter
 - At least 80 per cent of the building front at ground level is maintained as an entry or window with clear glazing.
- An awning on a building on a property shown as *Non-contributory* or *Not Significant* on the relevant precinct plan that projects over a public road reservation if it is authorised by the relevant public land manager.

3.4 East Preston Tram Depot

This applies to the East Preston Tram Depot at 211-243 Plenty Road, Preston (HO240). *Significant features* are listed in Table 3.3.

Table 3.3 – East Preston Tram Depot significant features

Significant feature	Non-significant features
The offices, constructed by 1955, facing Plenty Road	Later alterations and additions
The covered tram storage shed, constructed by 1955, to the extent of the exterior walls and roof	Later alterations and additions

Under Clause 43.01-2 of the Planning Scheme, no planning permit is required for the following demolition and buildings and works within HO240 (East Preston Tram Depot):

- Removal of, modifications and repairs to and replacement of overhead power lines.
- Repairs to and replacement of tramway tracks.
- Modifications and repairs to and replacement of any electric or electronic signalling equipment.
- Removal of, repairs to, installation or replacement of safety barriers, rubbish bins, seating, bicycle racks and other small items of furniture.
- Removal, installation, repair or replacement of non-commercial signage, security lighting, fire safety equipment provided it does not involve the removal or erection of a building or other structure.
- Resurfacing of existing paths and driveways.
- Removal, installation or replacement of garden watering, water recycling or drainage systems.
- Management of trees in accordance with Australian Standard 4373: Pruning of Amenity Trees.

3.5 Whittlesea Railway Precinct

This applies to all sites included within the Whittlesea Railway Precinct (HO295).

Under Clause 43.01-2 of the Planning Scheme, no planning permit is required for the following demolition and buildings and works within HO295 (Whittlesea Railway Precinct):

- Removal of, modifications and repairs to and replacement of overhead power lines.
- Repairs to and replacement of railway tracks and sleepers including ballast.
- Modifications and repairs to and replacement of any electric or electronic signalling equipment.
- Removal of, repairs to, installation or replacement of ticket machines, passenger control gates, safety barriers, rubbish bins, seating, bicycle racks and other small items of platform furniture.
- Removal, installation, repair or replacement of non-commercial signage, security lighting, fire safety equipment provided it does not involve the removal or erection of a building or other structure.
- Resurfacing of existing paths and driveways.
- Removal, installation or replacement of garden watering, water recycling or drainage systems.
- Management of trees in accordance with Australian Standard 4373: Pruning of Amenity Trees.
- The construction or demolition of buildings and works and tree removal necessary to achieve compliance with the *Disability Discrimination Act 1992* and *Disability Standards for Accessible Public Transport 2002* in accordance with a plan for such works within the Heritage Overlay area which has been approved by the responsible authority.

3.6 Miller Street Tramway Bridge

This applies to the Miller Street Tramway Bridge (HO 236). *Significant features* are listed in Table 3.4.

Table 3.4 – Miller Street Tramway Bridge significant features

Significant feature	Non-significant features
Brick abutments either side of the railway line	Post 1945 alterations and additions including concrete deck, supporting piers and cyclone wire fencing.

Under Clause 43.01-2 of the Planning Scheme, no planning permit is required for the following demolition and buildings and works within HO236 (Miller Street Tramway Bridge):

- Alterations or additions, or routine maintenance to a structure that would change the appearance of that structure other than the *Significant features* of the structure listed in Table 3.4.
- Installation of or alterations and additions to trackwork, overhead wiring and associated infrastructure and the carrying out of associated works.

Former Preston Technical College (NMIT)

This applies to the former Preston Technical College (now NMIT) 77-89 St Georges Road, Preston (HO250). *Significant features* are listed in Table 3.5.

Table 3.5 – Former Preston Technical College (NMIT) significant features

Significant feature	Non-significant features
The former Preston Technical College designed by Percy Everett and constructed by 1937	Later alterations and additions including the additions to the north and south wings constructed c.1955. Landscaping and other buildings.

Under Clause 43.01-2 of the Planning Scheme, no planning permit is required for the following demolition and buildings and works within HO250 (Former Preston Technical College):

- Demolition or alteration of non-significant buildings or features. Construction or demolition of buildings and works necessary to achieve compliance with the *Disability Discrimination Act 1992* in accordance with a plan for such works within the Heritage Overlay area that has been approved by the responsible authority.
- Construction of a fence not more than 1.2 metres in height above natural ground level.
- Construction or extension of a deck with a finished floor level not more than 800mm above natural ground level.
- Removal of, repairs to, installation or replacement of safety barriers, rubbish bins, seating, bicycle racks and other small items of furniture.
- Removal, installation, repair or replacement of non-commercial signage, security lighting, fire safety equipment provided it does not involve the removal or erection of a building or other structure.
- Resurfacing of existing paths and driveways or construction of new paths or driveways.
- Removal, installation or replacement of garden watering, water recycling or drainage systems.
- Management of trees in accordance with Australian Standard 4373: Pruning of Amenity Trees.

3.7 House, garage and former doctor's surgery, 572 Plenty Road, Preston

This applies the house, garage and former doctor's surgery, 572 Plenty Road, Preston (HO242). *Significant features* are listed in Table 3.6.

Table 3.6 – House, garage and former doctor's surgery significant features

Significant feature	Non-significant features
The house and its interior designed by Harold Desbrowe Annear.	The interior of the garage.
The garage designed by Harold Desbrowe Annear.	The side and rear fencing other than the arched gateway and high rendered wall.
The arched gateway and high rendered wall adjoining the house facing Plenty Road	

Under Clause 43.01-2 of the Planning Scheme, no planning permit is required for

the following buildings and works within HO242:

Interior

- Painting of previously painted walls and ceilings provided that preparation or painting does not remove evidence of any original paint or other decorative scheme.
- Installation, removal or replacement of carpets and/or flexible floor coverings.
- Installation, removal or replacement of curtain tracks, rods and blinds.
- Installation, removal or replacement of hooks, nails and other devices for the hanging of mirrors, paintings and other wall mounted art.
- Refurbishment of existing bathrooms, toilets and kitchens including removal, installation or replacement of sanitary fixtures including the original shower structure and associated piping, mirrors, wall and floor coverings.
- Demolition or removal of non-original bathroom partitions and tiling, sanitary fixtures and fittings, kitchen wall tiling and equipment, lights, built-in cupboards and the like.
- Removal or replacement of non-original door and window furniture including, hinges, locks, knobsets and sash lifts.
- Installation of stud walls, which are removable, providing no alteration to the structure is required.
- Removal of tiling or concrete slabs in wet areas provided there is no damage to or alteration of original structure or fabric.
- Installation, removal or replacement of ducted, hydronic or concealed radiant type heating provided that the installation does not damage existing skirtings and architraves and that the central plant is concealed.
- Installation, removal or replacement of electrical wiring provided that all new wiring is fully concealed and any original servant's bells, light switches, pull cords, push buttons or power outlets are retained in-situ. Note: if wiring original to the place was carried in timber conduits then the conduits should remain in situ.
- Installation, removal or replacement of bulk insulation in the roof space.
- Installation of plant within the roof space.
- Installation of new built-in cupboards providing no alteration to the structure is required.

Demolition and routine maintenance

- Demolition of or alterations to a building that is not specified as a *Significant feature*. This includes routine maintenance that would change the appearance of a building.
- Demolition of the non-significant side or rear fence.

Construction of and extensions to buildings and fences

- Construction of an outbuilding with a gross floor area not more than 10 square metres and a maximum building height not more than 3 metres above natural ground level within the rear yard of a property as defined in Figure 1. This does not apply if it would require the removal, demolition or alteration of a *Significant feature*.
- Construction or extension of an open-sided pergola or verandah with a finished floor level not more than 800mm above natural ground level and a maximum building height not more than 3 metres above natural ground level within the rear yard as defined in Figure 1. This does not apply if it would require the removal, demolition or alteration of a *Significant feature*.

- Construction or extension of a deck with a finished floor level not more than 800mm above natural ground level within the rear yard as defined in Figure 1. This does not apply if it would require the removal, demolition or alteration of a *Significant feature*.
- Construction of a side or rear fence including the installation of lattice or trellis. This exemption does not apply to the installation of lattice or trellis on a fence identified as a *Significant feature*.
- Construction or extension of a domestic swimming pool or spa and associated mechanical equipment and safety fencing on any property provided that the pool is situated within the rear yard as defined on Figure 1. This does not apply if it would require the removal, demolition or alteration of a *Significant feature*.

3.8 St Andrew's Alphington and Fairfield Uniting Church, 85 Gillies St, Fairfield

This applies St Andrew's Alphington and Fairfield Uniting Church, 85 Gillies St, Fairfield, (HO314). *Significant features* are listed in Table 3.8

Table 3.8 – St Andrew's Alphington and Fairfield Uniting Church significant features

Significant feature	Non-significant features
The exterior and interior of the church as designed by Francis Bruce Kemp.	The existing picket fencing on the street boundaries The features located within the blue polygon on the aerial plan in Attachment B

Under Clause 43.01-2 of the Planning Scheme, no planning permit is required for the following buildings and works within HO314:

Interior

- Painting of previously painted walls and ceilings provided that preparation or painting does not remove evidence of any original paint or other decorative scheme.
- Installation, removal or replacement of carpets and/or flexible floor coverings. Installation, removal or replacement of curtain tracks, rods and blinds.
- Installation, removal or replacement of hooks, nails and other devices for the hanging of mirrors, paintings and other wall mounted art.
- Refurbishment of existing bathrooms, toilets and kitchens including removal, installation or replacement of sanitary fixtures including and associated piping, mirrors, wall and floor coverings.
- Demolition or removal of non-original partitions and tiling, sanitary fixtures and fittings, wall tiling and equipment, lights, built-in cupboards and the like.
- Removal or replacement of non-original door and window furniture including, hinges, locks, knobsets and sash lifts.
- Installation of stud walls, which are removable, providing no alteration to the structure is required.
- Removal of tiling or concrete slabs in wet areas provided there is no damage to or alteration of original structure or fabric.
- Installation, removal or replacement of ducted, hydronic or concealed radiant type heating provided that the installation does not damage existing skirtings and architraves and that the central plant is concealed.

- Installation, removal or replacement of electrical wiring provided that all new wiring is fully concealed.
- Installation, removal or replacement of bulk insulation in the roof space.
- Installation of plant within the roof space.
- Installation of new built-in cupboards providing no alteration to the structure is required.

Demolition and routine maintenance

- Demolition of or alterations to all features within the blue polygon shown in Figure 2. This includes routine maintenance that would change the appearance of a building.
- Demolition of the non-significant side or rear fences.
- Construction of and extensions to buildings and fences

FIGURE 2

*St Andrew's Alphington and Fairfield
Uniting Church, 85 Gillies St, Fairfield
The red line is the HO boundary and
the blue polygon is the area that is
appropriate for future development.*



3.9 Fairfield Railway Reserve

This applies to all land within the curtilage of the Fairfield Railway reserve as shown on the Fairfield Village Heritage Precinct map in Attachment A. Significant features are listed in Table 3.9.

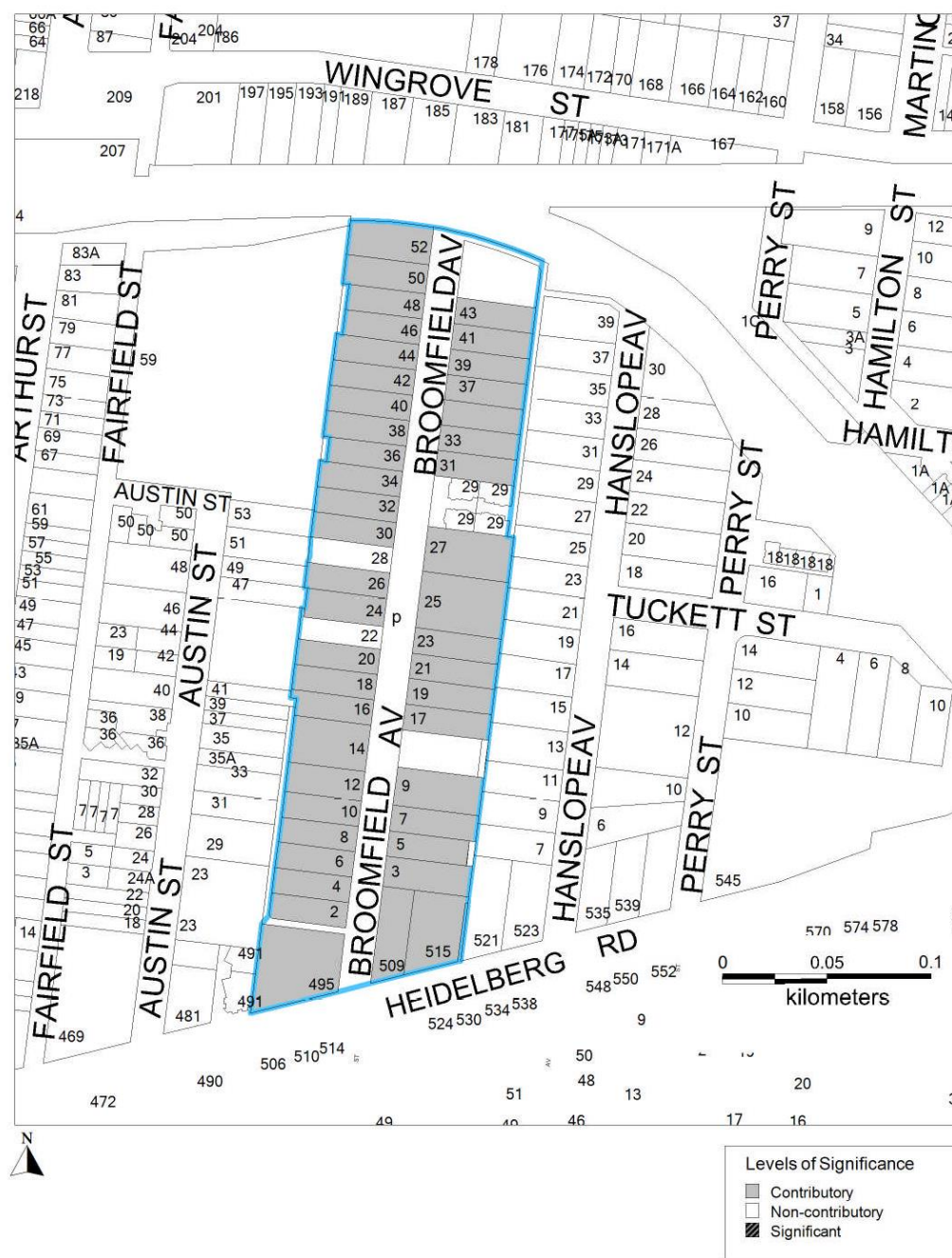
Table 3.9 – Fairfield Railway Reserve significant features

Significant feature	Non-significant features
The two mature palm trees at entrance to station from Railway Place	Wire mesh fencing
South side station building and verandah	Car park areas
North side station building and verandah	Gum trees
North and south platforms	FIDO art work
Timber pedestrian bridge	South side Protective Services Officer building and adjacent shelter
Signal Box, including timber staircase	

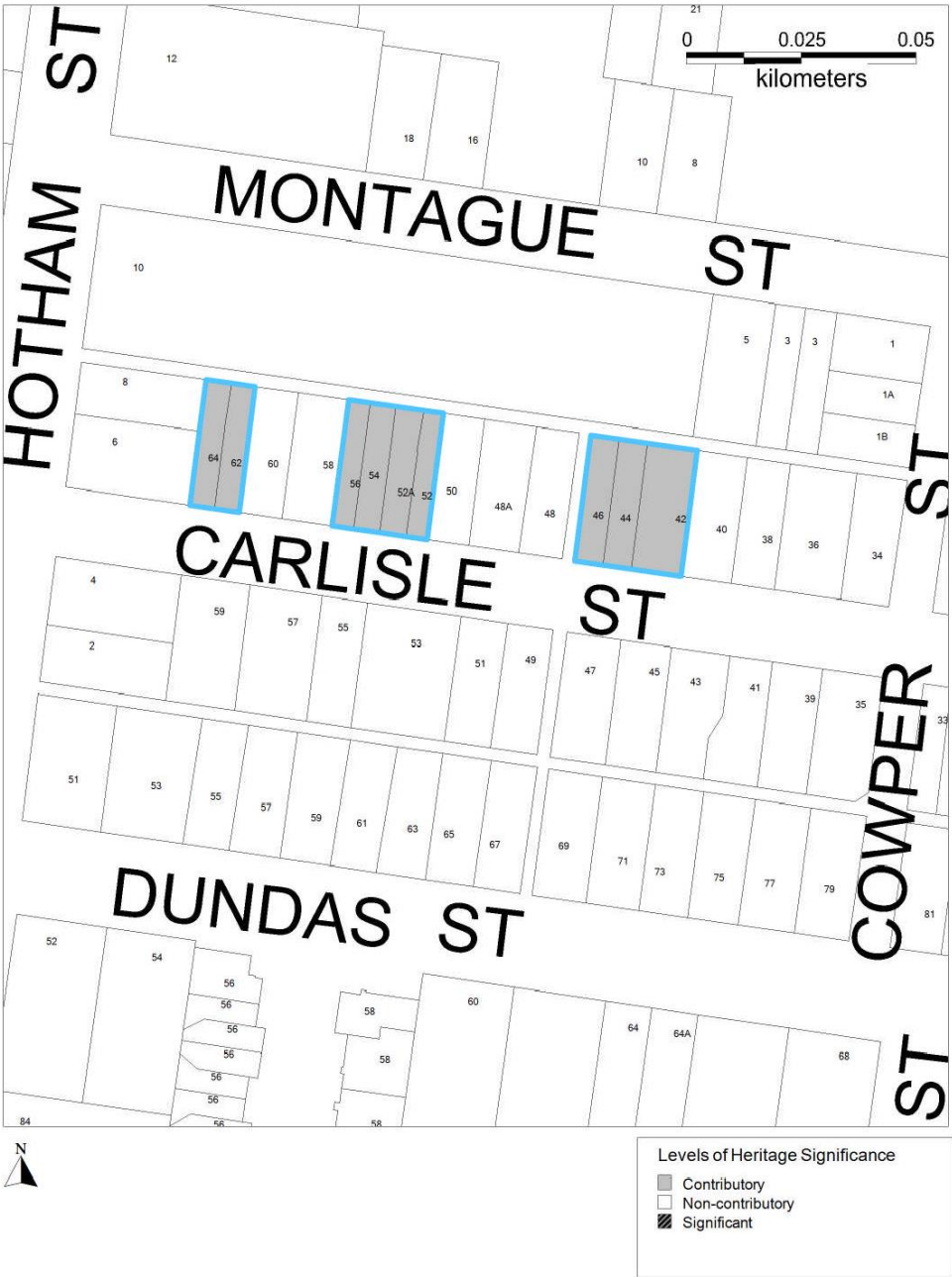
Under Clause 43.01-2 of the Planning Scheme, no planning permit is required for the following demolition and buildings and works within the Fairfield Railway Reserve within HO313:

- Removal of, modifications and repairs to and replacement of overhead power lines and associated support structures.
- Works, repairs and routine maintenance which change the appearance of a building, structure, tree or other item not identified as a significant feature in Table 3.9.
- Works, repairs and routine maintenance which do not change the appearance of a building, structure, tree or other item identified as a significant feature in Table 3.9.
- Repairs to and replacement of railway tracks and sleepers including ballast.
- Modifications and repairs to and replacement of any signaling or communications equipment.
- Removal of, repairs to, installation or replacement of ticket machines, passenger control gates, safety barriers, rubbish bins, seating, bicycle racks and other small items of platform furniture.
- Removal, installation, repair or replacement of non-commercial signage, security lighting and fire safety equipment provided it does not involve the removal or erection of a building or other structure.
- Demolition or removal of a fence
- Resurfacing of existing paths, platforms and driveways provided this is undertaken to the same details, specifications and materials.
- Removal, installation or replacement of garden watering, water recycling or drainage systems.
- Management of trees (except the two palm trees) in accordance with Australian Standard 4373: Pruning of Amenity Trees.
- The construction or demolition of buildings and works and tree removal necessary to achieve compliance with the Disability Discrimination Act 1992 and Disability Standards for Accessible Public Transport 2002, except for demolition or removal of any item identified as a significant feature in Table 3.9.

ATTACHMENT A – HERITAGE PRECINCT MAPS



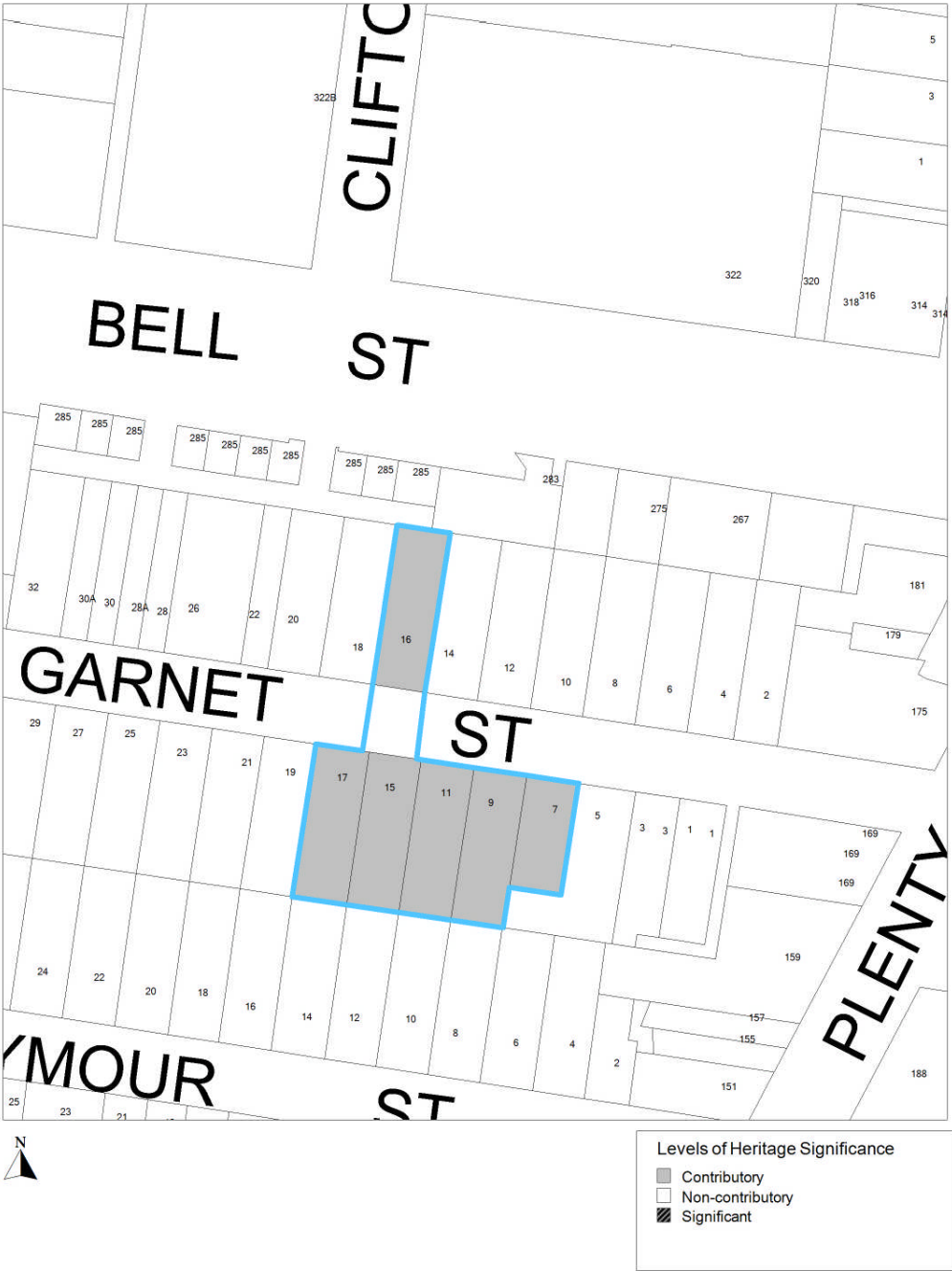
Broomfield Avenue Precinct, Alphington



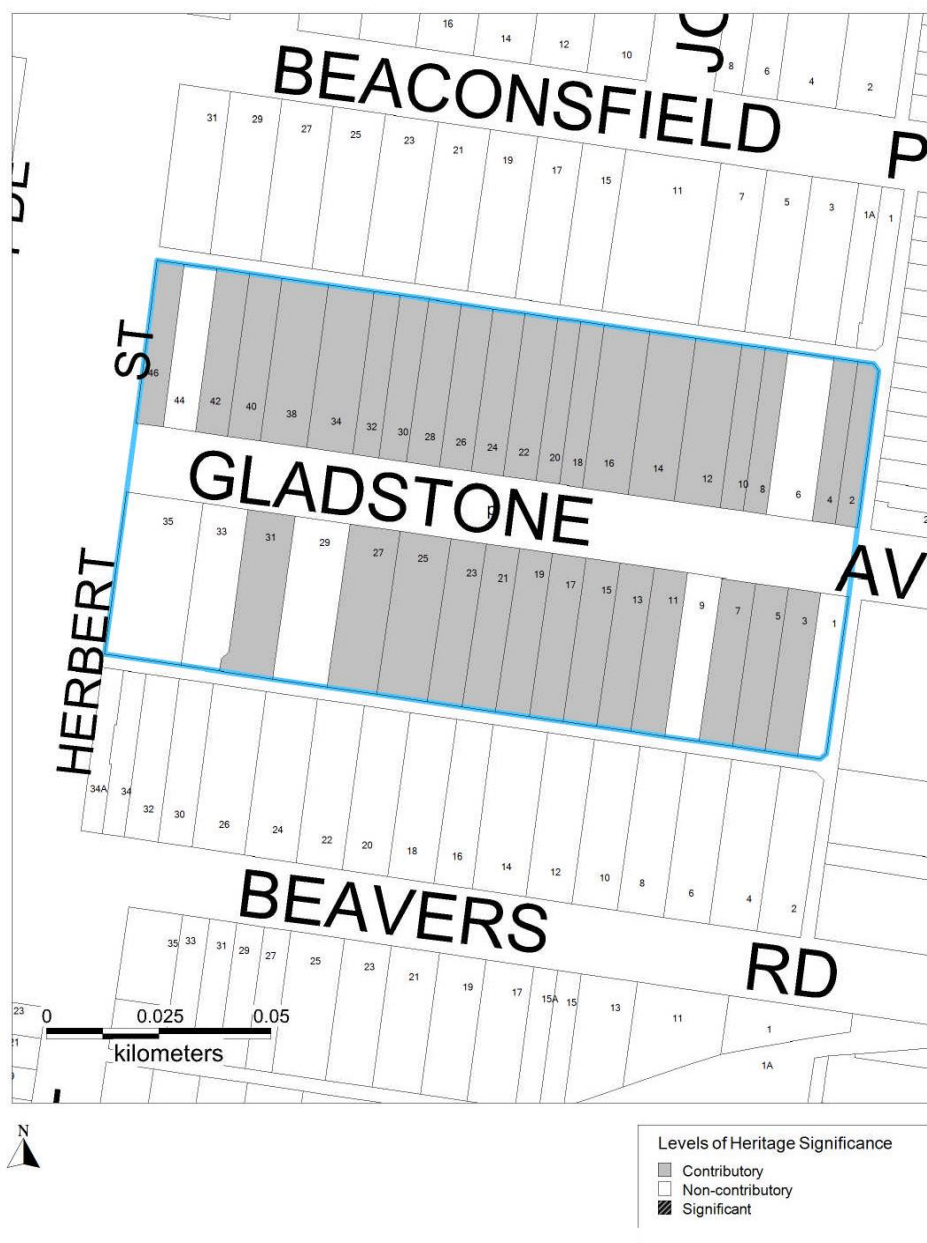
Carlisle Street Precinct, Preston



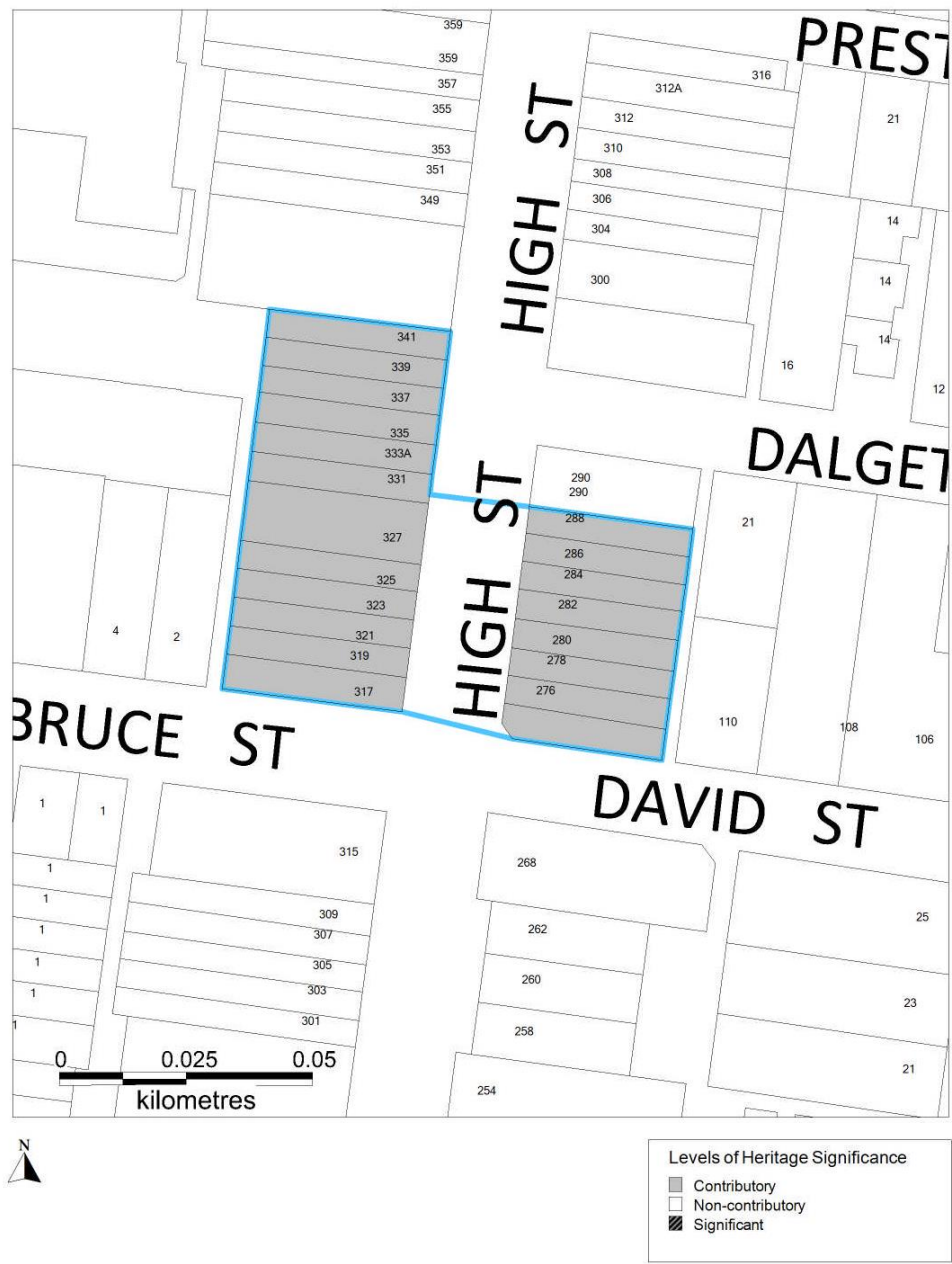
Edgar Street Precinct, Reservoir



Garnet Street Precinct, Preston



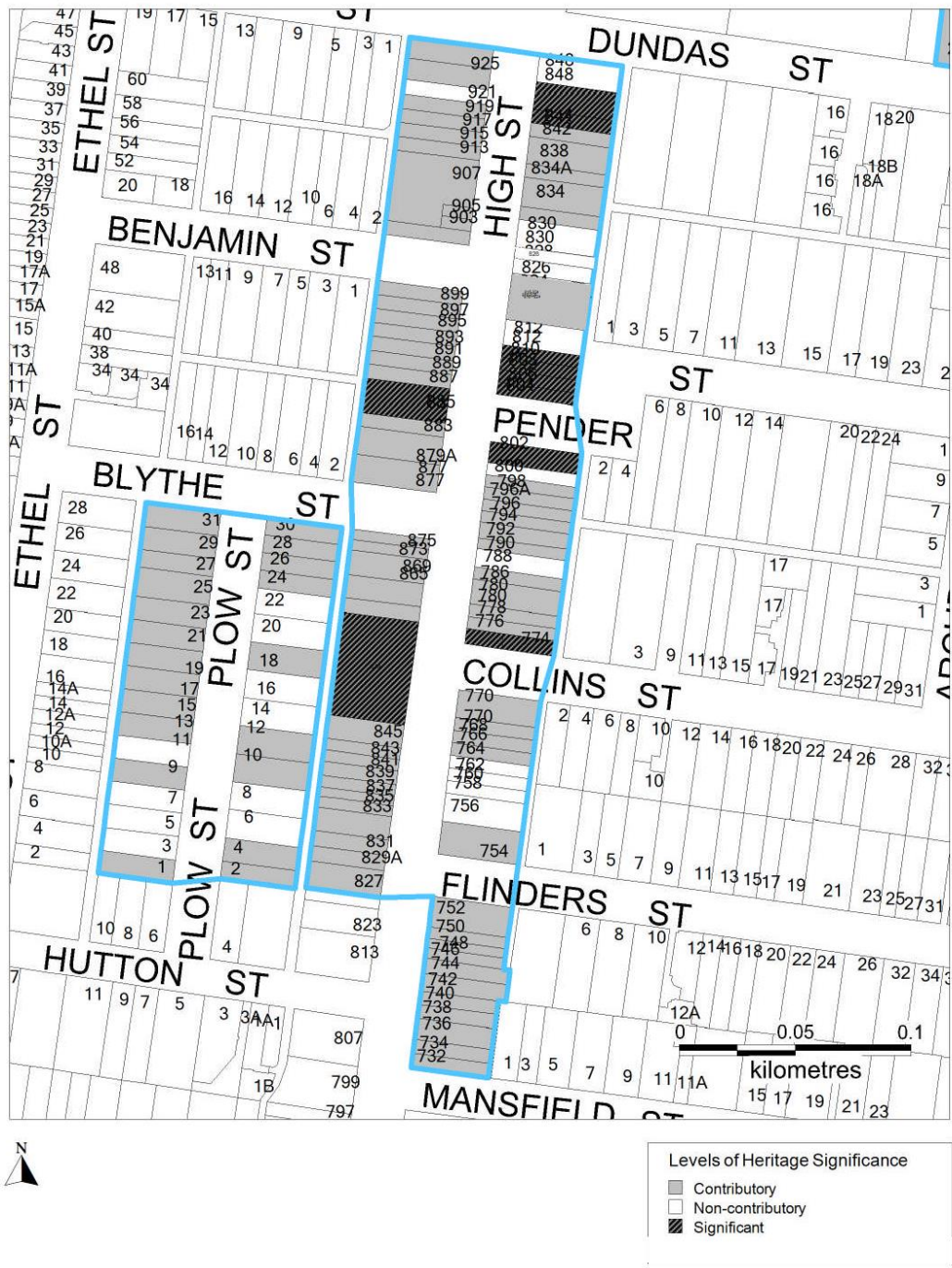
Gladstone Avenue Precinct, Northcote



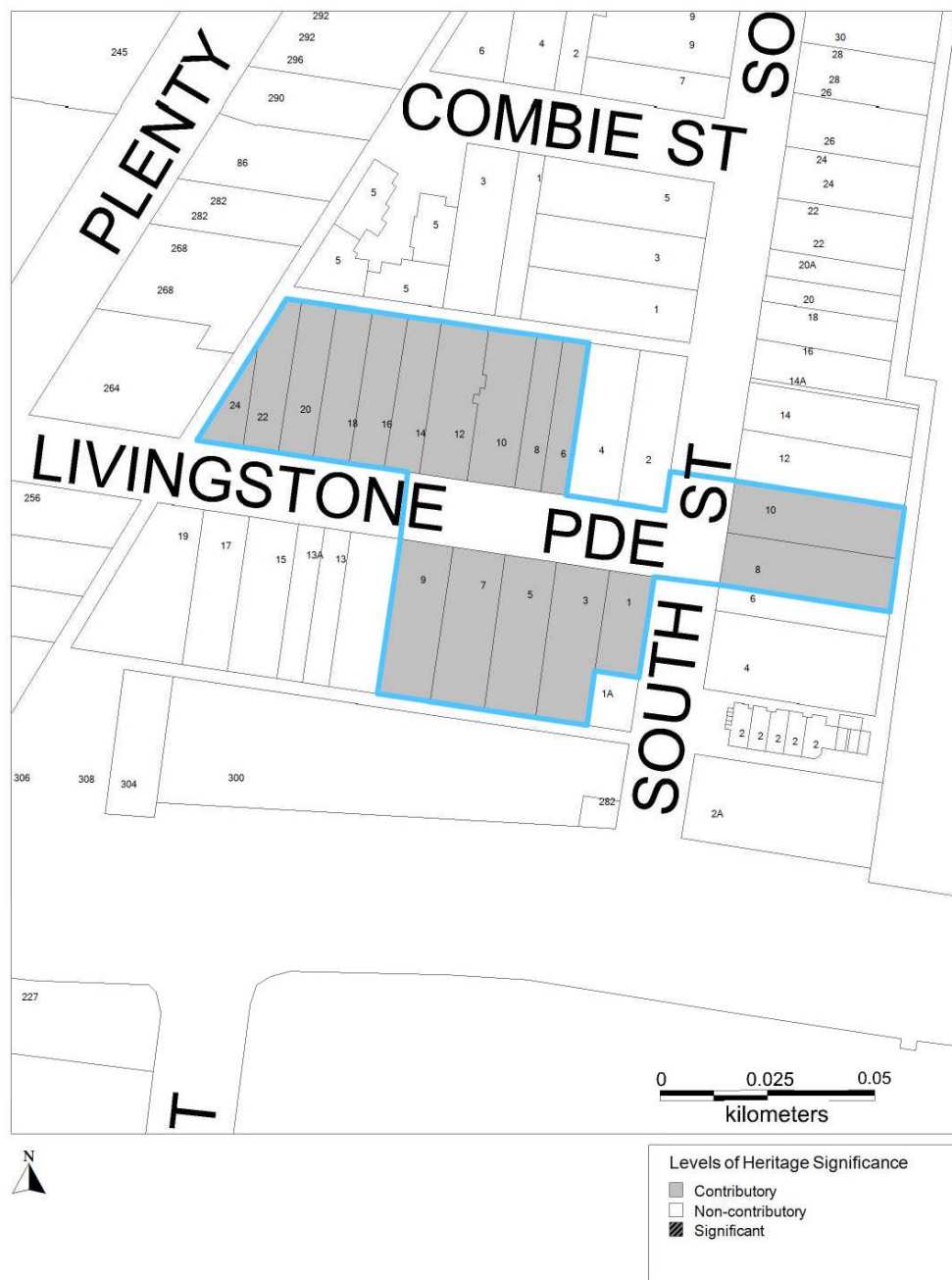
High Street, Preston



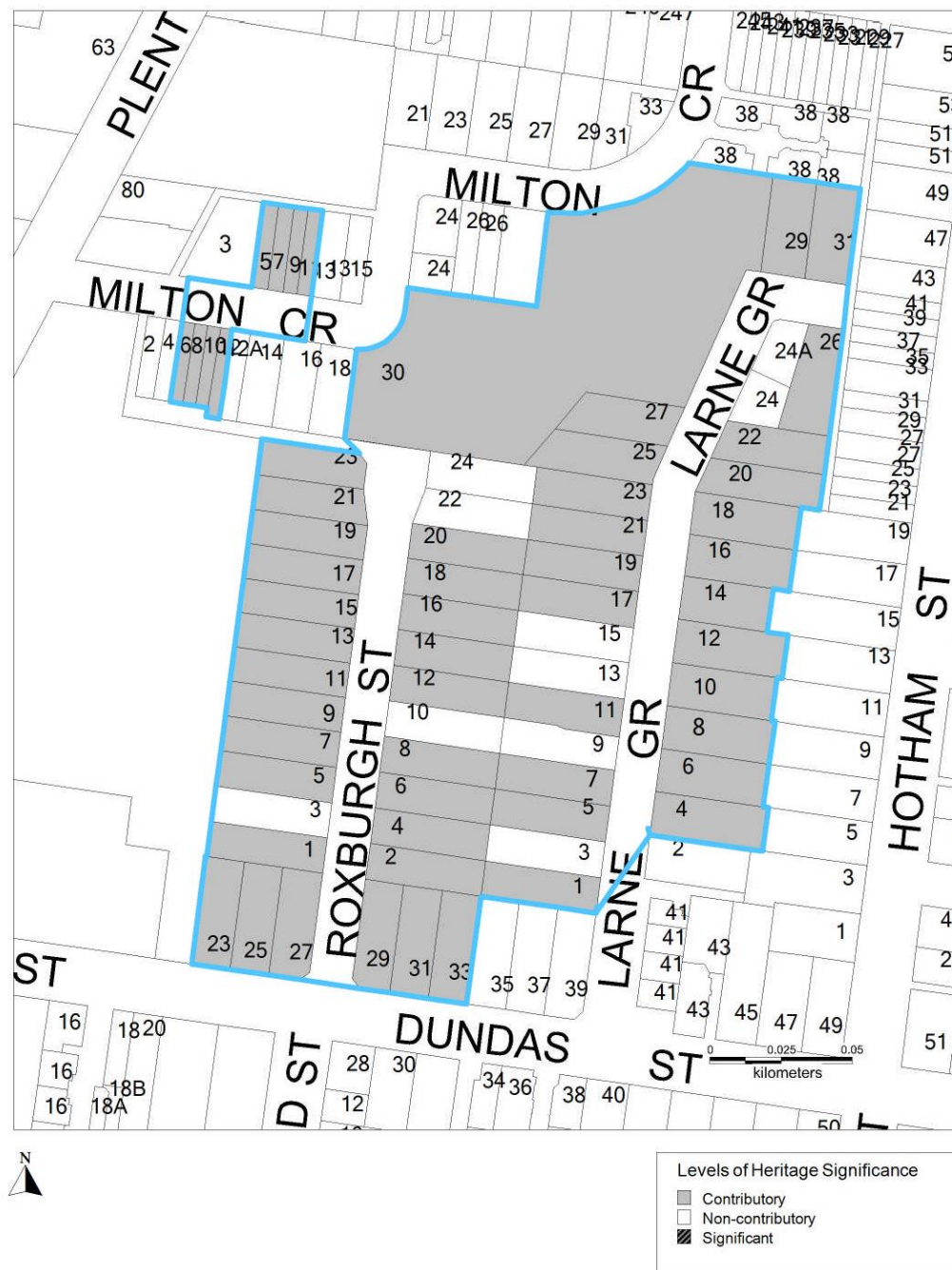
High Street, Reservoir



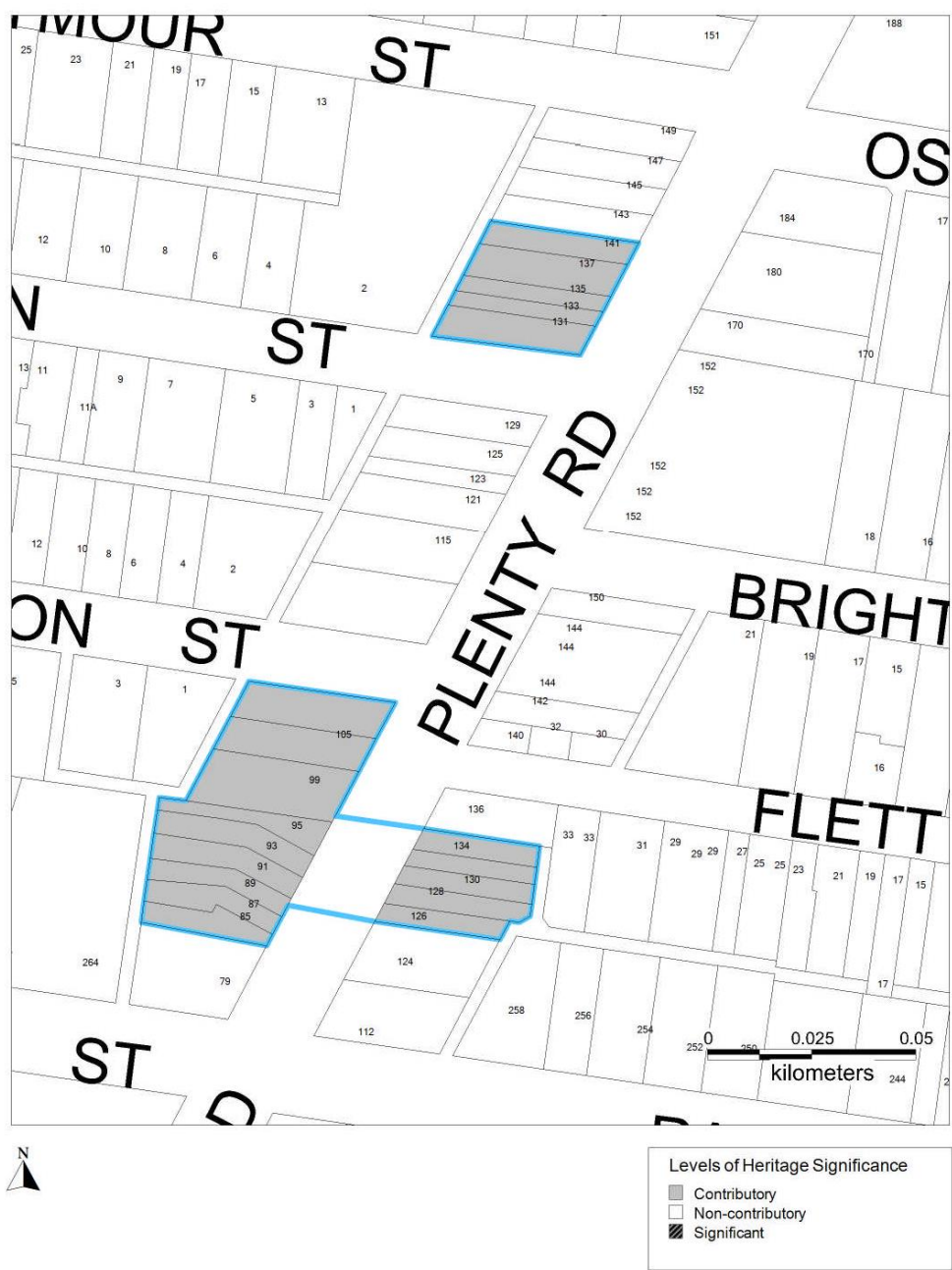
High Street, Thornbury



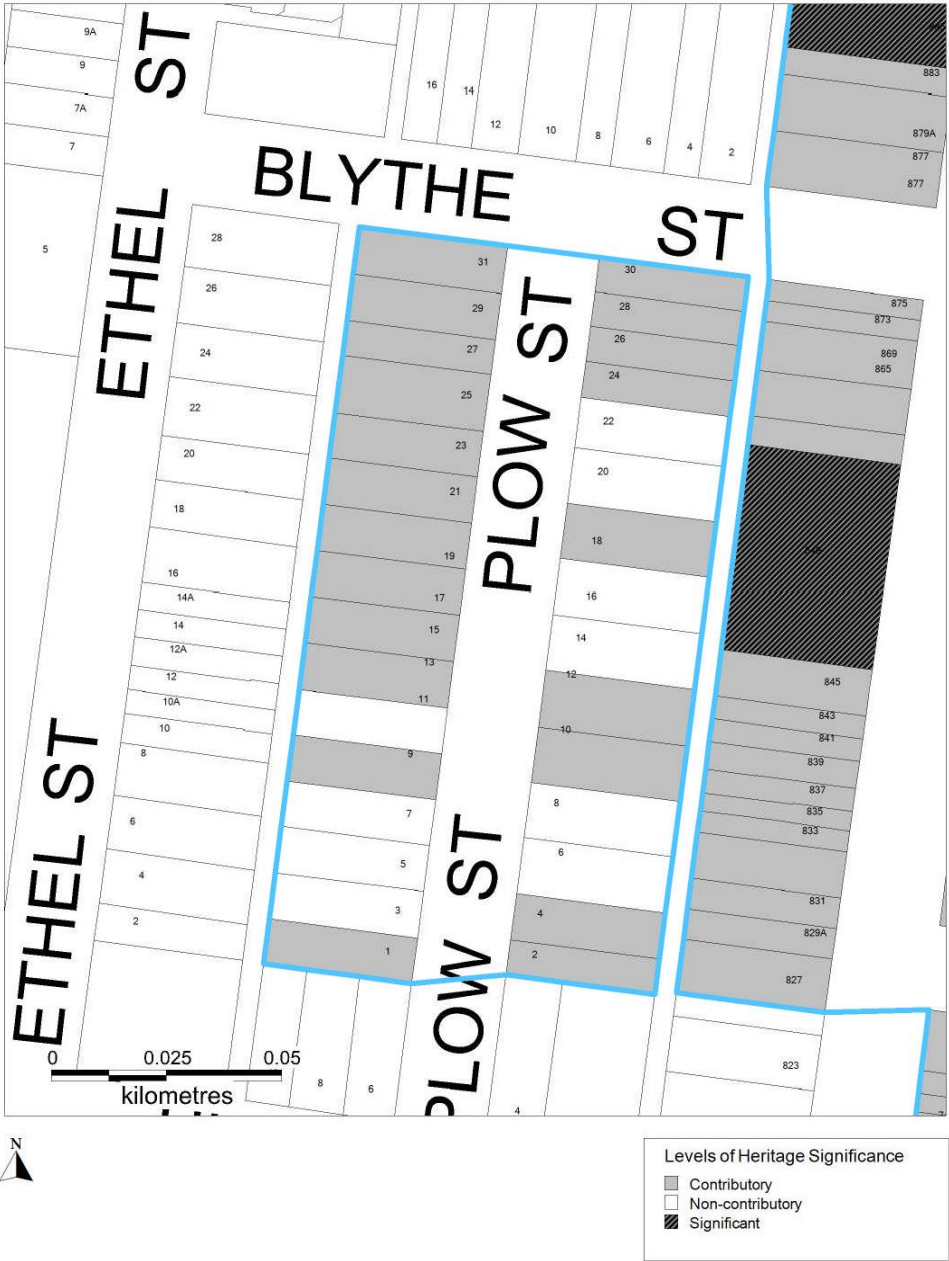
Livingstone Parade Precinct, Preston



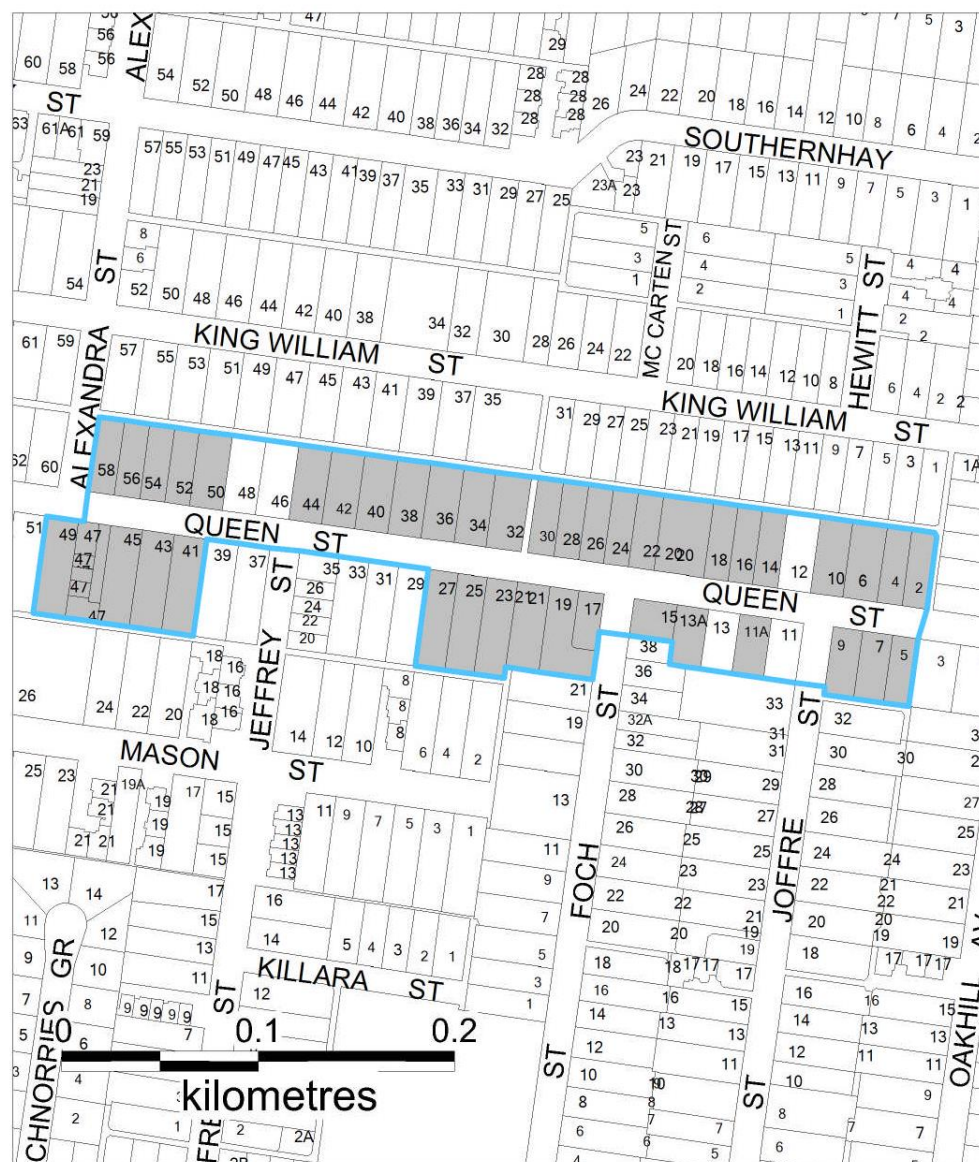
Milton Crescent Precinct & Larne Grove and Roxburgh Street Precinct, Preston



Plenty Road, Preston



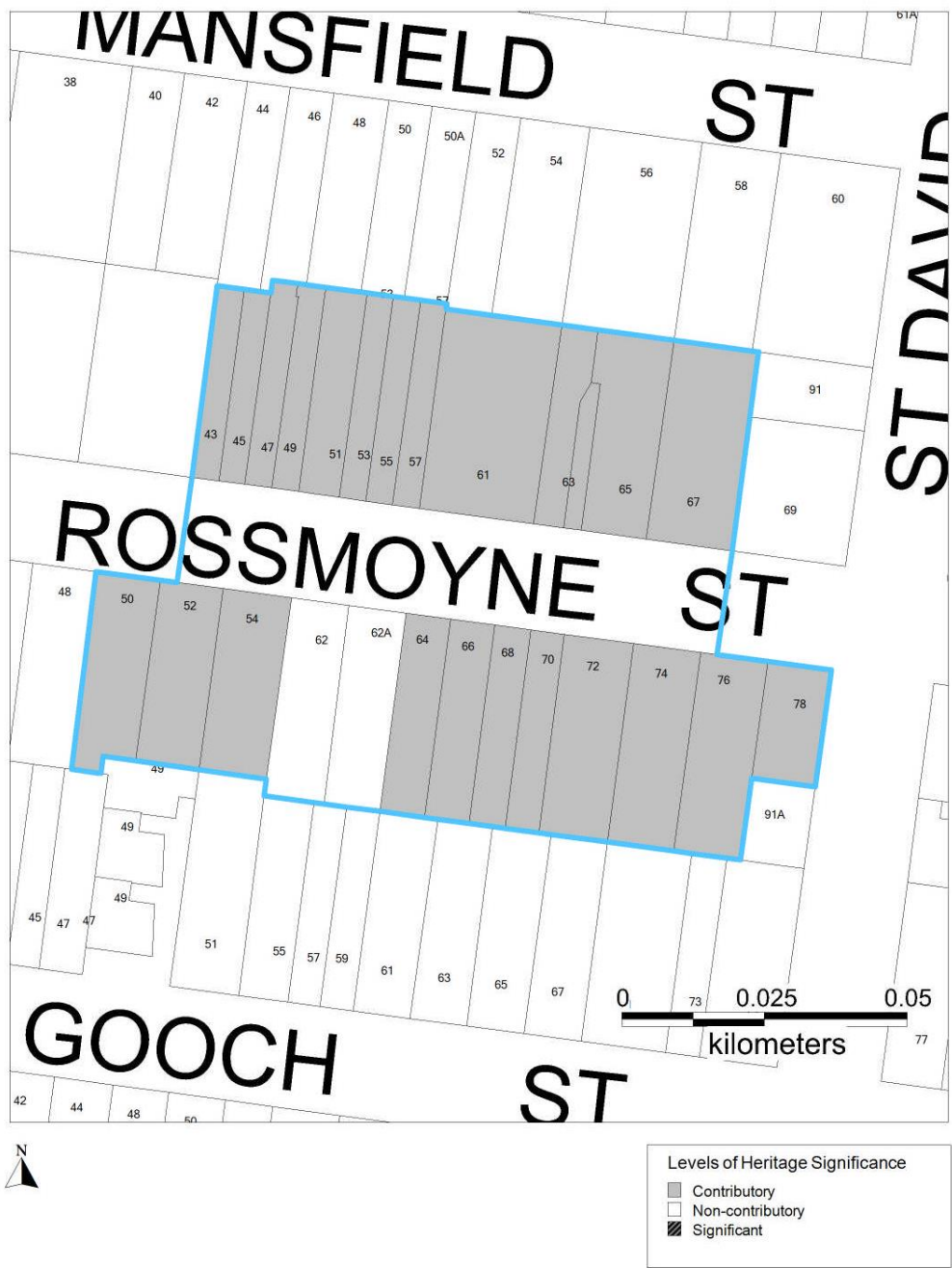
Plow Street Precinct, Thornbury



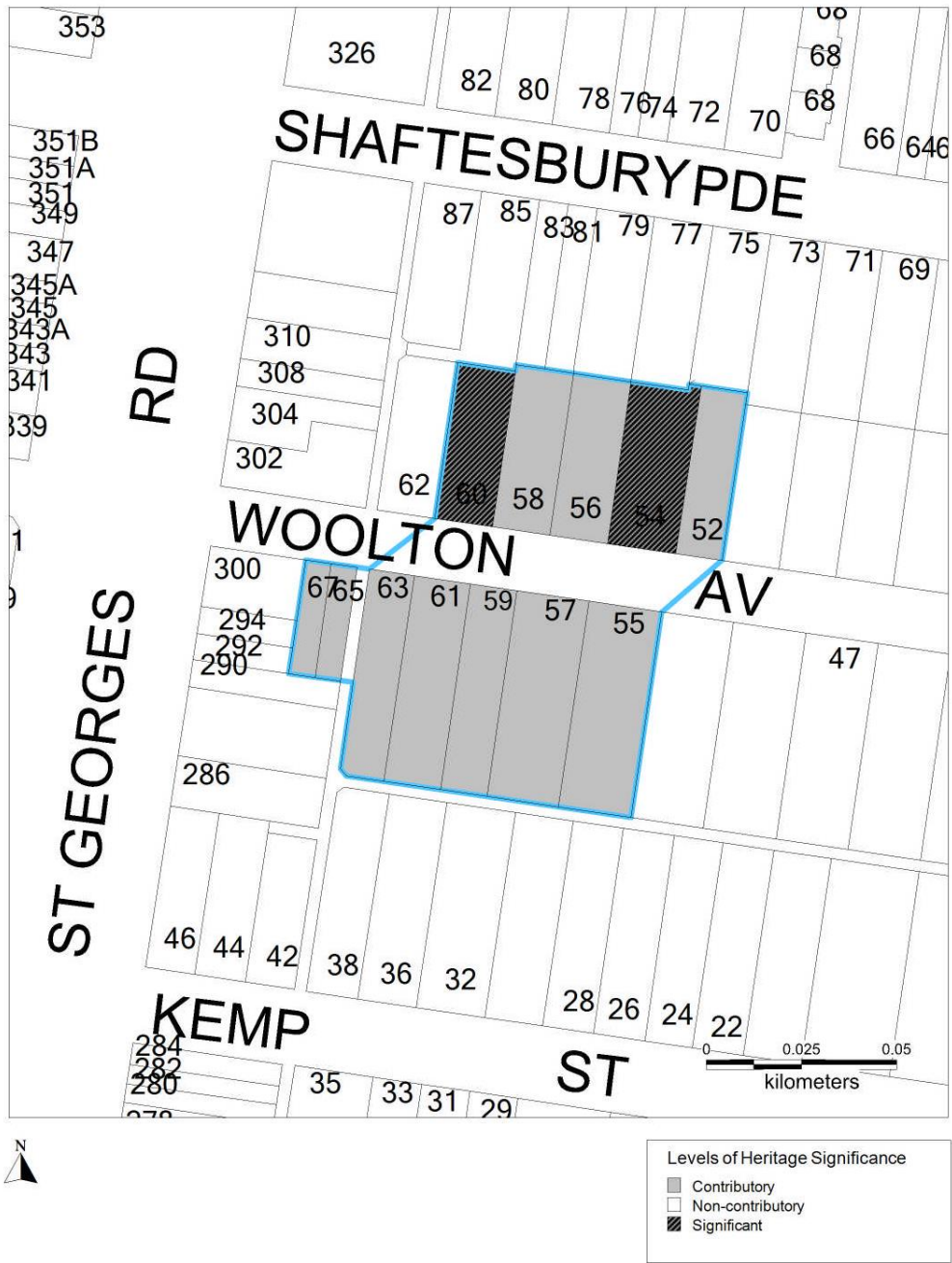
Levels of Heritage Significance

- Contributory
- Non-contributory
- Significant

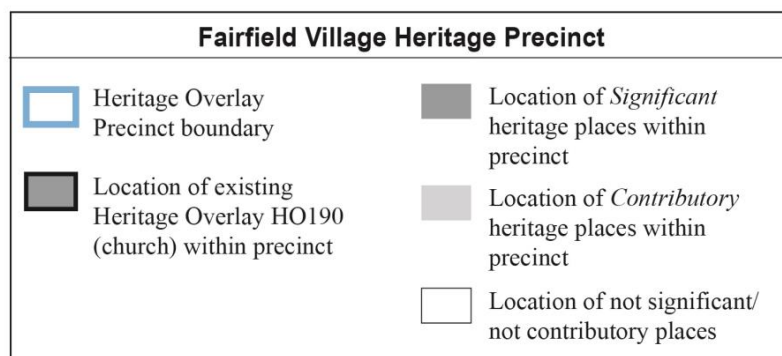
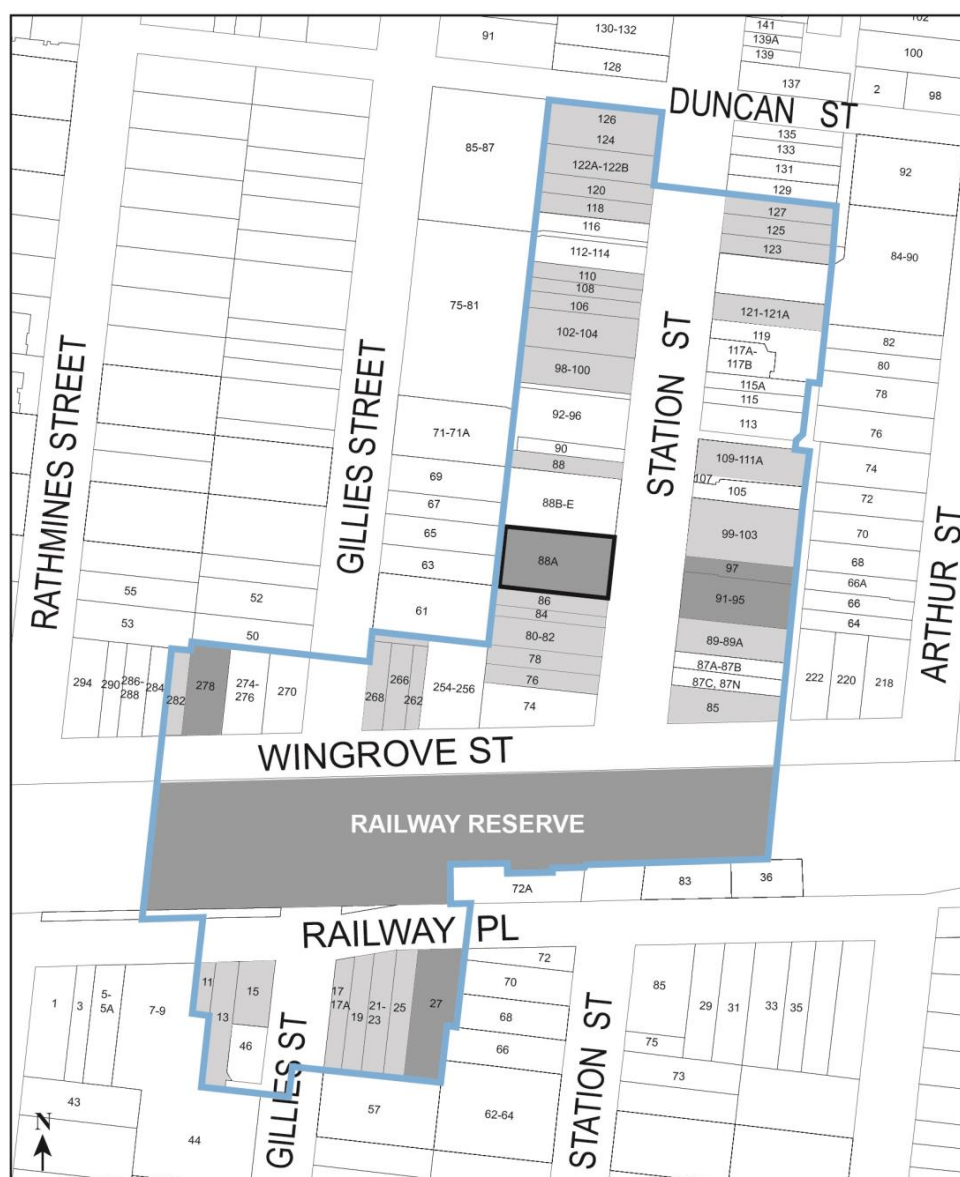
Queen Street Precinct, Reservoir



Rossmoyne Street Precinct, Thornbury



Woolton Avenue Precinct, Thornbury



Fairfield Village Heritage Precinct, Fairfield



Figure 26. Significance of individual elements of 159-179 Heidelberg Road, Northcote. (Source: Nearmap, with Context overlay)

159-179 Heidelberg Road, Northcote (Former Fairfield Hat Mills Complex)



TIMELINE

- ✓ **2018-**
Redevelopment of APM site
- ✓ **2019-**
Darebin and Yarra analysis of Heidelberg Road, prepare Local Area Plan (LAP)
- ✓ **2020-**
Darebin undertakes technical studies for north side of Heidelberg Road
- ... **May- July 2021**
Darebin seeking community feedback on planning approach (north side only)
- ... **Late 2021**
Darebin considers community feedback
- ... **Early 2022**
Darebin prepares planning scheme amendment
- ... **Mid 2022**
Darebin consults (exhibition) on proposed planning scheme amendment

The Heidelberg Road Corridor Project

Heidelberg Road forms the boundary between the City of Darebin (north side) and the City of Yarra (south side).

Redevelopment of the former Alphington Paper Mill site (APM) site will transform the Heidelberg Road Corridor and the type of business and development it attracts.

Currently there is no maximum building height or design guidance for either side of the road, which could see tall buildings approved.

To protect local amenity, Darebin City Council and Yarra City Council have worked together to create an overarching vision for the Heidelberg Road Corridor to guide future development. Each Council is also separately pursuing building design controls in their planning schemes. Darebin Council has now assessed the land currently zoned for industrial and commercial uses on the north side of Heidelberg Road and is considering planning options.

The technical studies used to inform Council's options are available to read online at: www.yoursaydarebin.com.au/heidelbergroadcorridor

We are seeking your feedback.

Have your say on the planning options for Heidelberg Road to help shape future building design and land use controls (on the Darebin side only).

Council will consider your feedback and prepare a summary to be reported back to Council later in the year. A future Planning Scheme Amendment will provide a further opportunity for consultation.

Darebin City Council acknowledges the Wurundjeri Woi-wurrung people as the Traditional Owners and custodians of the land and waters.

Council respects and recognises Aboriginal and Torres Strait Islander communities' values, living culture and practices. Aboriginal and Torres Strait Islander people and communities have had and continue to play a unique role in the life of the Darebin municipality. Council recognises and values this ongoing contribution and its significant value.

Heidelberg Road Local Area Plan

Developed by both Darebin and Yarra Councils, the Local Area Plan (LAP) provides strategic guidance on future land use and development along both sides of the Corridor.

Darebin City Council is seeking feedback on the Darebin (north-side) of the road.

The overall vision for the Heidelberg Corridor is to be *“greener, better connected, more pedestrian friendly and a vibrant place.”*

The Plan sets out a number of key outcomes and objectives to achieve this.

LAP Key Strategic Directions



DIVERSE ECONOMIC ACTIVITY

- Attract a wide range of businesses now and into the future
- Ensure employment generating land uses are attracted to and retained within the Corridor



COMMUNITY WELLBEING

- Support locating community services closer to their likely area of need
- Increase housing diversity and affordability along the Corridor
- Pursue new green space opportunities north of Heidelberg Road



IMPROVED ACTIVE TRANSPORT SERVICES AND ACCESSIBILITY

- Improve public transport access, service frequency and coverage, to and along Heidelberg Road
- Increase connections for pedestrians and cyclists
- Increase permeability and safety for pedestrians
- Minimise pressure on parking in residential areas behind Heidelberg Road
- Reduce or limit vehicle crossovers



DISTINCT PRECINCT IDENTITY

- Create a more pedestrian orientated, attractive and safe public realm
- Ensure new development is sensitive towards existing residential uses
- Ensure public realm achieves a strong place identity

“

WE WANT YOUR FEEDBACK

on the proposed vision, key outcomes and objectives to help shape the future of the Corridor. Head to Council's website to read the draft Plan in full.

”



PLANNING CONSIDERATIONS

Council has undertaken technical studies to consider appropriate planning controls for the Heidelberg Road Corridor to achieve the vision, for the area as set out in the LAP.

We are considering an option to rezone existing industrial land (IN3Z) to the Commercial 2 Zone (C2Z). To attract a wider range of jobs, while still excluding residential uses.

Alternatively, we could retain the current zoning, which still allows jobs to grow, but new office developments must seek permission for the change of use, as well as the building design.



SUPPORT MORE LOCAL JOBS

The Economics and Land Use study found Heidelberg Road is an important employment precinct in a great location where more jobs should locate.

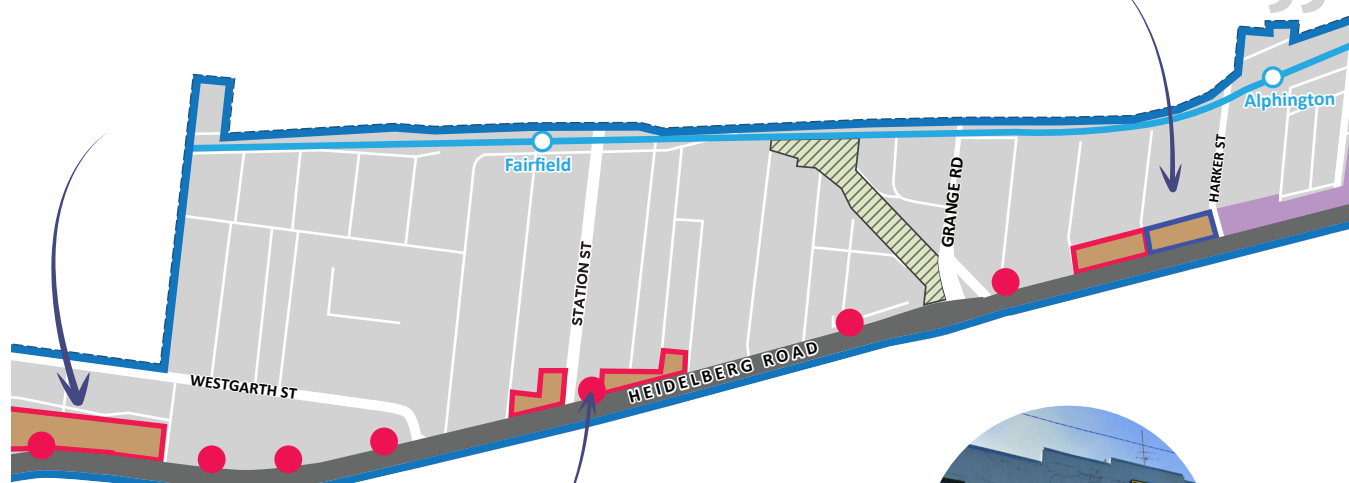
The current Industrial 3 Zone provides for important commercial and light industrial jobs but some sites are underutilised and it's not as successful as other employment precincts.

We are also considering rezoning the larger Fort Knox Storage site to a new Commercial 3 Zone (C3Z) to allow a restricted amount of residential uses that support, rather than undermine the employment precinct.



WE WANT YOUR FEEDBACK

on whether you support the rezoning being considered, or prefer to retain the current industrial zone.



PROTECT LOCAL HERITAGE

Seven properties were identified as having local heritage significance, with the application of Heritage Overlays recommended to protect them.

LEGEND

- CONSIDER CHANGE TO COMMERCIAL 2 ZONE
- CONSIDER CHANGE TO COMMERCIAL 3 ZONE
- EXISTING INDUSTRIAL 3 ZONE - CONSIDER RETAINING
- EXISTING COMMERCIAL 1 ZONE - NO CHANGE
- RAILWAY SPUR
- HERITAGE OVERLAY



FORMER FAIRFIELD HAT MILLS COMPLEX



CHURCH OF JESUS CHRIST OF THE LATTER-DAY SAINTS



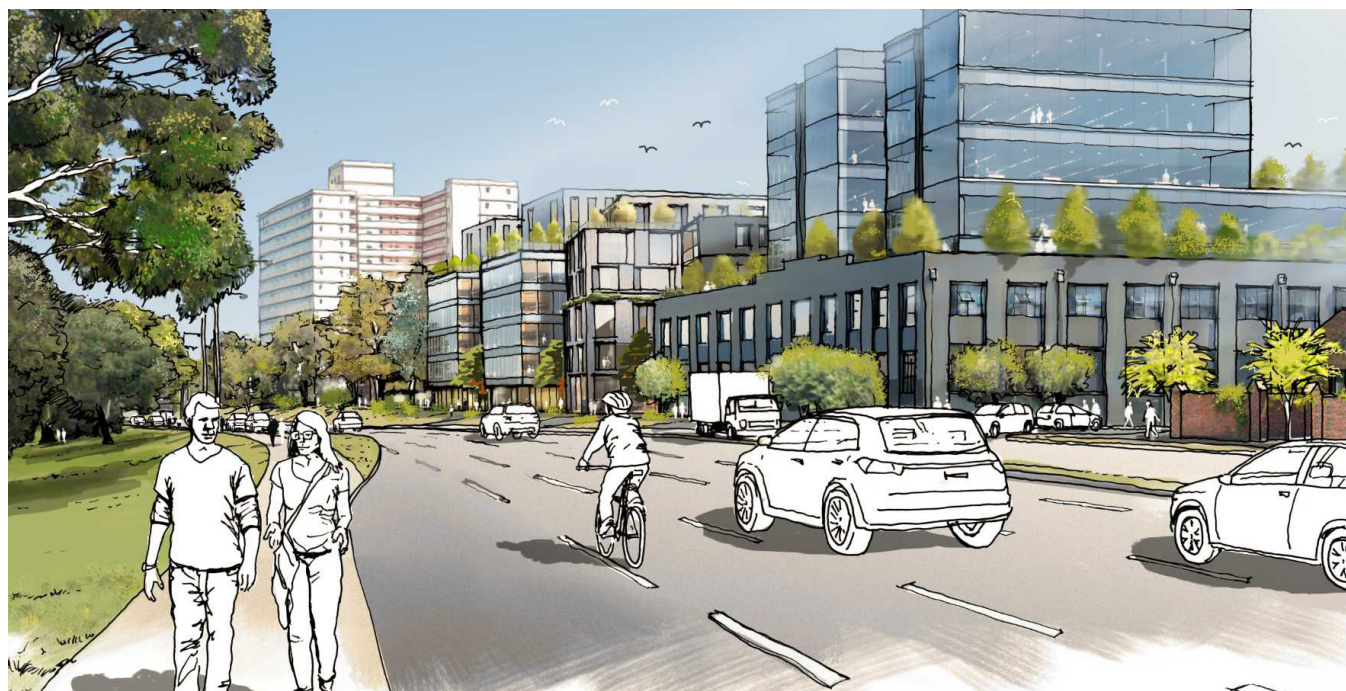
INTRODUCE BUILDING GUIDANCE & CONTROLS

The Built Form Framework considers introducing building height limits and setbacks controls on commercial land, and heritage overlays for some properties in the corridor. The guidance aims to strike a balance between supporting more jobs in the area and protecting residential amenity.

Development floorspace is significantly limited by a road widening overlay that prevents owners from building over it.

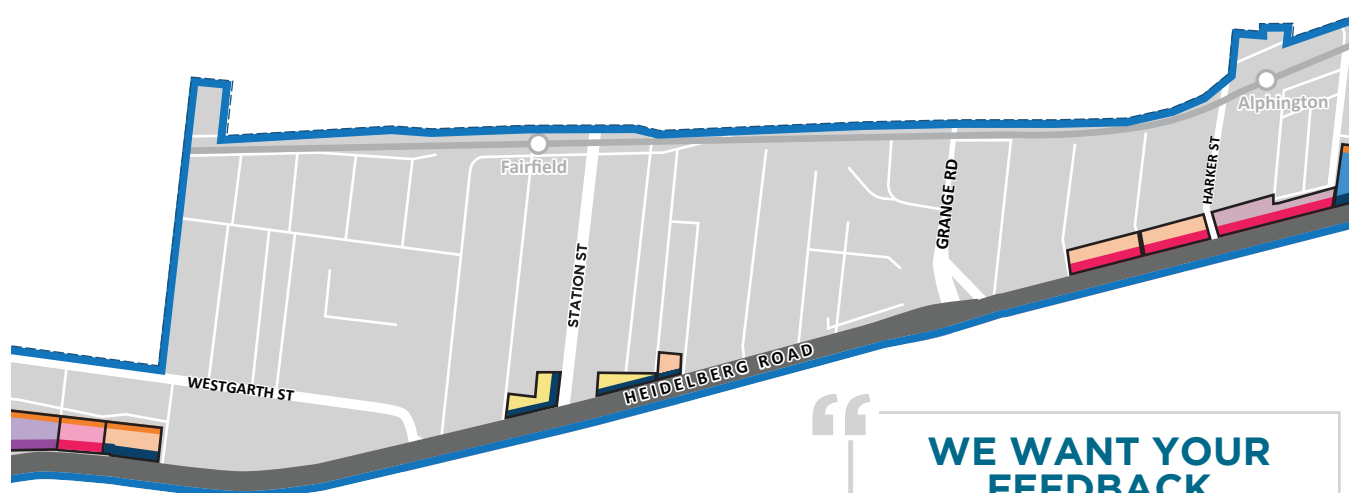
This means it may not be feasible to develop this land if height limits are set too low.

Council is considering whether building heights should be discretionary or mandatory building height limits (mandatory height cannot be varied).



CRAIG PERRY '21

Illustration depicting maximum building and street wall heights for development in Precinct 1 on Heidelberg Road as proposed by design guidance.



LEGEND

BUILDING HEIGHT

4 STOREYS	6 STOREYS
5 STOREYS	7 STOREYS
6 STOREYS	8 STOREYS

STREET WALL HEIGHT

8m(2 STOREYS)	15.5m(4 STOREYS)
12m(3 STOREYS)	19.5m(5 STOREYS)

WE WANT YOUR FEEDBACK

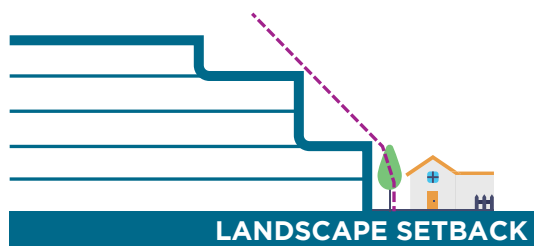
on the proposals for building design, particularly around preferred maximum building heights.



INTRODUCE BUILDING GUIDANCE & CONTROLS

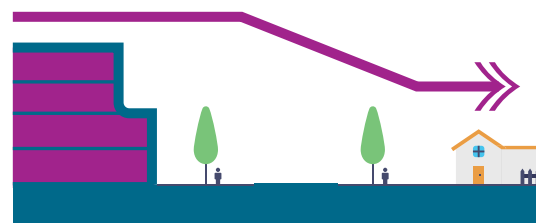
Building, street wall heights and overshadowing controls are being considered. As well as side and rear setbacks which will help minimise visual bulk and maintain the amenity of neighbouring dwellings and residential streets as illustrated in the below diagrams.'

SETBACKS OF NEW BUILDINGS TO REAR OF RESIDENTIAL PROPERTIES.



Ensure new buildings provide rear setbacks and landscaping to minimise visual bulk when viewed from adjoining residential properties.

UPPER LEVEL SETBACKS FOR BUILDINGS ALONG SIDE STREETS.



Ensure new buildings provide setbacks along residential side streets to respect character and amenity.



Illustration depicting maximum building and street wall heights for development in Precinct 2 on Heidelberg Road as proposed by design guidance.

CRAIG PERRY '21



Illustration depicting maximum building and street wall heights for development in Precinct 3 on Heidelberg Road as proposed by design guidance. *Illustrations are an indicative representation of how Heidelberg Road might appear if all sites were redeveloped to the proposed maximum building and street wall heights. The maximisation of all sites is unlikely.

We want your feedback

Darebin City Council is now seeking your feedback on the proposed planning approach for the Heidelberg Road Corridor. Following the completion of Council's community and stakeholder consultation, all feedback will be considered, and a summary report will be prepared and reported to Council later in the year.

Your input will help shape a future Planning Scheme Amendment to implement planning, design and heritage controls. Once a Planning Scheme Amendment has been prepared, a statutory exhibition process will provide further opportunities for community and stakeholder input.

Learn more and have your say on the proposed changes.

- Attend** one of our information sessions. For more details, updates and to register visit Yoursaydarebin.com.au/heidelbergroadcorridor
- Provide** a response via our survey by visiting our Yoursay page
- Email** us at planningservices@darebin.vic.gov.au
- Visit** our website at Yoursaydarebin.com.au/heidelbergroadcorridor
- Call** Council's Strategic Planning Unit on 8470 8989

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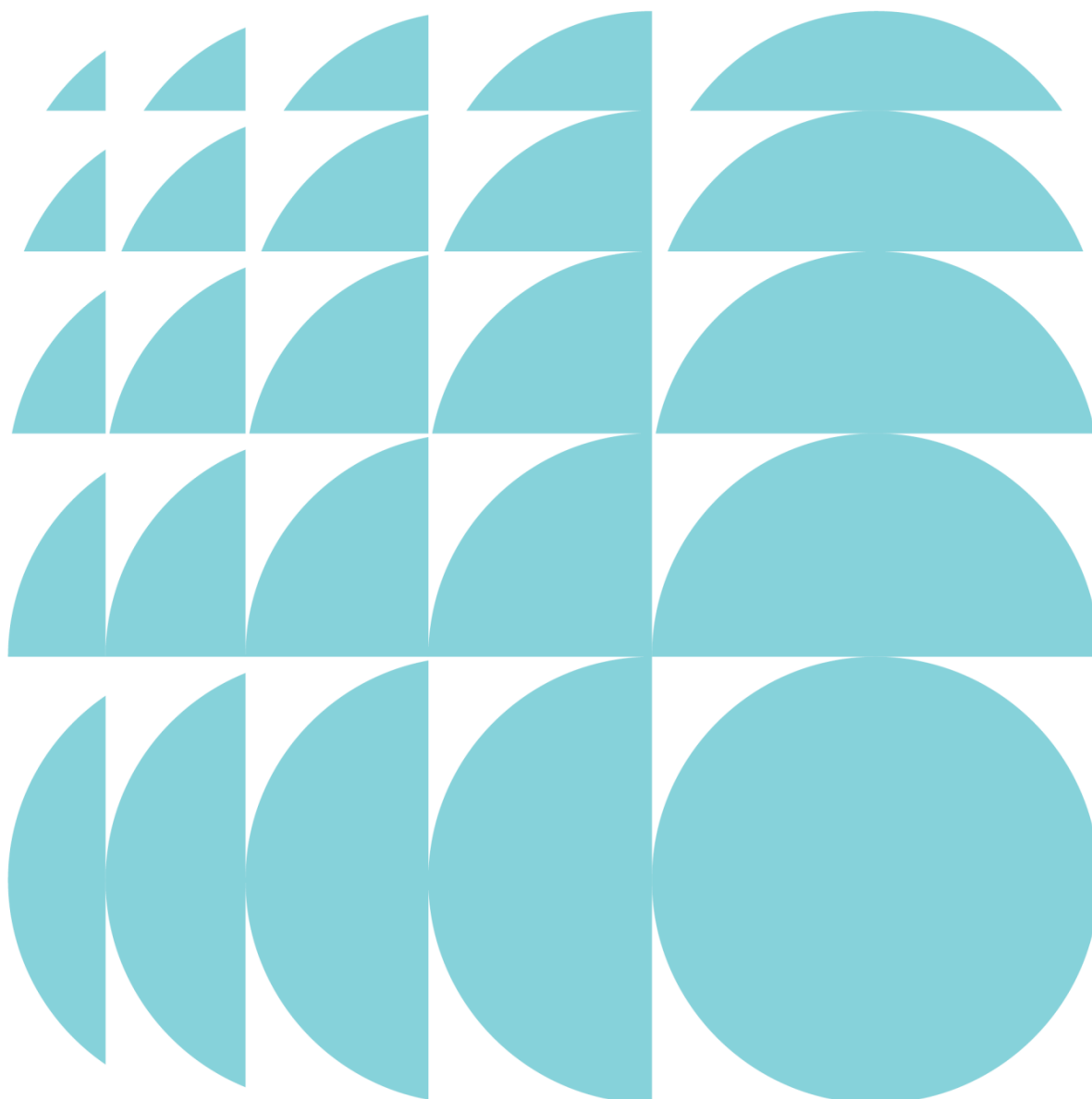
ETHOS URBAN

HEIDELBERG ROAD CORRIDOR PLANNING

Engagement Summary

Submitted to Darebin City Council

October 2021 | [3210054](#)



CONTACT

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1. Executive Summary

Darebin City Council engaged Ethos Urban to lead the engagement component of the Heidelberg Road Corridor Planning project, for the areas of the Corridor that fall within their municipality (Darebin side). The municipality on the south-eastern side of Heidelberg Road is the City of Yarra. The Darebin side of the road was the focus of this engagement.

This document reports on the promotional and engagement activities undertaken between May – August 2021 in relation to the future of the Heidelberg Road Corridor (Darebin side), including proposed planning changes and the vision set out in the Draft Local Area Plan (LAP).

1.1 Summary of Engagement

A range of promotional activities were undertaken to promote the project and the opportunity for community to have a say, including:

- A dedicated “Your Say” project page on Council’s website
- Information posters displayed locally in the Preston Library
- Five social media posts, which reached 29,132 people
- A letterbox drop to 1,500 properties and the 140 landowners/occupiers that were identified as being directly impacted by the proposed planning control changes.

Ethos Urban delivered the following engagement activities:

- Online survey: Ethos Urban prepared an online survey that was finalised and released by Council on its *Have Your Say* website.
- Two online information sessions: participants could hear information about the project and ask questions.
- A pop-up session: to promote the project and the opportunity to participate in the survey.

There were a total of 300 participants in the engagement activities, which includes:

- A total of 246 respondents (including full or partial completion) of the online survey:
 - of the respondents, 99 people identified as living in in the Heidelberg Road Corridor
 - 14 people identified as business owners within the Heidelberg Road Corridor
 - 29 people identified as a visitor to the Heidelberg Road Corridor.
- A total of 47 people registered and 42 people participated in the online information sessions:
 - of the 47 people who registered for the online information sessions, 47 people identified as local residents, while 11 people identified as a visitor and 9 people identified as a local business owner.
- A total of 42 people participated in the pop-up session.

1.2 Key Findings Snapshot

Overall, engagement for this project highlighted a diverse range of opinions and questions participants had regarding the proposed planning control changes to the Heidelberg Road Corridor. Participants provided input on the proposed planning control changes, and the potential impact on the Heidelberg Road Corridor and the surrounding community.

The key issues raised by participants included:

- **Built form controls:**
 - Some participants expressed support for development along Heidelberg Road that was appropriately scaled, sustainable and of a high quality - provided that traffic congestion, parking and safe active transport could be managed.

- Many participants raised concern that the proposed planning controls that allowed for increased building height and form would negatively impact the amenity of the surrounding area, with overshadowing and ‘wind tunnels’.
- Of the options proposed, the most supported height limits were 4 and 5 storeys, rather than heights between 6 and 8 storeys.
- Current residents questioned how increased building height would impact amenity and their enjoyment of living in the area – of concern was overshadowing, impacts to public open space and privacy.
- Some participants were concerned that this would result in a scale of development which they considered inappropriate for the area. Participants believed that this would influence the character of the Heidelberg Road Corridor and negatively impact their wellbeing.
- Participants overall strongly supported mandatory height limits rather than discretionary height limits, as it was thought developers would ‘take advantage’ of discretionary heights.
- **Zoning changes:**
 - Over a third of respondents support or strongly support changing the industrial zoning to Commercial 2.
 - Over a third of respondents supported or strongly supported re-zoning Fort Knox to Commercial 3.
 - Generally, the majority preferred a mix of uses (commercial that allowed for some residential development and the continuation of industrial uses that currently exist), to allow for a diversity of activities, providing the character of the area wasn’t significantly changed.
 - Some respondents thought the proposed zoning changes would result in negative impacts to their properties and the character of the Heidelberg Road Corridor area.
 - Respondents who were against the proposed Commercial 2 Zone thought it could result in an oversupply of office spaces (regarded as unnecessary due to changed ways of working due to the pandemic) or price small businesses and creatives out of the area.
- **Traffic and parking congestion:**
 - Participants were concerned that the increased density of development would result in increased traffic congestion within the Heidelberg Road Corridor.
 - Participants said there was a need for new developments to provide for all the parking needs of their residents to ensure that the surrounding residential streets would not be responsible for providing space for car parking.
- **Heritage Overlay:**
 - Overall, there was support for the proposed Heritage Overlay on the identified significant sites.
 - Some participants were displeased that the proposed Heritage Overlay would impact their property. These participants expressed a concern that this would cause them financial loss due to the potential devaluing of their property.

2. Introduction

Darebin City Council engaged Ethos Urban to lead the engagement component of the Heidelberg Road Corridor Planning project, for the areas of the Corridor that fall within their municipality (Darebin side).

The engagement aimed to provide opportunities for community and stakeholders to contribute to the overarching vision and directions for the future of the Heidelberg Road Corridor (Darebin side) and the proposed planning response, articulated within the Draft Local Area Plan (LAP) and proposed planning controls.

Purpose of this Report

This document reports on the engagement undertaken between May 2021 – August 2021 to support the Heidelberg Road Corridor planning project. Its purpose is to provide a summary of key feedback and insights received throughout this engagement period.

2.1 Project Context

The Heidelberg Road Corridor Planning project seeks to develop planning controls to strategically manage growth and development change for land currently zoned for Industrial or Commercial uses along Heidelberg Road (the Corridor) in the City of Darebin and the City of Yarra.

The project in part responds to new development on the former Amcor Alphington Paper Mill (APM) site, located in the Corridor (Yarra side). A Development Plan to transform the APM site to a mixed-use Precinct was approved in 2015, and number of other major redevelopment proposals have been lodged with Yarra and Darebin Councils since, and there has been community concerns about the scale of development applications.

A significant amount of strategic work has been undertaken over the past 16 months by Yarra and Darebin City Councils to understand the existing context of Heidelberg Road in terms of planning controls, development applications, built form and existing street conditions. This work identified key issues and opportunities and informed the preparation of the Draft Local Area Plan. This Local Area Plan sets a common vision with strategic planning objections and actions, providing the shared strategic framework for subsequent work.

Darebin City Council undertook strategic investigations including a Built Form Framework, an Economics and Land Use Study, and a Heritage Study and consulted with the community on its proposed vision for the Corridor to attain a better understanding of their aspirations for the Corridor and the appropriate planning response.

3. Engagement Overview

3.1 Engagement Objectives

Engagement with the community took place between May and August 2021 to inform a planning scheme amendment later in the year.

The following objectives guided the community engagement process:

- to convey the vision for the future of the Corridor (Darebin side), as proposed in the LAP
- to propose options for and seek feedback on the scale and form of buildings that would be facilitated by the proposed design controls, and the reasoning for them
- to seek feedback on mandatory and discretionary building heights
- to communicate the proposed heritage controls and where they would apply and seek feedback on these controls
- to propose options for and seek feedback on the proposed land use zone change, along with the implications and reasoning.

3.2 Scope of Engagement

The scope of engagement was guided by the Heidelberg Road Corridor Planning project's Engagement Strategy, with communications focused on the key issues for which Council was seeking community and stakeholder feedback. For example, the website material clearly articulated that planning controls on the City of Yarra side of the Corridor are a non-negotiable in the consultation on the Darebin controls.

The following table outlines the items that were considered within and outside the project's scope of engagement:

- **Negotiables:** Negotiable items are those that are not bound by legislative or statutory requirements and can be influenced, or changed, as a result of feedback and ideas explored throughout the engagement process.
- **Non-negotiables:** Non-negotiable items are the elements of a project, or externalities, that cannot be changed/influenced or where Council has no ability to change/influence.

Table 1 Negotiables and Non-negotiables

Negotiables	Non-negotiables
Vision for the Corridor The LAP will establish an overall Vision for the Corridor and strategic directions.	Development pressures The presence of development pressures resulting from population growth and change and economic activity in the Corridor and broader region.
Economic Development Initiatives The LAP will consider how to attract business to the corridor and generate employment opportunities.	Proposed controls for Yarra side of the Corridor City of Yarra will undertake a separate engagement process
Traffic and parking The LAP will consider parking needs and ways to improve vehicular movements and minimise conflicts.	Residential land uses No changes are proposed for the residential sites within and abutting the Corridor.
Pedestrian and cyclist movements The LAP will consider how to improve accessibility for active transport modes and connections to nearby residential uses and parklands/	Fairfield Rail Spur Planning for the Fairfield Rail Spur will be undertaken through a separate process.
Heritage interpretation Some sites have been earmarked for Heritage designation; however, the nature and extent of these controls is subject to stakeholder feedback.	Development of an LAP Darebin and Yarra Councils have determined this strategic document is necessary. Its content is subject to stakeholder feedback; however, the project will ultimately deliver an LAP.

Heidelberg Road Corridor Project – Engagement Summary | October 2021

Negotiables	Non-negotiables
Public Transport The LAP will consider how services may be improved in the Corridor.	Planning response and built form controls Darebin have determined that a planning response and design controls are necessary for the Heidelberg Road Corridor, however the detail (such as proposed building heights) will be subject to stakeholder feedback.
Commercial and industrial land uses The LAP (and proposed zoning changes) will consider whether to rezone land currently zoned for industrial and commercial uses or to retain the existing industrial 3 zoning.	
Preferred built form and design The LAP will consider preferred built form and design for buildings in the Corridor and potential planning controls to achieve this.	
Preferred building siting and setbacks The LAP will consider preferred siting and setbacks for buildings in the Corridor and potential planning controls to achieve this. Consultation will also include seeking community preferences for building and street wall heights and mandatory vs discretionary provisions.	

3.3 Engagement Timeline

The engagement process occurred from May 2021 until September 2021. Table 2 summarises the achieved timeline of engagement.

Table 2 Project Timeline

Project Stage	Timing
1. Advertising and Promotion	May 2021
2. Engagement Activities	May – August 2021
3. Reporting	August – September 2021

3.4 Impact of COVID-19

The COVID-19 pandemic resulted in changes to components of some engagement activities - they moved to occur in an online forum rather than face to face. This allowed engagement activities to be delivered safely whilst still ensuring the project progressed with community input.

4. Summary of Engagement Activities

4.1 Summary of Approach

The community engagement approach, including activities, timing, and collateral were designed in collaboration with Darebin City Council.

4.2 Participation in engagement activities

This section reports on rates of participation, respondent demographics and other observations from the engagement activities undertaken. A total of approximately 300 participants contributed to the engagement activities. Participation is summarised below in Table 3.

Table 3 Participation in engagement activities

Activity	Participants	Timing and location
Online survey	246 participants ¹	Open online between May and August.
Online information sessions	Session on the 6 July: 9 participants Session on the 13 July: 33 participants	Occurred between 6pm and 8pm via Zoom on both dates
Pop-up session	42 participants	Occurred at Fossette Café (737 Heidelberg Road, Alphington) on the 29 th of June between 8:30am and 2pm.
		Total: 300

In addition to the planned engagement activities, thirteen email submissions were received. A summary of the issues raised is included in the Appendix. Where these submissions contained clear indications about matters addressed in the online survey, this feedback was incorporated into the survey analysis findings to ensure the breadth of views submitted was represented in this report.

Participant Demographics

Participants from across the three engagement activity types had the following characteristics:

- The majority of participants' relationship to Heidelberg Road was as resident
- The most common age bracket for participants was 50 and 59 years
- More than half of participants were women.
- Over 83% did not speak a language other than English at home
- Over 89% did not report having a disability
- No one identified as Aboriginal or Torres Strait Islander.

Refer to the Appendix for further detail on participants' demographics.

4.3 Promotion of engagement

Advertising and promotional activities were launched in May 2021. Details regarding the reach of promotional activities and number of participants in engagement activities are provided in the following sections.

summarises the reach of each component of promotional activities.

¹ Of the 246 surveys collected, 143 were fully completed, whilst 73 were only partially completed. The request for respondents to provide identifying information at the start of the survey meant the bulk of the survey drop offs were near the start of the survey.

Table 4 Promotional Activities

Promotion Activity	Reach
Social Media (Facebook posts)	Five posts (22 nd of June, 2 nd of July, 12 th of July, 22 nd of July and the 2 nd of August) with <u>29,132 total views</u> . 1,218 total post engagements ²
Letter drop	1,500 letters distributed to properties within approximately 200m of Heidelberg Road on the Darebin side 140 affected landowner/occupiers received a personalised letter
Poster and factsheet display	Displayed in Preston Library
Project website	Provides links to information sheets, the online survey and a Council contact

Social Media

From June to August, five posts were made on the City of Darebin's Facebook page. The posts asked for input from the community on the Heidelberg Road Corridor project and provided a link to the survey page.

Table 4 provides an overview of the social media activity on the City of Darebin's Facebook page. Figure 7 in the Appendix depicts the Facebook web page which can be accessed at <https://www.facebook.com/cityofdarebin>.

Letter Drops

Tailored letters were sent directly to approximately 140 landowners and occupiers who were identified as being potentially affected by the Heidelberg Road Corridor project. They also received a document summarising the project (shown in Figure 2) and a translated document. A letterbox drop was undertaken to 1,500 properties living within 200m from Heidelberg Road on the Darebin side. Each letter contained a factsheet (shown in Figure 2) and a translated document.

Poster and Factsheet Displays

Factsheets were displayed at Preston Library between 27 of July and 5 August. The physical distribution of factsheets was limited by various lockdown measures due to the COVID-19. Figure 9 in the Appendix depicts the factsheet distributed by Darebin City Council. The factsheets can be accessed at:

<https://www.yoursaydarebin.com.au/heidelbergroadcorridor>

Website

A webpage was created on the Darebin City Council website that provided details of the Heidelberg Road Corridor project. The webpage provided access to technical and other documents to assist in the community understanding the project, and how they could be involved in engagement activities. The webpage offered project information, an indicative timeline, answers to FAQs, details on opportunities to become involved, a link to the factsheet developed for the project, and the link to complete the online survey. Figure 8 in the Appendix depicts the webpages that can be accessed at <https://www.yoursaydarebin.com.au/heidelbergroadcorridor>.

² A post engagement is any interaction with the Facebook post, including likes, comments, reactions, and link clicks.

5. Key Findings

This section summarises the key findings from the engagement. Further data is provided in the Appendix. The key findings were:

1. Built form controls

- Some participants expressed support for development along Heidelberg Road that was appropriately scaled, sustainable and of a high quality, provided traffic congestion, parking and safe active transport could be managed.
- Many participants raised concern that the proposed planning controls that allowed for increased building height and form would negatively impact the amenity of the surrounding area, with overshadowing and ‘wind tunnels’.

2. Zoning changes

- Over a third of survey respondents supported or strongly supported changing the industrial zoning to Commercial 2.
- Over a third of respondents supported or strongly supported re-zoning Fort Knox to Commercial 3.

3. Traffic and parking congestion

- Participants were concerned that the increased density of development would result in increased traffic congestion within the Heidelberg Road Corridor.
- Participants said there was a need for any new developments to provide for all the parking needs of their residents to ensure that the surrounding residential streets would not be responsible for providing space for car parking.

4. Heritage Overlay

- Overall, there was support for the proposed Heritage Overlay on the identified significant sites.
- Some participants were displeased that the proposed Heritage Overlay would impact their property and were therefore against it.

The following sections provide an overview of the findings from each engagement activity.

5.1 Online Survey

The following section summarises the results from the online survey.

Support for key outcomes and objectives

Overall, the majority of participants generally supported the key outcomes and objectives for the proposed planning control changes for the Heidelberg Road Corridor in the Local Area Plan, as shown in Figure 1. The most common response to all outcomes was support or strong support, with only small number not supporting the outcomes.

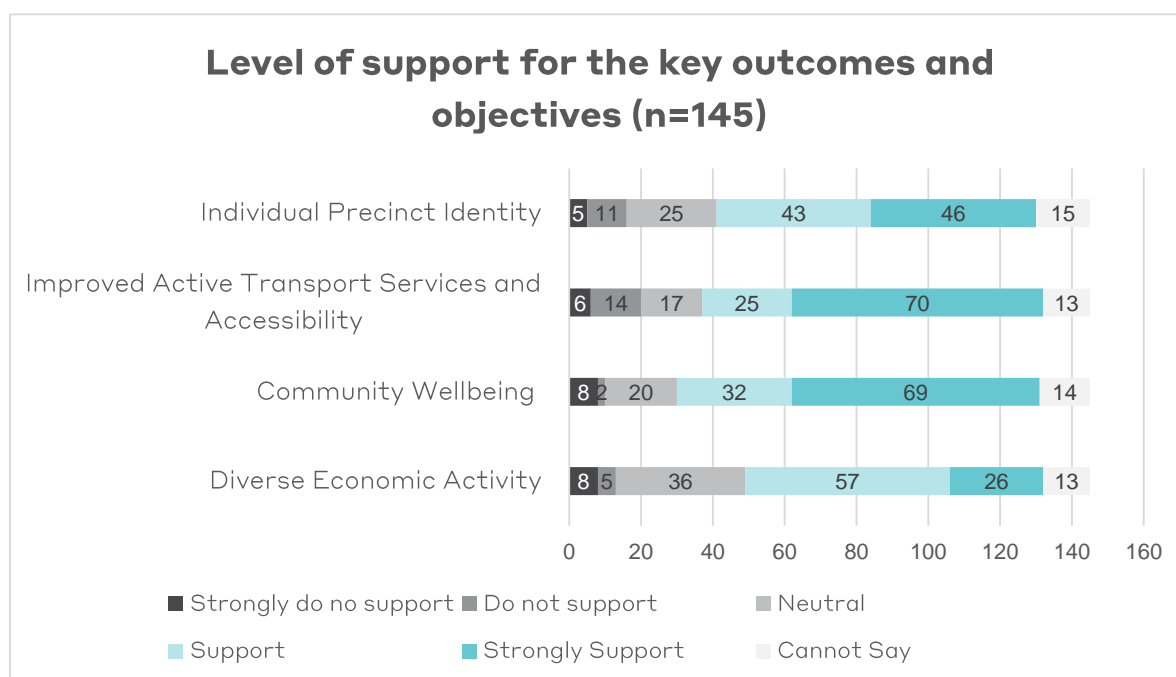


Figure 1 Level of support for the key outcomes and objectives

Respondents were asked if they have further comments about the vision, objectives and outcomes. The analysis of these responses is available in the Appendix.

Support for re-zoning industrial land to other employment zones

The majority of respondents supported changing some of the zoning within the Heidelberg Road Corridor, as shown in Figure 2. Of the 145 respondents, over a third supported rezoning all existing Industrial 3 Zone (IN3Z) sites to Commercial 2 Zone (C2Z). Of the 145 respondents, about a third were supportive of the rezoning of the Fort Knox Storage site to Commercial 3 Zone (C3Z).

However, equally there was some ambivalence or opposition to this, as almost another third opposed or were neutral on the zoning changes. The most common response to retaining the industrial zone was 'neutral', suggesting the majority don't have a strong connection to the current uses.

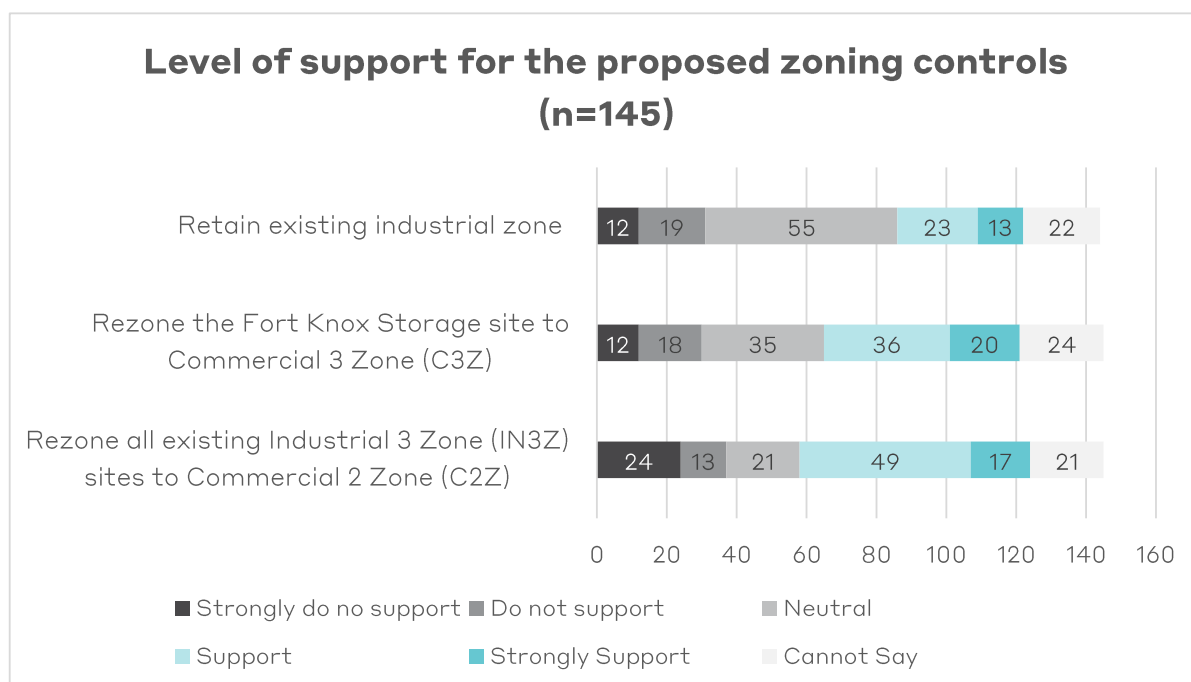


Figure 2 Level of support for re-zoning industrial land to other employment zones

Respondents were asked if they have further comments about the proposed zoning changes – the analysis of these responses is shown in the Appendix.

Support for building height controls

Of the 145 respondents, the majority displayed a preference for a proposed height limit of at least 4 or 5 storeys, as shown in Figure 3. Of the 145 respondents, 63 people strongly did not support a proposed 8 storey height limit, 60 people strongly did not support a proposed 7 storey height limit and 52 people strongly did not support a proposed 6 storey height limit. In comparison, 23 people did not support a 4-storey height limit and 33 people did not support a proposed 5 storey height limit.

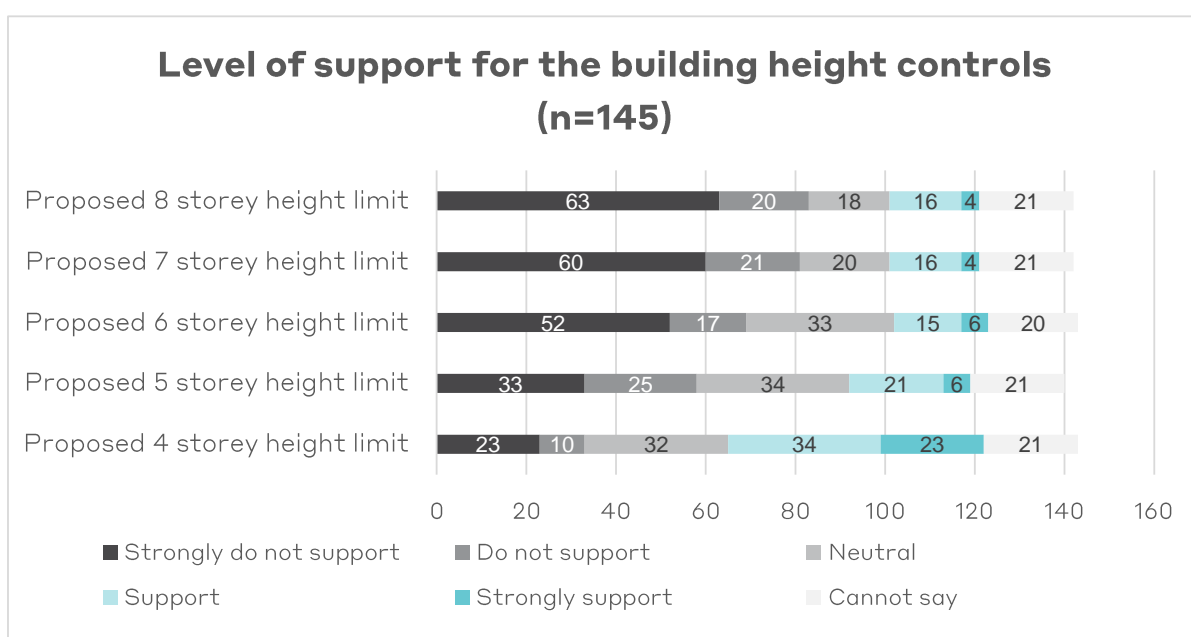


Figure 3 Level of support for height controls

Respondents expressed support for mandatory height controls (compared to discretionary heights) and the proposed front, side, and rear setback controls. Of the 145 respondents, 64 people supported that the proposed building height controls are mandatory, and 63 people supported the proposed front, side, and rear setback controls.

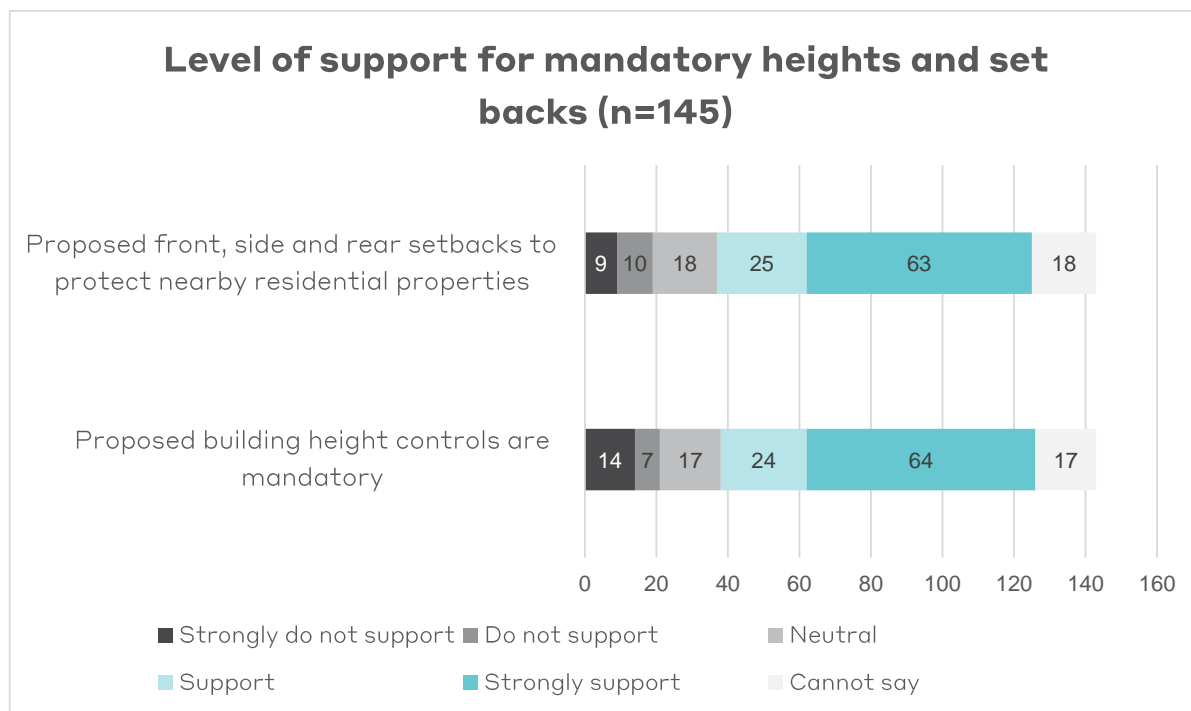


Figure 4 Level of support for mandatory heights and setbacks

Respondents were asked if they have further comments about height controls - the analysis of these responses is shown in the Appendix.

Support for Heritage Overlay

Of the 145 respondents, 54 people strongly supported applying a Heritage Overlay to identified significant sites. However, 20 people strongly did not support the proposed Heritage Overlay, as shown in Figure 5.

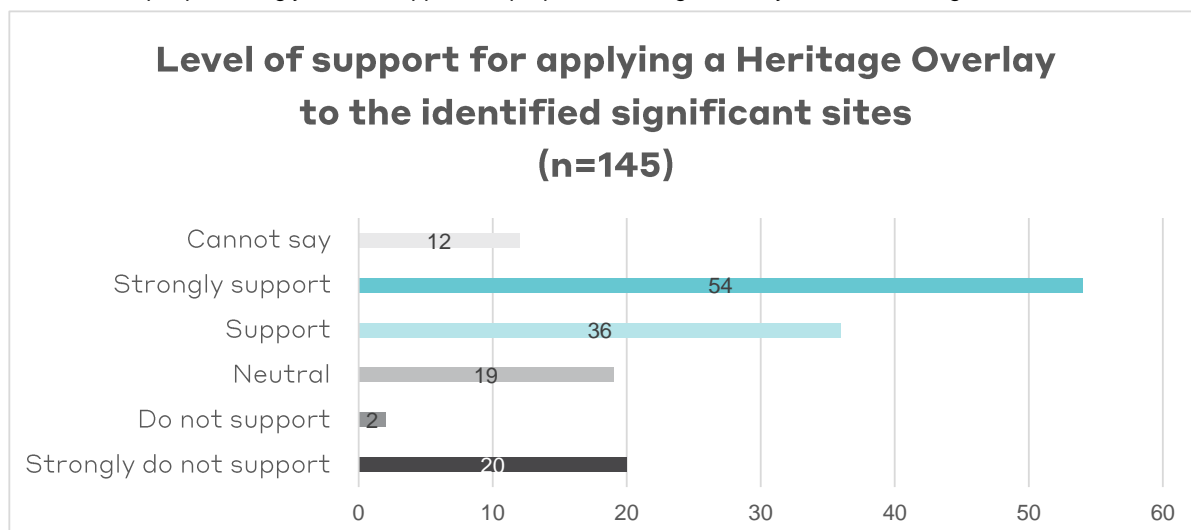


Figure 5 Support for heritage overlay

Respondents were asked if they have further comments about the heritage overlay – the analysis of these responses is in the Appendix.

5.2 Pop-up Session

The primary purpose of the pop-up session was to generate interest in the project and assist in directing people to the online survey and the information session. A summary of the pop-up session is provided in the Appendix.



Figure 6 Pop up session

5.3 Online Information Sessions

The online information sessions aimed to provide detailed project information and allow one-on-one conversations with the project team in a forum that allowed attendees to ask questions and gain a better understanding of the different components of the project. A summary of the discussions in the online information sessions is included in the Appendix.

5.4 Email submissions

As a result of the engagement and communications activities, Council officers received 13 email submissions. The issues raised in these submissions have been summarised in the Appendix.

6. Next Steps

The next steps include:

- Present the Engagement Summary to Council and consider how community and stakeholder feedback will shape the Heidelberg Road Corridor project
- Incorporate community feedback into the Draft Local Area Plan document for the Heidelberg Road Corridor.

7. Appendix

7.1 Project collateral

This section shows all the project communications collateral.

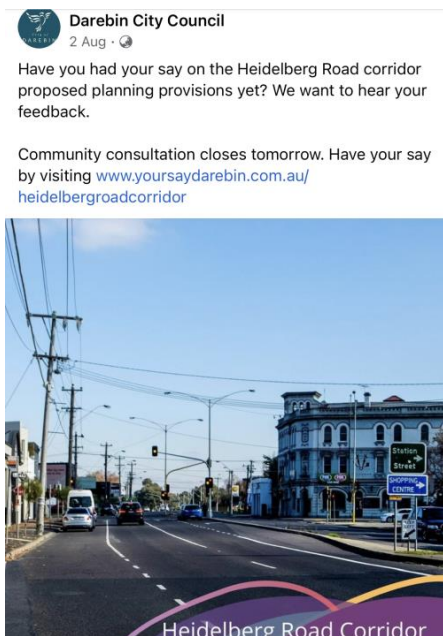


Figure 7 Example of Facebook post

Heidelberg Road Corridor - Local Area Plan and Built Form Framework

Facebook icon Twitter icon Instagram icon Email icon

Heidelberg Road forms the boundary between the City of Darebin (north side) and the City of Yarra (south side). To protect the local amenity, Darebin City Council and Yarra City Council have developed the overarching draft Heidelberg Road Corridor Local Area Plan which sets strategic direction for the future of the corridor.

Presently there are no particular design controls or height limits for new development on Heidelberg Road. This project seeks to implement planning provisions to guide future development and provide more certainty for the community and landowners.

Council is now seeking your feedback on planning options for Heidelberg Road to help shape future building design and land use controls (on the Darebin side only).

What has happened so far

Heidelberg Road is an established employment precinct. The project includes the review of industrial land and the suitability of the zone when considering how to best support future jobs within the corridor.

Darebin Council has assessed the land currently zoned for industrial and commercial uses on the north side of Heidelberg Road and is considering planning options informed by these assessments.

The technical studies used to inform Council's options and the Local Area Plan are available to read in the document section to the right of this page.

- [Draft Heidelberg Road Corridor Local Area Plan](#)
- [Heidelberg Road Economics Report](#)
- [Heidelberg Road Corridor Built Form Framework](#)
- [Heidelberg Road Heritage Assessment](#)

What is happening now

Proposed Planning Considerations

Project timeline

- December 2019
Preparation of Local Area Plan
- February – June 2020
Develop Built Form Framework and review industrial land use
- April 26 2021 - Council resolved to seek community views
- June 2021 – Undertake community engagement
- August - September 2021 – Consider the findings of engagement, and potential adjustments to the proposed planning approach
- Late 2021 – Council Briefing to communicate the findings of engagement, and the recommended planning approach
- Late 2021 - Early 2022 – Commence preparation for a planning scheme amendment

Who's listening

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Phone 8470 8025
Email Dominique.Aloisio@darebin.vic.gov.au

Translation and National Relay Service

Please note, automatic translations are provided as a guide only and may not be accurate.

Select Language ▼

Figure 8 Project webpage



Figure 9 Factsheet and summary sheet

7.2 Participant Demographics

Relationship to Heidelberg Road

Of the 219 participants who provided this information, the most common connection or relationship to the Heidelberg Road Corridor was as a local resident.

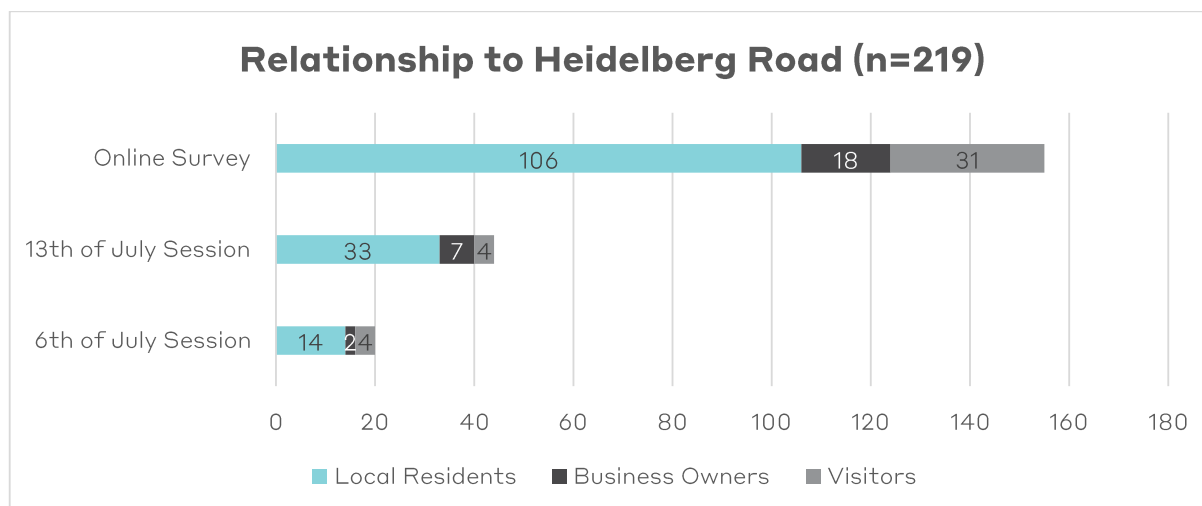


Figure 10 Relationship to Heidelberg Road

Age of participants

Of the 181 participants who provided this information, the most common ages were between 30 and 59 years.

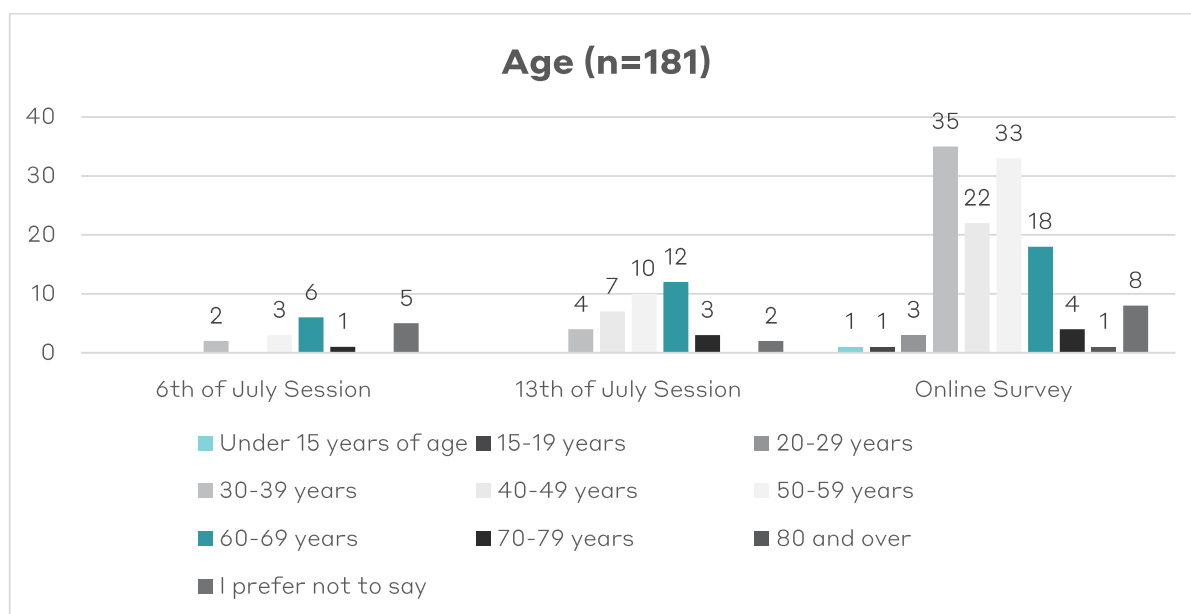


Figure 11 Participants' age

Gender

Females are over-represented among participants, as shown in Figure 12.

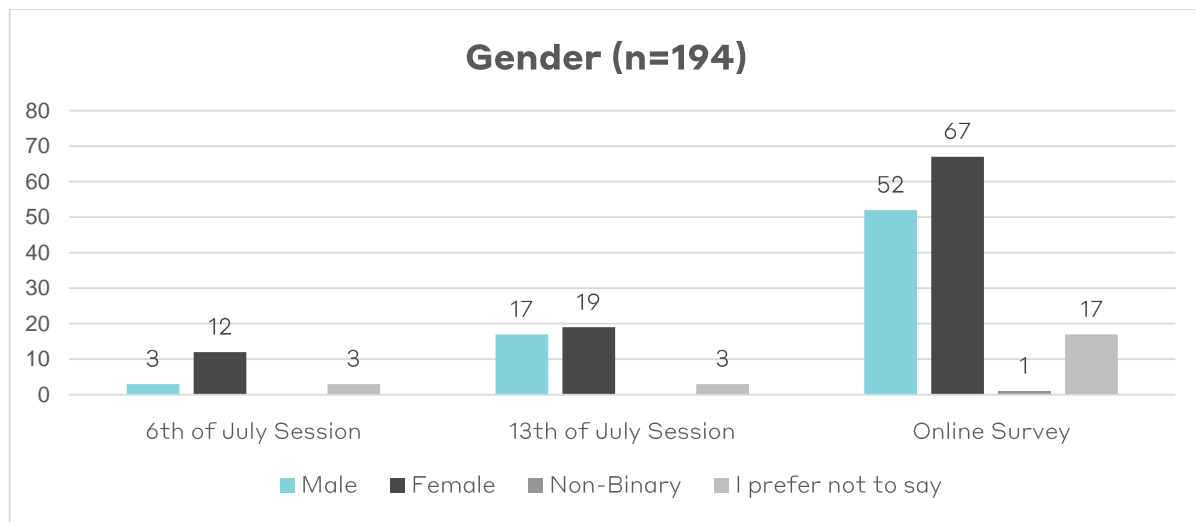


Figure 12 Participants' gender

Disability

As shown in Figure 13, over 83% did not speak another language other than English at home. The most common response to the language spoken at home other than English was Italian (5 responses).

Speaking a language other than English

As shown in Figure 14, over 89% of respondents did not identify as having a disability. The most common language spoken other than English was Italian (5 respondents).

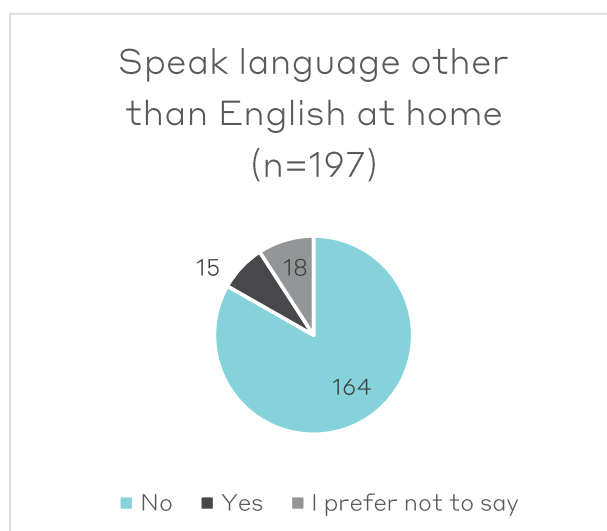


Figure 13 Survey respondents who speak a language other than English at home

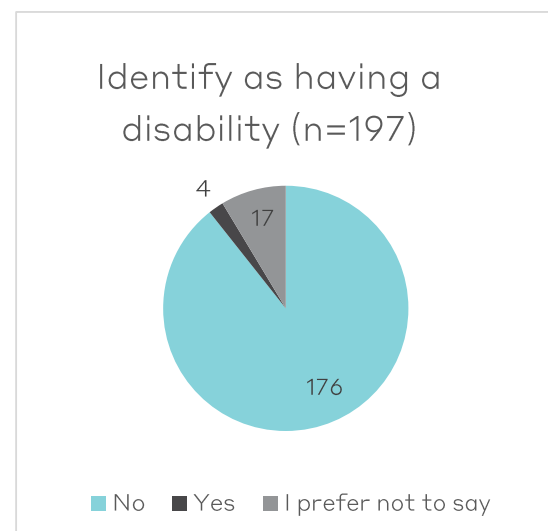


Figure 14 Survey respondents who identify as having a disability

Aboriginal and Torres Strait Islander

Of the 164 responses over the survey and information session, over 96% (159) of respondents did not identify as an Aboriginal or a Torres Strait Islander, and the rest preferred not to say.

Online survey

In addition to the demographic data detailed above across all engagement activities, additional data was available from survey participants.

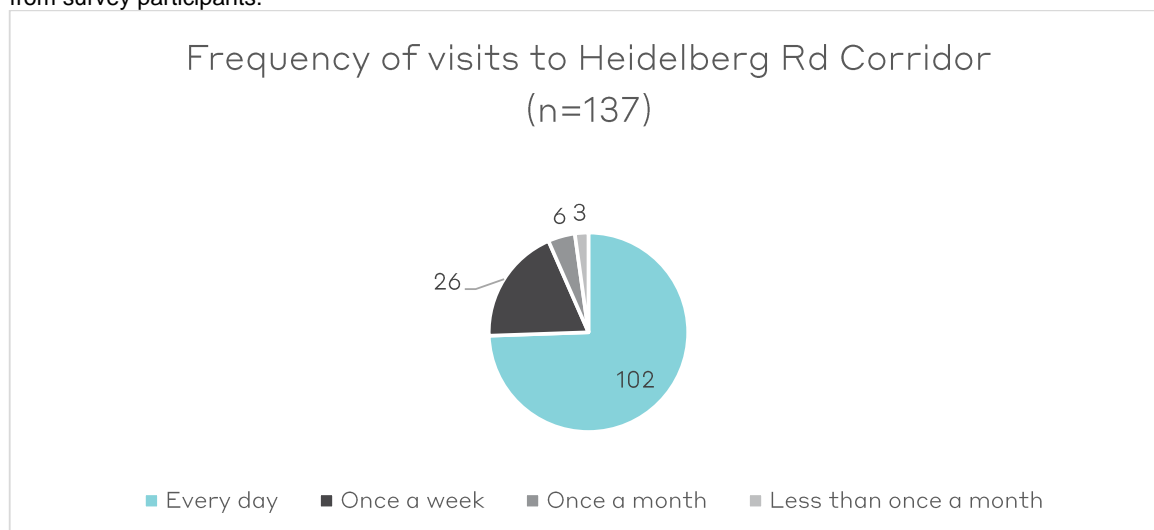


Figure 15 Survey respondents' frequency of visiting the Heidelberg Road Corridor

As depicted in Figure 15, of the 155 respondents of the online survey, 75% visit the Heidelberg Road Corridor every day, while 19% visit once a week, 4% once a month and 2% less than a month.

Pop-Up Sessions

A pop-up session was conducted by Ethos Urban at Fossette Café (737 Heidelberg Road, Alphington) on 29 June between 8:30am and 2pm. Two consultation team members, in addition to Council staff, attended the session, in which passers-by received colour-coded stickers corresponding to if they were either a City of Darebin resident, a City of Yarra resident or a resident of another Council and asked to identify how often they visited the Heidelberg Road Corridor, their connection to the Heidelberg Road Corridor and what aspect of the Heidelberg Road Corridor was of most interest to them by placing their stickers in the corresponding box.

There were 42 people who participated in the pop-up session. Within the pop-up session, 39 factsheet, 26 surveys and 9 summary documents were distributed.

Online Information Sessions

Two online information sessions were conducted by Darebin City Council and the consulting team on 6 and 13 of July 2021. Each session went for an hour and was held on the video communication platform Zoom. There were 18 people who registered for the session and 9 participants at the session on the 6th of July and 42 people who registered and 33 participants at the session held on the 13th of July.

The online information sessions were facilitated by Ethos Urban, while Darebin City Council presented information on the Heidelberg Road Corridor project. Participants were also provided with an opportunity to ask questions and discuss components of the project.

7.3 Online Survey - Engagement Findings

Support for key outcomes and objectives – free text responses

Respondents were asked if they have further comments about the vision, objectives and outcomes after indicating their level of support. The following key themes were identified from the 62 responses:

- Protect the neighbourhood character and keep the area as it is (18 comments)
- Enhance the provision of safe active transport (16 comments)
- Strict height limits and 'appropriate' development only (15 comments)
- Protect and enhance the environment and natural elements of the area (14 comments)
- Traffic congestion on Heidelberg Road means further development can't be supported (13 comments)
- Need more regulation of parking on residential streets and 'rat running' on residential streets to avoid traffic on main road (10 comments)
- The area needs improved public transport frequency and service options (8 comments)
- Less cycling infrastructure (7 comments), of which most related to removing the temporary bike lanes
- Diversify the area and encourage mixed uses (7 comments)
- Disjoint between the vision of plan and the actions proposed (6 comments)
- Protect the heritage in the area (4 comments)
- The plan's outcomes and objectives are vague (4 comments)
- Respect and protect Indigenous cultural heritage (2 comments).

The following quotes from respondents give a sense of the range of comments:

'Inner-city Northcote is a cosmopolitan, vibrant and diverse area of the city that has a rich ethnic history. We want to ensure we preserve what is special and why people want to live, work and play in this area.'

'Stronger active and public transport. Heidelberg Road is currently a traffic nightmare and very difficult and unpleasant to walk or ride and the bus is very bad. Needs better buses and trains and make the bike lanes permanent.'

'The biggest issue is the need to be mindful that this is a low-rise area and that development along the road should be no more than three stories high - full stop. There is enough high rise going up now and we do not want a wind corridor forming.'

'Frequently travelling Heidelberg Road, I realise it is a historic track, not a planned road which connects Heidelberg to the city. The many remaining grand homes and early shops all the way to the original Darebin Bridge Hotel attest to its significance... It also flanks the Yarra River which is a non-replaceable valued asset for residents, wildlife and the environment... Please preserve the green spaces along the Yarra close to the city.'

Support for re-zoning industrial land to other employment zones – free text responses

Respondents were asked if they have further comments about the proposed zoning changes. The following key themes were identified from the 53 responses:

1. High value placed on the current character – with suggestions of protecting the area as it is now (15 comments), and that any development should be in keeping with local character (7 comments):

Respondents referenced both the existing residential character and also the industrial heritage as things they valued, and typically did not want any zoning changes to occur. Some respondents were concerned about changes to the feel of the area and the impact on amenity and property values with zoning changes. Respondents expressed concern about large apartment buildings and overshadowing of existing residences.

'Preserving the Industrial area is paramount in preserving the area's character.'

'Our building and surrounding properties/area already has an amazing artistic culture and community that has been strong for a long time now. My partner is a florist and I am a photographer, and many of the members that live in our building have likeminded areas of expertise... I can't see the logic in having the Fort Knox storage site zoned as commercial 3 to create more of an artistic area when that already exists in our very own building.'

'Suburban areas should not have any buildings higher than 6 floors. When Gov't introduced 'urban activity centres' many years ago, we were told tall buildings would only be in very limited areas. These buildings create shadows everywhere and make suburbs like dark slums.'

2. Mixed opinions about commercial development – concern about commercial development from some (11 comments) versus support for an increase in commercial development from others (11 comments):

Some comments referenced not supporting any increase in commercial operations due to perceived likely amenity impacts, while others did not support a Commercial 3 zoning but would be supportive of a Commercial 2 zoning (noting that only Fort Knox site is proposed to be rezoned to CZ3).

'The reason the current businesses are operating is there is a proven need for them in this area. Creating commercial zones with residential use will put the already busy streets off Heidelberg Road under pressure to be used as car parks for businesses and residences.'

'I believe Council are targeting the wrong area for future commercial growth, you need to reconsider what commercial growth will be expected with the current pandemic and beyond. It is becoming more apparent that more and more people are working from home, the requirement for office block type environment should not be the current plan.'

'A possible change to Commercial 2 in Precinct 1 is preferable as it will have less impact on abutting residents... Any proposal to rezone to C3Z will be vehemently opposed by myself and all other local residents as it will negatively affect our amenity, create unmanageable density, traffic hazards and parking issues.'

However, some respondents did support an increase in commercial development with caveats on what is allowed, while others saw the commercial potential in the area that changes in zoning could create.

'The zoning should encourage more interactive ground floor spaces. I don't think this area is suitable for large office style developments.'

'Fort Knox is a waste of space, and that could be a cool area, there are already good cafes around. Rezoning here aligns well with the strategic direction (Plan Melbourne) for our city, as Alphington Papermill site fills with new residents, it's important to provide work close to home.'

3. Mixed use is supported (6 comments): respondents thought a variety of uses would support positive growth in the area.

'I agree we do need to attract more diversity in employment and business because with the huge growth in population we need to create a strong local community again on the Heidelberg Road corridor which has been stale for many years now. I remember the days of having deli, fruit shop, butcher, chemist, hair dressing etc to keep everything in walking distance as well as having some great eateries.'

4. Reduce or remove industrial use (6 comments): respondents thought commercial uses would be better suited to the area than industrial, as the character of the area had changed over recent years.

'I support rezoning from industrial to commercial where it is clear industrial use is either no longer appropriate, or needed, for the area.'

5. Employ mandatory height controls (5 comments): respondents supported mandatory not discretionary height controls (to be discussed further in the following section).

6. Further residential development is supported (4 comments): some respondents thought the corridor was the appropriate place to allow residential development.

'Residential development along this corridor should be encouraged. There are other more appropriate areas in the municipality where industrial and commercial zones should be located.'

Support for building height controls – free text responses

Respondents were asked if they have further comments about height controls - the analysis of these responses is shown in the Appendix. The following key themes were identified from the 62 responses:

1. **Allowing only lower buildings to be in keeping with the character of the area – either maintaining existing height limits or allowing for only 3 storeys or less (21 comments), or allowing only 4 storeys or less (19 comments):**

Respondents discussed wanting to maintain the amenity and neighbourhood character and their concern about overshadowing and creating wind tunnels.

'Four to eight storeys are NOT appropriate for this corridor. They do not respect the adjacent river environs!'

'I have serious concerns about privacy, overlooking my property, noise, visual impact, creation of a heat island, density, interruption by construction, parking and lack of landscaping. The traffic and demand for parking will be worsened.'

'Mandatory height limit of 4 storeys is essential to prevent Heidelberg Rd from becoming a concrete corridor particularly with AMCOR site development and proposed developments by Yarra Council on the south side of Heidelberg Road.'

2. **Support mandatory height limits and refuse discretionary height limits (19 comments):** respondents thought build height limits must be mandatory or developers would take advantage of discretionary heights.

'Discretionary height controls are misleading at best. Mandatory is the only way to provide certainty.'

'Absolutely support mandatory height restrictions and setbacks that protect existing residential properties. Big development ruins the character of a suburb.'

3. **Consideration of building setbacks and overshadowing is critical for any proposed development (7 comments):** respondents didn't specify any particular heights but thought that the building setbacks must be in keeping with existing stock and sensitive places like public open space, and that overshadowing must be considered in terms of impacts on public and private property.

'The border with Yarra Bend is not respected or valued at all in the plans - it is a valuable bushland park in inner Melbourne and built form should be minimised, not maximised at its borders. The lack of setbacks on Albert St and Holmes St is very poor planning.'

4. **Support sustainable, high-quality higher density development (6 comments):** respondents thought allowing the right development in the right place was necessary for progress but stressed it should be high quality, sustainable and not put further stress on parking in the area.

'Density has to increase, no question. As long as only high-quality places get approved. Please ensure that building code will prevent future slums please - no flammable, damp, crappy design, poor lighting places please.'

'Given a decade of living in large Euro cities, I am generally a big supporter of high density living in inner Melbourne and see it as a functional way to move forward. In saying that, the mindset in Aus/Melb is that people want a car... Compounding this, property developers have been seen to cut corners by building cheap stock, rather than residences that owner-occupiers would be interested in themselves... I support the high density living however we need to ensure that the area can handle the additional people in the future.'

5. **Support discretionary height limits (3 comments):** respondents thought the flexibility of discretionary limits allowed the limit to be set for the specifics of a particular property.

'Discretionary heights are better because they can be judged depending on which building it is and why, not one rule fits all.'

6. **Need uniformity in height limits application (3 comments):** these respondents thought that there were too many different limits, and that limits should be consistent across entire areas.

'I own two properties side by side with different proposed height limits. In this case the proposed higher limit should apply across both properties.'

Support for Heritage Overlay – free text responses

Respondents were asked if they have further comments about the heritage overlay. The following key themes were identified from the 42 responses:

1. **Support the heritage overlay (13 comments):** respondents emphasised the valuable heritage of the area, that needs to be protected, which includes buildings but also character.

'I appreciate the heritage overlay listing and support it, but I feel it's one thing to preserve individual buildings and another to consider preserving the overall character of Heidelberg Road. I feel we need to preserve the organic, frugal and grungy character of parts of Heidelberg Road.'

'We need to hang on to our important heritage buildings and what they represent from each era.'

2. **Do not support heritage overlay (13 comments):** respondents thought that the overlay would negatively impact property values, and believed it contracted the overall vision for the area and the changes in zoning.

'After reading the councils resolve to promoting the area, bring people into the area to live, promote working in the area, they then want to stop people from investing in the area and enforcing economic sanctions on to the owners and residents of all the proposed heritage listed properties, I cannot understand the logic.'

'This is ridiculous. There is no value to any of these properties in declaring them as heritage listings. The value of these properties would be significantly affected. They would in fact be contrary to the look of the area in the future as the likelihood is that apartment buildings will be built right through this area moving forward. You would make it virtually impossible to allow owners to sell these properties.'

3. **Missing a key property from heritage listing (11 comments):** respondents identified other key properties they thought deserved heritage protection, including the Dairy, The Grandview Hotel, the façade of the Fairfield Hat Mills Complex, and the Hells Angel Clubhouse.

'Is there a heritage overlay on the Grandview Hotel on the corner of Station St and Heidelberg Rd? This is a very historic building that must be retained.'

4. **Heritage overlay not appropriate for entire area (5 comments):** respondents supported the idea of a heritage overlay, but thought the area was too far reaching.

'The only site I consider worthy of heritage overlay is the former Fairfield Hat Mills Complex.'

5. **The Plan will negatively impact heritage (1 comment):** the broader plan including zoning changes was thought to lead to negative impacts on heritage across the area.

'The heritage of Alphington as a green peaceful community orientated suburb is likely to be destroyed.'

Further ideas and comments – free text responses

Respondents were asked if they had any further ideas or comments they would like to project team to consider. Forty-nine respondents provided a comment. The following key themes were identified from these 49 responses:

- A sustainable, high quality of life for residents should be high priority (17 comments)
- High-rise apartments and 'over development' are not supported (14 comments)
- Parking impacts of development and zoning changes must be considered (12 comments)
- Appropriate, high quality and sensitive development and change would be good for the area (11 comments)
- Environmental impact and sustainability should be considered prior to any decisions (9 comments)
- Maintain the area as it is (8 comments)
- Consultation and communication with residents is critical (6 comments)

- Community needs and concerns should drive all decisions (4 comments)
- Remove the temporary bike lanes (4 comments)
- Consider future generations in decision-making (3 comments).

The following quotes from respondents give a sense of the range of ideas provided:

'It's an interesting corridor (park, community nearby), with great potential. Maybe sure the greenery is retained - MRPV think tree removal is a necessary part of progress, but during lockdown we cherished every tree in our 5kms, and a lot of those were roadside on Heidelberg Road for me.'

'The area you have identified is a vibrant and culturally diverse community. We would like to keep it this way and encourage you to continue to have dialogue with the owners, residents, small business folks.'

'I'm new to this area but aside from some excellent parkland there's just nothing here! There's a service station, a tile shop, some expensive personal training stuff and that's it. There's a lot of potential here but we need cafes, some kind of supermarket perhaps, and additional public transport options would be great. Currently I don't want to bring my friends here because it's empty - let's fill it with energy!'

'I am concerned that new developments will bring more car traffic in existing residential areas. There is already a lack of parking. I would prefer the areas be promoted as pedestrian and cyclist friendly - not encourage anymore traffic flow in the existing residential areas... I am fully in support of the Council's vision for the area to be a 'greener, better connected, more pedestrian friendly and vibrant'. I do not support tall buildings encroaching on the existing area.'

7.4 Pop-Up – Engagement Findings

Whilst the pop ups provided an opportunity to participate in an engagement activity by outlining their relationship to the Corridor and areas of interest, it is important to note that the responses received during the pop ups were not formal submissions to the project.

Q1. How often do you visit the corridor?

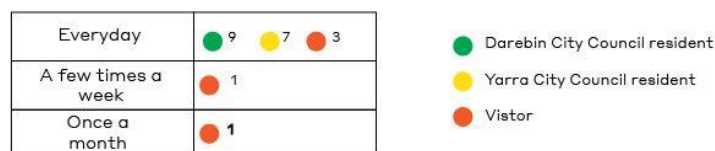


Figure 16 Question 1 results for the pop-up session

Of the 42 attendees of the pop-up session on 29 of June, the majority claim they visit the Heidelberg Road Corridor daily, with only two people visiting the corridor a few times a week or once a month. Of the responses, four of the responses were from business owners located within the Heidelberg Road Corridor, three of these were residents of Darebin City Council and the remaining was a business owner was from Yarra City Council. Two of the responses were from landowners in the corridor within Darebin City Council.

Q2. What is your connection to the Heidelberg Road Corridor?



Figure 17 Question 2 results for the pop-up survey

Of the ten respondents who identified themselves as residents of the corridor, five reside in the City of Darebin and five reside in the City of Yarra City. One of the respondents was a City of Darebin business owner or landowner outside of the Heidelberg Road Corridor. Eight people identified themselves as a visitor to the Heidelberg Road Corridor who did not live in either Yarra City Council or Darebin City Council.

Q3. What aspect to the Heidelberg Road Corridor is of most interest to you?



Figure 18 Question 3 results from the pop-up session

The pop-up sessions highlighted the following topics as key areas of interest or concern for participants.

Transport

- Twelve of the responses stated that issues surrounding transport were of the most interest to them. Of these twelve responses, six of these were from Yarra City Council, three were from Darebin City Council and three were visitors to the Corridor.
- A respondent stated that they wanted the bike lane to be made a permanent feature of the Heidelberg Road Corridor.
- One response expressed a concern regarding the amount of traffic on Heidelberg Road.

Built Form

- Ten people responded that they were most interested in the built form and character. Of the ten responses, five of these were from resident of the City of Darebin while five of these were from the City of Yarra.
- One response raised a concern of the quality of future residential development and wanted to ensure that future apartments were of an appropriate size.
- The amenity of future residential development was also raised as a key concern.

Economic Growth

- The economic activity of the Heidelberg Road Corridor was the most important aspect for eight respondents. Of these responses, three were from the City of Yarra, three were from the City of Darebin and two were visitors to the Heidelberg Road Corridor.
- One response highlighted their interest in wanting more places to go out within the area.
- Another response expressed an interest in ensuring existing businesses were adequately protected.

Heritage

- Two people claimed the Heritage aspect of the Heidelberg Road Corridor is of the most interest to them. Both these respondents were from the City of Yarra.
- Two respondents from the City of Darebin discussed other aspects of the Heidelberg Road Corridor which were of the most interest to them, which included housing diversity, biodiversity impacts as well as potential increases of rates and rent.

7.5 Online Information sessions - Engagement Findings

The following topics were raised during the two online information sessions:

Development type and scale

Participants discussed the different considerations that would be needed for development to be appropriate.

Built Form: The proposed density, scale, building heights and setbacks were a key concern for the majority of the participants within the online information sessions. These concerns stemmed from the perception that developments of an increased density, scale and height could negatively impact the amenity of the surrounding area and have ramifications on the quality of their private dwellings and their overall wellbeing.

Height: The majority discussed the proposed building heights, and the potential implications on the surrounding amenity of the area. In particular, participants were concerned that the proposed height would detract from the overall amenity of the area due to overshadowing onto their dwellings and the Fairfield and Yarra Bend Parklands. Some participants were concerned that tall developments could impact their privacy due to overlooking into their dwellings

Density and Scale: There was a strong concern from participants regarding overall built form and the implications these guidelines could have on effecting the amenity and character of the area. While the majority of the participants stated that they supported a higher density of development in the Heidelberg Road Corridor, some participants had concerns that the proposed planning response would allow for development that had an inappropriate height for the area.

Setbacks: To minimise the impact building height could have on overshadowing, some participants identified appropriate setbacks as an important aspect of future development in the Heidelberg Road Corridor. It was also discussed that setbacks could provide an opportunity to improve the streetscape of Heidelberg Road.

Traffic and Parking Issues

Participants frequently discussed the implications increased development in the Heidelberg Road Corridor would have on traffic congestion, car parking and the safety of pedestrians and cyclists.

Car Parking: Participants identified the need to ensure there was a sufficient car parking supply in the Heidelberg Road Corridor. In particular, participants raised the concern that increased development would bring more people into the area and could result in increased car parking on residential streets. Various participants raised the issue that some residential streets surrounding Heidelberg Road are currently being used for visitor or worker car parking and making it difficult for residents to park near their dwellings. Participants raised issues with the current parking permit strategy as an insufficient response to limited parking as each dwelling receives two parking permits, which residents did not think was enough. As a result, participants discussed the need for parking requirements to be addressed in the planning response for the Heidelberg Road Corridor.

Traffic Congestion: A key concern for participants was that an increased residential and visitor population would result in traffic congestion on Heidelberg Road and adjacent residential streets. There was a concern that some of the surrounding residential streets were not wide enough to cope with increased traffic, such as Albert Street. Also, participants were concerned about traffic congestion during periods of construction.

Pedestrian and Cyclist Safety: Some participants discussed the need for improved pedestrian crossings on Heidelberg Road, particularly within large intersections. Some participants discussed the need for an improved, permanent bike lane to replace the current bike lane on Heidelberg Road, while others thought the temporary bike lane should be removed. Some participants stated that the safety of pedestrians and cyclists should be a priority for future transport planning and infrastructure in the corridor.

Zoning Concerns

Most participants were concerned about the proposed zoning changes, and the implications these changes would have on their properties and the character of the Heidelberg Road Corridor area. Overall, participants were concerned that commercial zone would result in office space dominating and impact to the character of the area.

Preference for Mixed Use Zone 1 (MUZ1): Participants identified a stronger preference for a mixed-use zone to allow for a combination of industrial, commercial, and residential development and land uses. Some participants

supported the continued use of an industrial zone, as it will continue to support existing businesses in the area such as caretakers and creative industries.

Concerns about Commercial 2 Zone (C2Z): Some participants questioned the appropriateness of a commercial zone due to existing vacant office space in the Heidelberg Road Corridor, arguing that there was an insufficient demand for office space, especially after the COVID-19 pandemic as more people are working from home. The participants raised concerns that the zoning changes would diminish the character of the Heidelberg Road Corridor with a strong creative industry community.

Heritage

Some participants had concerns of the proposed Heritage Overlay would affect their property and potentially result in the devaluing of their home, resulting in financial loss. Participants also discussed the need to effectively protect existing heritage buildings from potential development and associated construction. Whilst the issue with the proposed Heritage Overlay was not a common concern raised in the online information sessions, for some participants it was the primary concern they had with the overall project due to being directly impacted as a property owner.

7.6 Email submissions

Council officers received thirteen email submissions from community and stakeholders. These submissions ranged from providing broad feedback on the LAP vision and the suite of proposed planning controls, to site specific or issue specific matters. In general, there were a mix of supporting and opposing views expressed in relation to building heights, heritage protections and land use change. Some submitters supported a level of mixed use and some emphasised the role housing should play in the area. Others expressed opposition to zoning changes for various reasons, including that they felt it would cause amenity impacts and create additional burden on community and other infrastructure.

Where these submissions contained clear indications about matters addressed in the online survey, this feedback was incorporated into the survey findings to ensure the breadth of views submitted was represented in the body of this report.

6. OTHER BUSINESS

6.1 GENERAL PLANNING INFORMATION: SCHEDULED VCAT APPLICATIONS

The General Planning Information attached at **Appendix A** contains lists of:

- Scheduled VCAT appeals for the information of the Planning Committee. The table includes appeals heard as well as those scheduled for the coming months (but does not include mediations and practice day hearings).

Officer Recommendation

That the General Planning Information attached as **Appendix A** be noted.

RELATED DOCUMENTS

Nil

Attachments

- Applications determined by VCAT (**Appendix A**) [↓](#) 

PLANNING COMMITTEE MEETING

13 DECEMBER 2021

Delegate Decisions before VCAT

AUGUST 2021					
Date of Hearing	App. No.	Property/Ward	Proposal	Council Decision/Nature of Appeal	VCAT Decision
10/08/2021 (Compulsory Conference)	D/635/2020	3 Furzer Street, Preston West	Medium density development comprising the construction of eight (8) dwellings within a part 2 part 3 storey building above a basement, as shown on the plans accompanying the application.	Failure Appeal – Council has formed a position to oppose the application.	Council's decision set aside – Permit granted
Result	Did not settle				
17/08/2021	D/410/2020	32 Wood Street, Preston Central	The construction of a medium density housing development comprised of four (4) triple storey dwellings; and The reduction of the car parking requirements;	Refusal – Applicant Appeal	Council's decision set aside – Permit granted
Result	In setting aside Council's decision, the Tribunal found that the 'residential growth' policy context outlined in the Darebin Planning Scheme supported medium density housing in this location. The Tribunal considered the issues raised by Council including design response, equitable development, internal amenity and car parking layout were acceptable in this instance.				
18/08/2021	D/696/2020	48 High Street, Northcote South	Proposed multi storey mixed-use development	Failure Appeal – Council has formed a position to oppose the application.	Council's decision set aside – Permit granted
Result	In setting aside Council's deemed refusal, the Tribunal found that the proposed six (6) storey development was not supported by policy in respect of the height. As a result, a condition requiring the deletion of Level 3 was imposed on the planning permit. The Tribunal noted that the deletion of Level 3 will also result in an acceptable outcome in respect of overshadowing and views from the existing north-facing habitable room window of the adjoining property.				

PLANNING COMMITTEE MEETING

13 DECEMBER 2021

AUGUST 2021					
Date of Hearing	App. No.	Property/Ward	Proposal	Council Decision/Nature of Appeal	VCAT Decision
31/08/2021	D/476/2020	231A Dundas Street, Thornbury South East	Proposed use of land to sell and consume liquor in association with a Take-Away Food and Drink Premises within an industrial zone as shown on the plans accompanying the application.	Refusal – Applicant Appeal	Awaiting Decision
Result					

PLANNING COMMITTEE MEETING

13 DECEMBER 2021

SEPTEMBER 2021					
Date of Hearing	App. No.	Property/Ward	Proposal	Council Decision/Nature of Appeal	VCAT Decision
2/09/2021	D/253/2020	70 O'Connor Street, Reservoir North West	Proposed four (4) double storey dwellings	Refusal – Applicant Appeal	Council's decision set aside – permit granted.
Result					
21/09/2021 (Compulsory Conference)	D/299/2018	1 Timmins Street, Northcote South	Application to Amend a Permit: Double storey extension to the rear of the existing shop/residence comprising additional commercial floorspace and a new dwelling above and a reduction to the car parking requirement, as shown on the plans accompanying the application.	Objector Application to Cancel or Amend a Permit	
Result	Did not settle				

PLANNING COMMITTEE MEETING

13 DECEMBER 2021

OCTOBER 2021					
Date of Hearing	App. No.	Property/Ward	Proposal	Council Decision/Nature of Appeal	VCAT Decision
7/10/2021	D/280/2020	2 McNamara Street, Preston West	Construct a medium density housing development comprising of four (4) double storey dwellings	Notice of Decision – Objector Appeal.	Council' decision affirmed – permit granted
Result					
8/10/2021 (Compulsory Conference)	D/113/2021	3-5 Cambrian Avenue, Preston Central	Proposed construction of five dwellings and a reduction in the visitor parking requirement	Failure Appeal – Council formed a position to oppose the application.	Council's decision set aside – Permit granted
Result	Did not settle				
25/10/2021	D/635/2020	3 Furzer Street, Preston West	Medium density development comprising the construction of eight (8) dwellings within a part 2 part 3 storey building above a basement, as shown on the plans accompanying the application.	Failure Appeal – Council has formed a position to oppose the application.	Council's decision set aside – Permit granted
Result					
25/10/2021	D/167/2020	171 Victoria Road, Northcote South Central	Construction of two double storey dwellings on the lot	Refusal – Applicant Appeal	Adjourned
Result					

Planning Committee Decisions before VCAT

AUGUST 2021					
Date of Hearing	App. No.	Property/Ward	Proposal	Council Decision/Nature of Appeal	VCAT Decision
5/08/2021 (Compulsory Conference)	D/103/2020	24A & 26 Habury Street, Reservoir West	A medium density housing development comprised of the construction of ten (10) double storey dwellings and a reduction in the visitor car parking requirement, as shown on the plans accompanying the application.	Committee (contrary Officer Recommendation) – Applicant Appeal	Council's decision affirmed - no permit is granted
Result	Did not settle				
12/08/2021 (Compulsory Conference)	D/727/2020	57 Martin Street, Thornbury South Central	Construction of six double storey dwellings and a reduction in car parking requirements, as shown on the plans accompanying the application.	Committee (contrary Officer Recommendation) – Applicant Appeal	Council's decision set aside (by consent) – Permit granted
Result	The parties were able to reach agreement as to a suitable form of development, as such, they were in position that Council's refusal could be set aside by consent.				

PLANNING COMMITTEE MEETING

13 DECEMBER 2021

AUGUST 2021					
Date of Hearing	App. No.	Property/Ward	Proposal	Council Decision/Nature of Appeal	VCAT Decision
18/08/2021 (Compulsory Conference)	D/474/2020	25 Separation Street, Northcote South Central	A mixed-use development comprised of the: * Use of land for accommodation (dwellings); * Use of land for the purpose of place of assembly (library) * Use of land for the sale of packaged liquor; * Construction of buildings and works comprised of six (6) buildings ranging in height between 4-28 storeys plus two (2) basement levels containing a Library, Retail Premises (nine (9) shops and a supermarket), an eight (8) storey office building, 660 dwellings and associated car parking; * A reduction in the statutory car parking requirement.	Committee (in line with Officer Recommendation) – Applicant Appeal	
Result	Did not settle				
26/08/2021	D/352/2020	31 Albert Street, Preston Central	Declaration proceeding	Committee (in line with Officer Recommendation) – Applicant Appeal	Awaiting Decision
Result					

PLANNING COMMITTEE MEETING

13 DECEMBER 2021

SEPTEMBER 2021					
Date of Hearing	App. No.	Property/Ward	Proposal	Council Decision/Nature of Appeal	VCAT Decision
8/09/2021 (Compulsory Conference)	D/474/2020	25 Separation Street, Northcote South Central	A mixed-use development comprised of the: * Use of land for accommodation (dwellings); * Use of land for the purpose of place of assembly (library) * Use of land for the sale of packaged liquor; * Construction of buildings and works comprised of six (6) buildings ranging in height between 4-28 storeys plus two (2) basement levels containing a Library, Retail Premises (nine (9) shops and a supermarket), an eight (8) storey office building, 660 dwellings and associated car parking; * A reduction in the statutory car parking requirement.	Committee (in line with Officer Recommendation) – Applicant Appeal	
Result	Did not settle				

PLANNING COMMITTEE MEETING

13 DECEMBER 2021

OCTOBER 2021					
Date of Hearing	App. No.	Property/Ward	Proposal	Council Decision/Nature of Appeal	VCAT Decision
11/10/2021	D/103/2020	24A & 26 Habury Street, Reservoir West	A medium density housing development comprised of the construction of ten (10) double storey dwellings and a reduction in the visitor car parking requirement, as shown on the plans accompanying the application.	Committee (contrary Officer Recommendation) – Applicant Appeal	Council' decision affirmed – no permit granted
Result	In affirming Council's decision, the Tribunal found that the proposal did not respond to the existing and preferred neighbourhood character, set out in Council's Neighbourhood Character Study. In particular, the extent of double storey form extending through the length of the site was considered excessive in the context.				
13/10/2021	D/200/2019	24-26 Rathcown Road, Reservoir North-East	Construction of a medium density housing development comprising eight (8) double storey dwellings	Committee (contrary Officer Recommendation) – Applicant Appeal	Council' decision affirmed – no permit granted
Result	The Tribunal found that the bulk and massing throughout the site is inconsistent with the scale of development nearby, including multi-dwelling developments. The intensity of development throughout the site, particularly at first floor level, will not complement the scale of existing dwellings or other multi-dwelling developments nearby				

PLANNING COMMITTEE MEETING

13 DECEMBER 2021

OCTOBER 2021					
Date of Hearing	App. No.	Property/Ward	Proposal	Council Decision/Nature of Appeal	VCAT Decision
15/10/2021 (Preliminary Hearing)	D/474/2020	25 Separation Street, Northcote South Central	A mixed-use development comprised of the: * Use of land for accommodation (dwellings); * Use of land for the purpose of place of assembly (library) * Use of land for the sale of packaged liquor; * Construction of buildings and works comprised of six (6) buildings ranging in height between 4-28 storeys plus two (2) basement levels containing a Library, Retail Premises (nine (9) shops and a supermarket), an eight (8) storey office building, 660 dwellings and associated car parking; * A reduction in the statutory car parking requirement.	Committee (in line with Officer Recommendation) – Applicant Appeal	Application Allowed
Result	The purpose of this preliminary hearing was to consider whether amended plans circulated by the Applicant were a transformation of the Application and thus raised a jurisdiction issue for the Tribunal. An oral decision was provided at the conclusion of the hearing. In finding that the amended plans did not offend the relevant VCAT Practice Note and could therefore be substituted, the Tribunal adjourned the hearing until April 2022 to allow the parties more time to prepare for the hearing.				
25/10/2021	D/420/2020	38 Oakhill Avenue, Reservoir North Central	Partial demolition and construction of buildings and works for an extension to existing dwelling in a Heritage Overlay (HO172) and a new detached garage, in accordance with the endorsed plans.	Committee (contrary Officer Recommendation) – Applicant Appeal	Council's decision set aside – Permit granted
Result	A permit was granted, significantly however, VCAT imposed a condition that required the deletion of the first floor of a proposed two storey garage				
NOVEMBER 2021					
Date of Hearing	App. No.	Property/Ward	Proposal	Council Decision/Nature of Appeal	VCAT Decision

PLANNING COMMITTEE MEETING

13 DECEMBER 2021

10/11/2021	D/425/2020	58 Clindin Street, Northcote North Central	Proposed construction of a medium density development comprising four dwellings, as shown on the plans accompanying the application.	Failure Appeal - Council has formed a position to oppose the application.	Council's decision set aside – Permit granted
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DECEMBER 2021

Date of Hearing	App. No.	Property/Ward	Proposal	Council Decision/Nature of Appeal	VCAT Decision
13/12/2021	D/474/2020	1 Timmins Street, Northcote South	Double storey extension to the rear of the existing shop/residence comprising additional commercial floorspace and a new dwelling above and a reduction to the car parking requirement, as shown on the plans accompanying the application.	Section 87 appeal (Amendment to existing permit)	Withdrawn

JANUARY 2022

Date of Hearing	App. No.	Property/Ward	Proposal	Council Decision/Nature of Appeal	VCAT Decision
18/01/2022	D/217/2021	2 Jacka Street, Preston West	A medium density housing development comprised of the construction of two (2) side-by side double storey dwellings	Failure Appeal – Council formed a position to oppose the application.	Council's decision set aside.
19/01/2022	D/352/2020	31 Albert Street, Preston Central	Proposed change of Liquor Licence trading hours pursuant to clause 52.27 of the Darebin Planning Scheme	Failure Appeal – Council has formed a position to oppose the application.	Council's decision set aside.

PLANNING COMMITTEE MEETING

13 DECEMBER 2021

21/01/2022 Preliminary hearing	D/461/2020	620-622 High Street, Preston Central	A mixed-use development comprising construction of a five (5) storey building plus a basement level; use of land for the purpose of 27 dwellings and two (2) retail premises (shop); and reduction in the car parking requirement	Notice of Decision – Objector Appeal.	Awaiting Decision on whether objectors appeal will be allowed
Result	The purpose of this preliminary hearing was to, among other things, consider an extension of time for lodging the application for review. At the Hearing, the objector indicated that they were not aware that the application may have been lodged outside the required timeframe and were not therefore prepared to argue their case. Accordingly, VCAT decided to re-list the preliminary hearing to enable the applicant, and other parties, to prepare submissions as to whether the application was lodged outside the required timeframes and, if so, whether the Tribunal should exercise its powers to extend the time for lodgement. The re-listed hearing has taken place and Council is awaiting VCAT's decision on whether the objector should be allowed to pursue their objection.				
27/01/2022	D/167/2020	171 Victoria Road, Northcote	Construction of two double storey dwellings on the lot	Refusal – Applicant Appeal	Council's decision affirmed
28/01/2022 Compulsory conference	D/672/2020	12 Carson Street	Construction of a three (3) storey mixed-use development (comprised of two (2) dwellings above a shop) and a reduction of car parking	Notice of Decision – Objector Appeal.	Council's decision varied (by consent) – Permit granted
Result	The parties were able to reach an agreement by consent.				

FEBRUARY 2022					
Date of Hearing	App. No.	Property/Ward	Proposal	Council Decision/Nature of Appeal	VCAT Decision
3/02/2022 Compulsory conference	D/18/2021	58 Herbert Street, Northcote South	Partial demolition and construction of a two storey extension on a lot less than 300 square metres and affected by a Heritage Overlay and a Design and Development Overlay	Notice of Decision – Objector Appeal.	
Result	Ongoing discussion occurring between parties				

PLANNING COMMITTEE MEETING

13 DECEMBER 2021

MARCH 2022					
Date of Hearing	App. No.	Property/Ward	Proposal	Council Decision/Nature of Appeal	VCAT Decision
Tuesday, 1 March 2022 Full Hearing	D/650/2020	217 Wood Street, Preston Central	construction of five x 2 and 3 storey dwellings	Refusal – Applicant Appeal	Council's decision varied (by consent) – Permit granted
Wednesday, 9 March 2022 Compulsory conference	D/259/2021	10 – 12 Nisbett Street, Reservoir North Central	development of ten triple storey dwellings; and Reduce the visitor car parking requirements; as shown on the plans accompanying the application	Notice of Decision – Objector Appeal.	Compulsory conference vacated
Friday, 18 March 2022 Full hearing	D/619/2018/A	231-233 Spring Street, Reservoir West	Changes to the development including a reduction of dwellings to a total of 14, changes to the built form and layout and the removal of the basement,	Refusal – Applicant Appeal	Awaiting decision
Tuesday, 22 March 2022 Full Hearing	D/664/2020	765-769 Gilbert Road, Reservoir West	Use as a Funeral Parlour and buildings and works comprising the construction of a single storey extension	Committee (contrary Officer Recommendation) – Applicant Appeal	Awaiting decision
Wednesday, 23 March 2022	D/315/2018/A, D/312/2018/B	7 Eunson Avenue, Northcote South	Various amendments to the approved development	Notice of Decision – Objector Appeal.	To be remitted back to Council

7. CONSIDERATION OF REPORTS CONSIDERED CONFIDENTIAL

In accordance with Section 66(2) of the *Local Government Act 2020*, Council may resolve to close the meeting to members of the public to consider items, deemed to be confidential by the Chief Executive Officer in accordance with Section 3(1) of the Act for the reasons indicated:

7.1 WOOD STREET PRESTON - OPEN SPACE CONTRIBUTION

This item is designated confidential because it contains Council business information, being information that would prejudice the Council's position in commercial negotiations if prematurely released, pursuant to Section 3(1) (a) of the Act.

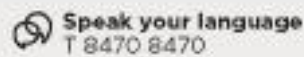
8. CLOSE OF MEETING

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