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Proposed
C161

SCHEDULE 21 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO21**.

FAIRFIELD VILLAGE NEIGHBOURHOOD CENTRE

1.0 Design objectives

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- To encourage high quality urban development that achieves moderate intensification while being responsive to the valued character and amenity of the centre.
- To ensure development complements the established traditional streetscape of the centre by contributing to consistency of form, scale and facade articulation.
- To ensure development respects and enhances identified heritage buildings and precincts.
- To ensure development makes a positive contribution to the public realm.
- To ensure development provides an appropriate transition to and limits adverse amenity impacts on residential zoned properties.

2.0 Buildings and works

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A permit is not required to:

- Install an automatic teller machine.
- Alter an existing building facade provided that:
 - The alteration does not include the installation of an external roller shutter; and
 - At least 80 per cent of the building facade at ground floor level is maintained as an entry or window with clear glazing for development in the Commercial 1 Zone.

Definitions

- If the land is in a Special Building Overlay, the maximum building height is the vertical distance from the minimum floor level determined by the relevant drainage authority to the roof or parapet at any point.
- A basement, attic or a mezzanine is not a storey for the purposes of calculating the number of storeys contained in a building.
- The street wall is the front facade of a building along all street frontages.
- Street wall height is measured from natural ground level to the top of the parapet, unless the land is in a Special Building Overlay or is land liable to inundation, where the maximum height is the vertical distance from the minimum floor level determined by the relevant drainage authority to top of the parapet.
- Front setback is measured from the boundary of the land with the street and applies to both front and side street boundaries of corner sites.

Building Height Requirements

The overall height of any new building must not exceed the maximum height limit and must meet built form objectives specified in Table 1 to this schedule. The maximum height limit cannot be varied with a permit.

The maximum building height does not include:

- lifts, stairs, rooftop plant, solar panels designed to the satisfaction of the responsible authority
- structures and equipment associated with communal or green roof areas that occupy 50% or less of the roof area, and are designed to minimise views to any adjacent residential zoned property, to the satisfaction of the responsible authority
- a hip or gabled pitched roof within Area 1 (Fairfield Village Heritage Precinct) as shown on Map 1 at Subclause 7.0 of this schedule.

Table 1: Building height

Area	Maximum height limit	Built form objectives
Land under 1000sqm	14.5m and 4 storeys	
Land 1000sqm or greater (may comprise multiple consolidated lots)	17.5m and 5 storeys	<p>Additional height is sufficiently recessed to be unobtrusive from surrounding streets and adjacent residential zoned properties, as evidenced by a visual study.</p> <p>Overall building form is designed to integrate with the streetscape and will not detract from the prominence and character of the existing street wall.</p> <p>Where an existing front facade is removed, the replacement building is articulated to respect the fine grain character of the street.</p> <p>There is an appropriate transition in form to lower rise adjacent buildings.</p>

Valued Street Facade Requirements

Development should retain and incorporate Valued Street Facades shown in Map 1 at Subclause 7.0 to this schedule, with new building components set behind and above the retained facade in accordance with the requirements of this schedule.

Street Wall and Front Setback Requirements

The street wall of any development must not exceed the maximum height specified in Table 2 and should be constructed to the boundary along all street frontages to maintain a consistent street edge. The maximum street wall height limit cannot be varied with a permit.

Development must comply with the minimum front setbacks specified in Table 2.

Table 2: Street Wall and Front Setback Requirements

Area (refer to Map 1 in Subclause 7.0 of this schedule)	Maximum Street Wall Height	Minimum Front Setbacks
1	8.5m, or height of adjacent street wall, whichever is greater.	<p>Where development retains a single storey building (or part thereof), set back upper storey additions a minimum of 4 metres at the second storey and 8 metres at the third and fourth storeys, as shown in Figure 1.</p> <p>Where development retains a double storey building (or part thereof), set back upper storey additions a minimum of 4 metres at the third storey and 8 metres at the fourth storey, as shown in Figure 2.</p> <p>Where a new building is proposed, 0m front setback up to the maximum street wall height (two storeys), with minimum setbacks of 4 metres at the third storey and 8 metres at the fourth storey, as shown in Figure 3.</p> <p>Corner sites abutting Duncan Street, may have a reduced setback to Duncan Street of 2 metres at the third storey and 4 metres at the fourth storey.</p> <p>Development on the north east corner of Station Street and Wingrove Street (85 Station Street) may adopt a 'bookend' form incorporating the existing heritage building with consolidated minimum 4 metre front setbacks at the second and third storeys. In addition, a single storey parapet should be extended along Wingrove Street to a length of approximately 13 metres to match the width of the existing single storey Station Street frontage, as per the <i>Fairfield Village Built Form Guidelines, 2017</i></p>
2	11.5m	<p>Where development retains a Valued Street Facade (single or double storey) set back upper storey additions a minimum of 2 metres up to the third storey, and 4 metres to the fourth storey, as shown in Figure 4.</p> <p>Where a new building is proposed, 0m front setback is required up to the maximum street wall height (containing no more than 3 storeys) with the fourth storey set back a minimum of 4 metres, as shown in Figure 5.</p> <p>Corner sites abutting Duncan Street may have a reduced setback to Duncan Street of 2 metres at the 4th storey.</p>

The front setback of a fifth storey, where permitted, should satisfy the requirements for exceeding the maximum building height requirements as specified in this schedule.

An application to reduce the minimum front setback requirements must demonstrate how the development:

- meets the design objectives of this schedule;
- achieves a consistent building form and scale to the street;
- integrates with the streetscape and does not detract from the prominence of the street wall;
- respects and emphasises heritage places and other retained Valued Street Facades; and
- limits new built form in oblique views along the street.

Front setback areas behind the street wall may be encroached by the following built form elements:

- a balcony or terrace that does not project forward of the level below, as shown in Figures 1-5.
- by minor projections of functional or design elements including:
 - awnings or sunshades projecting up to 1.5 metres forward;
 - architectural detailing or artworks projecting up to 300mm forward; and
 - vertical screens between balconies or terraces up to 1.7 metres high.

Balustrades to balconies or terraces which are visible behind retained historic street parapets from the street should be of clear glass, as shown in Figure 1.

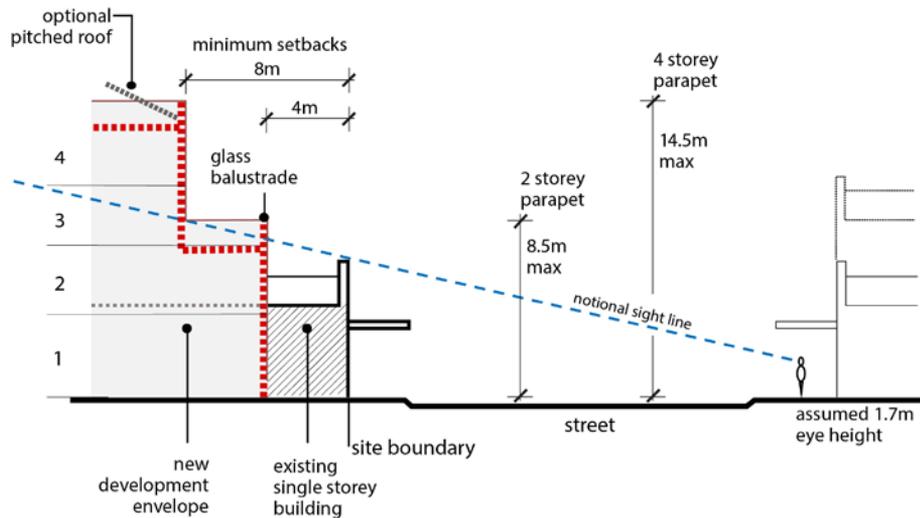


Figure 1: Front setbacks with retained single storey building in Area 1

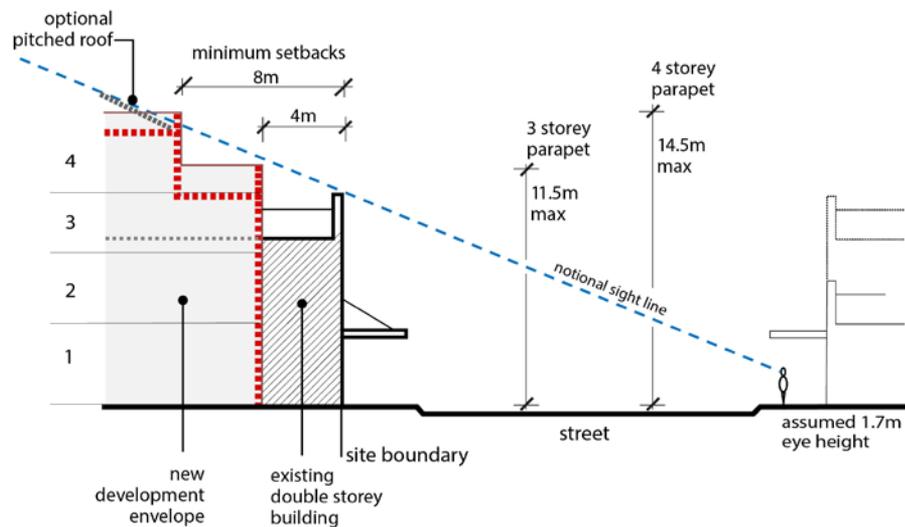


Figure 2: Front setbacks with retained double storey building in Area 1

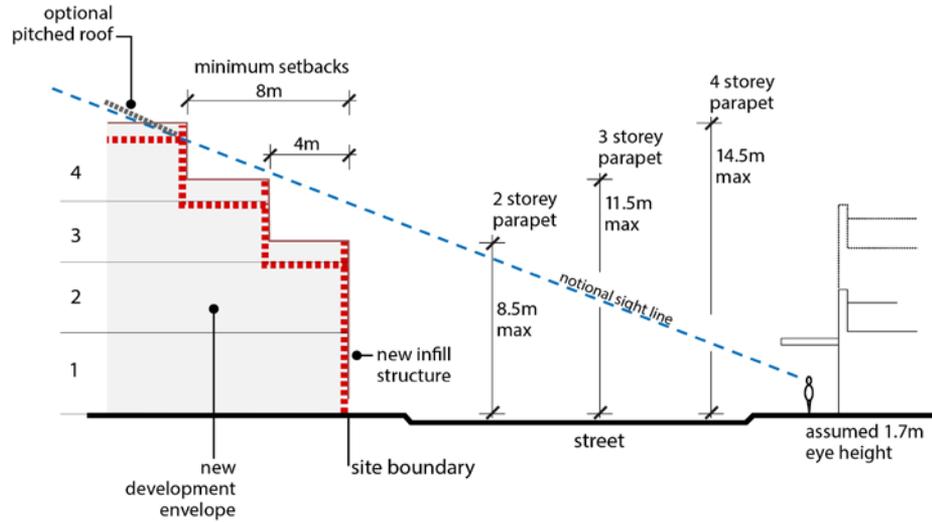


Figure 3: Front setbacks for new building in Area 1

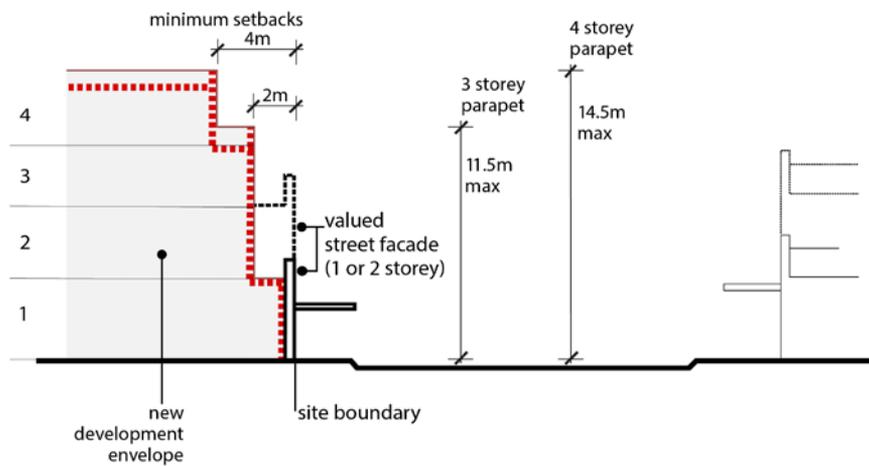


Figure 4: Front setbacks with retained valued street facade in Area 2

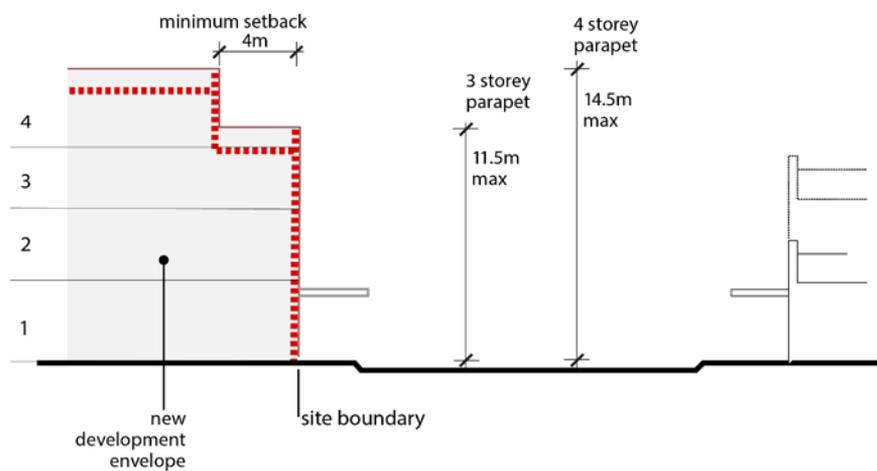


Figure 5: Front setbacks for new building in Area 2

Side Setback Requirements

No side setbacks are required in mid-block developments where adjoining sites to both sides can be built to similar scale.

Mid-block light wells should provide solar access, daylight and ventilation to buildings, as shown in Figure 6. A mid-block light well should have a minimum width of 1.5 metres at its base (or larger as required to create a usable courtyard) and gradually widen at upper levels to provide sufficient light and ventilation.

Side setbacks should not be relied upon to provide the primary outlook for a dwelling in a mid-block development. The primary outlook of dwellings should be to the front and rear site boundaries, with side setbacks providing opportunity for additional daylight access and amenity. Where orientation to side boundaries cannot be avoided, increased side setbacks should be provided for adequate daylight access and outlook for residential amenity.

Where a side boundary is shared with a property in a residential zone, a 2 storey (maximum 8.5 metre) wall is generally permissible on the side boundary. The extent of boundary wall and layout must have regard to the location, scale and amenity of adjacent dwellings, particularly the location of secluded private open spaces and proximity of habitable room windows. Upper levels should be set back from the common side boundary as appropriate to address unreasonable visual bulk impacts and if applicable, overshadowing. Development should be designed to limit views to the residential zoned property.

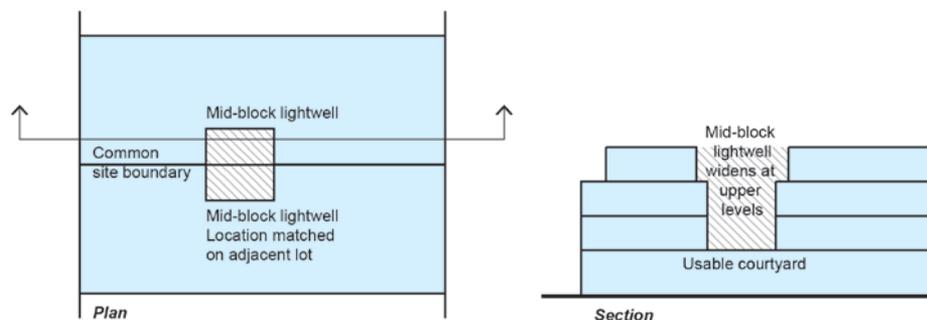


Figure 6: Mid-block light wells

Rear Setbacks and Interface Requirements

Development should be set back from the rear boundary, where adjoining a residential zoned property, a minimum of 3 metres at the first (i.e. ground level) and second storeys, and within the 45 degree rear setback envelope thereafter as shown in Figure 7.

Where a laneway separates a rear boundary from a property in a residential zone, the rear setback requirement is measured from the boundary of the adjoining residential property.

Consolidate rear setbacks to avoid 'wedding cake' profiles as shown in Figure 7.

Balconies and terraces must not extend outside the rear setback envelope; however balustrades and screens to these spaces can extend vertically outside the envelope by up to 1 metre, provided the space is not enclosed via side walls and/or solid roof fixtures.

Sunshading devices may extend outside the rear setback envelope.

Overlooking from the rear of developments should be limited through design techniques which provide outlook from the new development but block downward views into secluded private open spaces and habitable rooms, such as:

- setbacks which use the building edge below to block downward views;
- permanent, fixed elements such as planter boxes; and/or
- horizontal louvre screens that block view down but allows longer range vistas.

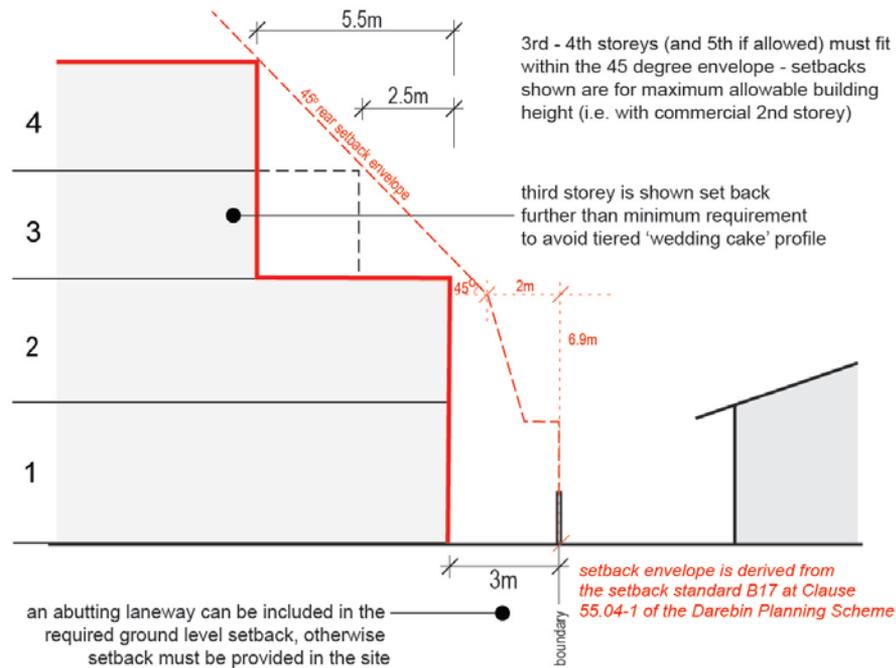


Figure 7: Rear Setback Requirements

Street Façade Form and Detailing Requirements

Development should reflect the proportions and features of existing Valued Street Facades, maintain the prominence of the street wall and achieve a degree of complexity in new building forms which provide a modern interpretation of traditional design. This should be achieved by, as appropriate:

- Use of similar proportions of solid and transparent building material as used in existing Valued Street Facades, particularly in new street wall elements.
- Avoiding floor to ceiling windows in new shop fronts. Provide stall risers with a minimum height of 500mm above the footpath.
- Maintaining the solidity of the street wall by incorporating fenestration with deep reveals, inset balconies and ‘framing’ elements rather than open, cantilevered or projecting elements.
- Use of architectural detailing, materials and colours to distinguish the street wall from development set back above and to minimise the ‘wedding cake’ appearance of progressive upper level setbacks.
- Street facades which reflect the fine-grained rhythm of the traditional streetscape. On larger sites, typical building widths (approximately 6-8 metres) should be expressed through the use of symmetrical vertical definition.
- Modern interpretation of decorative features seen in historic facades to emphasise a fine-grain frontage.
- Detailing on facades and parapets to reflect a balance of vertical and horizontal lines found in the traditional streetscape. Long horizontal building components and visually unbroken expanses of solid, transparent or reflective materials should be avoided.
- Avoiding blank facades on street frontages and side elevations and ensuring that buildings on corner sites address both street interfaces.
- Use of articulating elements such as verandahs, balconies, balustrades, sunshading canopies and architectural detailing.

- Use of clear glass balustrades behind retained historical street parapets to enclose a terrace space to building regulation height requirements without compromising the design of the parapet.

Development in Area 1 (Fairfield Village Heritage Precinct) as shown on Map 1 at Subclause 7.0 of this schedule may incorporate a light grey coloured hipped or gabled roof if the top of the building will be visible from across the street.

Development should enhance pedestrian amenity and street safety through design techniques as follows:

- Provision of a minimum of 65% clear glazing to ground floor frontages.
- Windows, entry points and balconies which face the street to provide a high degree of visibility and passive surveillance of the street. Residential entries should not exceed 2 metres of frontage width to ensure they do not dominate the frontages of buildings.
- Provision of cantilevered verandahs and awnings for weather protection. These should, as far as practicable, match the underside height and fascia height of adjoining verandahs and extend over the footpath up to 750mm from the kerb.

Materials and Finishes Requirements

Development should maintain and enhance the character of the area through innovative use of materials and finishes.

Use durable, traditional materials such as brick, painted brickwork, timber and transparent glass for the main body of a building. Render and metal should only be used as secondary or highlight finishes.

Materials should be selected to suit their application on the building (for example, street wall or recessed upper levels) and provide an appropriate level of detailing and visual interest.

Use contrasting materials to distinguish between retained street facades and new building additions.

Building features and details should be highlighted and enhanced through the use of materials (for example, metal and timber sun-shading devices and architectural features).

Landscaping Requirements

Development should provide a minimum level of landscaping as follows:

- Where the area of a development site is less than 1000 square metres, provide planter boxes to balconies and terraces, which may also include climbing plants to create a green facade. Alternatively, provide a green roof to the development.
- Where the area of a development site is 1000sqm or greater, provide landscaping as per requirements for sites less than 1000sqm, plus roof top landscaping, which may include a green roof, or communal roof top garden area, or a combination of both.

On corner sites, use landscaping features (green facade, green wall or other suitable techniques) on the secondary street facade to enhance visual amenity and thermal efficiency of the building.

Ensure landscaping features, including selection of plants, are fit for purpose, with consideration to access, cost and overall practicality for upkeep and long term maintenance.

Car Parking and Vehicular Access Requirements

Vehicle access and parking to a development must meet the following requirements:

- Locate car parking access points to the side or rear of sites where possible, utilising a side or rear street, lane or right-of-way.
- Avoid any vehicle access via frontages to Station Street, Railway Place and Wingrove Street within Area 1 (Fairfield Village Heritage Precinct) as shown on Map 1 at Subclause 7.0 of this schedule. In these areas, retention of heritage buildings, active frontages and pedestrian amenity are prioritised.
- In other locations where access to car parking from the street frontage is unavoidable, limit the width of the access point to a maximum of 5.5 metres and no more than a third of the overall site frontage width.

Where site conditions do not allow for any car parking to be provided on site, it must be demonstrated that the likely demand for car parking to be generated by the proposed development will not have an adverse impact on the locality. Alternative arrangements such as provision of parking spaces on another site, and initiatives which will reliably achieve a low rate of private vehicle ownership in the development may be considered in an application.

3.0 Subdivision

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None specified

4.0 Advertising signs

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None specified

5.0 Decision guidelines

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The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- The extent to which the development achieves the design objectives at Subclause 1.0 and requirements of Subclause 2.0 of this schedule.
- Whether the development is consistent with the *Fairfield Village Built Form Guidelines, 2017*, *Fairfield Heritage Assessment, 2017* and any other policy or planning provision applying to the area.
- Whether the development is of high architectural quality and makes a positive contribution to the streetscape and pedestrian environment as prescribed in this schedule.
- Whether the development provides an appropriate transition to properties in an adjoining zone and limits adverse amenity impacts on residential zoned properties.

6.0 References

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Fairfield Village Built Form Guidelines, 2017
Fairfield Village Heritage Assessment, 2017

7.0 Map



Map 1: Fairfield Village Neighbourhood Centre

21.02 ENVIRONMENT

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This Clause provides local content to support Clause 11.03 (Open Space), Clause 12 (Environmental and Landscape Values), Clause 13 (Environmental Risks), Clause 14 (Natural Resource Management) and Clause 15 (Built Environment and Heritage) of the State Planning Policy Framework.

21.02-1 Strategic Environment Framework

15/10/2015
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‘The environment’ encompasses all the circumstances, objects or conditions that surround us as we live, work and recreate – from the climate, soil, water and other living things to open spaces, buildings, and urban streetscapes. In land use planning, ‘natural’ and ‘built’ environments are generally distinguished separately as they are in the objectives. However, they are interconnected in how they interface and collectively contribute to the experience of life in Darebin. Council supports an approach to natural and built environments that:

- Protects and enhances natural environmental assets, in particular creek and habitat corridors, and manages visual and physical impacts from land use and development in a way that does not preclude accessibility and, where appropriate, the physical and visual integration between urban and natural environments.
- Promotes urban environments and open spaces designed for liveability and environmental sustainability, and making a positive contribution to the health and wellbeing of Darebin residents, workers and visitors.
- Recognises and protects areas and sites of natural, cultural and built heritage value.

Objectives and strategies for these are set out in the clauses below.

21.02-2 Natural Environment

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Overview

Areas of natural environmental significance in Darebin include native grasslands at Central Creek Reservoir and Cherry Street Macleod; two major creek systems (Merri and Darebin); significant remnant vegetation (River Red Gums at Mount Cooper and Bundoora Park); and native habitat forest (Gresswell Forest and Hill, and La Trobe Wildlife Sanctuary) which also support significant native animal species.

The Merri and Darebin Creeks, Gresswell Habitat Link and Hurstbridge Rail Reserve provide a cohesive network of natural spaces and corridors. Appropriate landscape and water management on land adjoining this network can contribute to the protection of these habitats. Additionally, areas around Darebin and Merri Creeks that are popular for recreation, cycling and walking require planning to ensure they are safe spaces to access.

Refer to the Strategic Framework Plan at Clause 21.01-6 showing areas of natural environment significance.

Key Issues

- Protection of remnant natural areas in Darebin from the impacts of development.
- Pressure for redevelopment of residential creek-side lots.
- Impact of industrial development on creek-side environs with regard to location of storage areas, car parking and design of the built form.
- Maintaining long term protection of remnant native vegetation in estates such as Springthorpe in Macleod and Mt. Cooper and Lancaster Gate in Bundoora.
- Impacts of land use activities on local and regional waterways through substances released into the stormwater system, run-off from roads, and litter.

- Maintaining a cohesive network of linked natural spaces and corridors to provide havens and corridors for wildlife and enhance water quality in the creeks.
- Balancing the need for preserving a natural landscape feel with the need for passive surveillance at interfaces between natural and built environments.

Objective 1 – Protect and Enhance

To protect, maintain and enhance Darebin’s natural environment including the major creek systems.

Strategies

- Ensure that remnant vegetation is identified and conserved.
- Ensure that places and areas of natural heritage significance are conserved and enhanced.
- Encourage the use of indigenous vegetation and planting on private and public land to increase biodiversity.
- Manage landscapes in ways that contribute to the creation of a more ecologically sustainable natural environment.
- Ensure development of urban areas maintains or improves river and wetland health, waterway protection and flood plain health through appropriate stormwater and overland flow management and integrated water management planning of precincts.
- Provide for a consistent and coordinated planning approach to protect, maintain and enhance the natural, landscape, cultural and built character of the Darebin and Merri Creek environs.

Objective 2 – Interfaces

To achieve a balance between the protection of the natural environment and the safety and surveillance objectives of recreational users of public open space.

Strategies

- Ensure that land use and development is compatible and appropriately integrated with areas of natural heritage and environmental significance.
- Ensure that development adjacent to the Darebin and Merri Creeks retains and enhances each creek’s unique contribution to the community and wider ecology.
- Balance the need to ensure the aesthetic impact of development adjacent to creeks is sensitive to existing creek environs, view lines and landscape works with the need to provide passive surveillance over creek-side environs, particularly around access points to public land and along pedestrian and cycling pathways.
- Consider fencing strategies for development adjacent to parks and reserves, which ensures fencing not only defines the transition from public to private realm but promotes good surveillance.
- Ensure development of private land adjoining the perimeter of Bundoora Park is designed and orientated to provide frontage to the park and avoid high fencing and expanses of wall at the park interface. Development should provide visual and physical connections to the park (via active frontages with appropriate land uses at ground level, pedestrian paths and links, and windows, terraces/balconies orientated to overlook the park) wherever possible.

Implementation

The strategies in relation to natural environment will be implemented through the planning scheme as follows:

Policy Guidelines

Apply Clause 22.03 Darebin Creek – Adjacent Land Design and Development in considering applications for development or subdivision of land adjacent to Darebin Creek.

Application of Zones and Overlays

- Apply the Public Conservation and Resource Zone over the Gresswell Habitat Link, Gresswell Forest Nature Conservation Reserve and Central Creek Grasslands.
- Apply Vegetation Protection Overlays to provide for the long term preservation of significant vegetation on the Mount Cooper, Springthorpe and Lancaster Gate Estates and the former Kingsbury Centre.
- Apply Environmental Significance Overlays to protect remnant vegetation sites and other areas of identified environmental significance.
- Apply Design and Development Overlays over private and public land adjacent to the Darebin and Merri Creeks to manage the impact of development on and provide appropriate interfaces with creek-side areas.
- Apply the Urban Floodway Zone and Land Subject to Inundation Overlay provisions as appropriate around waterways to minimise flood-related soil erosion, sedimentation and silting and to protect water quality.

Further Strategic Work

- Review the application of the Urban Floodway Zone along parts of the Merri, Darebin and Edgars Creeks.
- Review the Environmental Significance Overlays along Darebin Creek and Merri Creek to ensure that the boundary of each overlay covers areas where development is likely to have an impact on the creek environs.
- Review the Darebin Creek Design and Development Guidelines (2000) to inform preparation of a Design and Development Overlay for land adjacent to Darebin Creek.
- Review the Development Guidelines for Merri Creek (Merri Creek Management Committee, 2004) to inform preparation of a Design and Development Overlay for land adjacent to Merri Creek.
- Include an integrated water management plan and ecological improvement initiatives for Darebin Creek in the formulation of the Northland Structure Plan.

Reference Documents

Bundoora Park Master Plan 2012

Central Creek Grassland 5 Year Management Plan 2011-2016

Darebin Creek, Design and Development Guidelines, City of Darebin, 2000

Darebin Litter Plan 2011-2013

Darebin Open Space Strategy, 2007-2017 (2008)

Development Contributions Plan

Development Guidelines for Merri Creek, Merri Creek Management Committee, 2004

Lower Darebin Creek Concept Plan, Parks Victoria/Melbourne Water, 1996

Merri Creek and Environs Strategy 2009-2014, Merri Creek Management Committee, 2009

Springthorpe Conservation Plan, February 2001

Springthorpe Tree Conservation Plans

Watershed: Towards a Water Sensitive Darebin, Darebin City Council Whole of Water Cycle Management Strategy 2015-2025

Watershed: Towards a Water Sensitive Darebin, Implementation Plan 2015-2025

21.02-3 Built Environment

31/08/2017

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[Proposed C161](#)**Overview**

The design and quality of the built environment, including buildings, public spaces, infrastructure and streetscapes plays an important role in enhancing civic pride, liveability and social connectedness, and provides opportunities for creating a more sustainable city.

Good urban design acknowledges the collective impact of development both within and beyond the boundaries of individual sites and enables positive outcomes for the public realm that enhance people's wellbeing and experience of the built environment.

Darebin City Council is committed to environmental sustainability and actively encourages sustainably-designed buildings that reduce energy consumption and water use, encourage recycling and sustainable transport and that use recycled and sustainable materials.

Key Issues

- Achieving high-quality design in development across a variety of urban environments, including activity centres and industrial/employment precincts.
- Impacts of large-scale development on streetscape amenity and pedestrian experience, and increased reliance on the public realm in providing visual appeal and amenity.
- How design might improve the interface and interaction of new developments with the public realm (including parks and open spaces).
- Incorporating Environmentally Sustainable Design (ESD) principles in the design and development of built environments and strengthening requirements at planning permit stage.
- Striking a balance between the understandable need for businesses to advertise and community expectations for an environment devoid of unattractive visual clutter.

Objective 1 – Urban Design Excellence

To ensure development in Darebin exhibits good urban design and provides distinctive, attractive and engaging places in which to reside, visit or work.

Strategies

- Encourage high quality design and buildings that respond to characteristics of the locality.
- Develop and implement detailed design guidelines for areas where substantial housing change and growth is encouraged.
- Ensure that important public views and vistas, where identified in a strategy or guideline adopted by Council, are recognised, protected and enhanced.
- Apply urban design principles when developing structure plans, land use strategies, and urban design guidelines.
- Promote land use and development in activity centres, strategic corridors and strategic development precincts in accordance with adopted Structure Plans, precinct plans or strategies.
- Ensure development in activity centres, strategic corridors and strategic development precincts:
 - is responsive to its environment with a high quality appearance
 - promotes an urban scale and character that is appropriate to the role and function of the activity centre or strategic corridor precinct
 - encourages consolidation of commercial areas along strategic corridors to create strong, vibrant hubs to serve the local community

- manages negative off-site impacts and interface issues with surrounding sensitive land uses
- promotes visual and physical improvements to the public realm
- encourages a safe and accessible environment for pedestrians, cyclists, public transport users and motorists.
- Ensure that development in industrial and commercial areas:
 - achieves a high standard of building design and provides for suitable landscaping and treatments to improve the visual character, function and layout of such areas
 - minimises the impact of traffic, noise and emissions from industrial land uses on the amenity of surrounding residential areas
 - reduces and minimises conflict between industrial and non-industrial land uses.
- Encourage streetscape upgrades and street tree planting, particularly in areas where Substantial Housing Change is envisaged.
- Collect development contributions from private development for streetscape upgrades.
- Undertake streetscape upgrades to Edwardes Street, Broadway and other streets in Reservoir Activity Centre.

Objective 2 – Safe Urban Environments

To promote safety through well-designed and well-maintained urban environments.

Strategies

- Encourage designs that incorporate elements that promote safety, such as clear sightlines, safe movement, passive surveillance, good connections, good access, mixed use and activities that promote public use.
- Ensure that public spaces, access routes and areas in the vicinity are attractive, safe, uncluttered and work effectively for all.
- Ensure new retail and/or mixed use development incorporates verandahs over footpaths where appropriate.
- Ensure that buildings at ground level provide active frontages and a high level of pedestrian amenity.
- Encourage day and evening activity in activity centres, other precincts and key development.
- Consider the above strategies in assessments and when developing strategies and urban design guidelines.

Objective 3 – Environmentally Sustainable Design

To promote and facilitate development that incorporates best practice environmentally sustainable design and promotes sustainable living and business practices.

Strategies

- Encourage the adaptive reuse of buildings to reduce the amount of waste going to landfill.
- Encourage the design of new and retrofitted buildings and public spaces to incorporate high standards of energy efficient design, water sensitive urban design, sustainable transportation, waste reduction and protection of biodiversity.
- Promote the integration of land use and sustainable transport (walking, cycling and public transport) in accordance with the strategies in Clause 21.05-1.
- Encourage best practice industrial and commercial development to minimise amenity impacts and achieve long term environmental sustainability.

- Require the preparation of Sustainable Design Assessments and Sustainability Management Plans for residential and non-residential development as part of the planning permit approval process.

Objective 4 - Signage

To ensure signage is integrated into development and streetscapes.

Strategies

- Minimise visual clutter and prevent the proliferation of signs, particularly along major gateways, road reservations, commercial/retail areas and industrial estates.
- Ensure that outdoor signage presents a coordinated and high quality image.
- Ensure outdoor signage is located on the land to which it relates.
- Encourage simple, clear, consistent and non-repetitive advertising that is displayed in appropriate locations and planned as an overall signage package for a site.
- Ensure outdoor advertising is appropriate with regard to the architectural design of buildings on which signs are displayed.
- Incorporate outdoor advertising into the design of new buildings and major renovations and ensure signage is planned for at the beginning rather than at the end of development.

Implementation

The strategies in relation to built environment will be implemented through the planning scheme as follows:

Policy Guidelines

- Apply Clause 22.01 Junction Framework Plan in considering applications for use and development in the Junction Strategic Development Precinct.
- Apply Clause 22.04 Industrial and Commercial Activity in considering applications for use and development in the Industrial 1, Industrial 3 and Commercial 2 Zones.
- Apply Clause 22.05 High Street Corridor Land Use and Urban Design in considering applications for use and development in the High Street corridor.
- Apply Clause 22.06 in considering applications for Residential or Mixed Use Development in a Residential Growth Zone, Mixed Use Zone, Commercial Zone, Priority Development Zone and, where considered relevant, General Residential Zone.
- Apply Clause 22.08 Northcote Activity Centre in considering applications for use and development in the Northcote Activity Centre.
- Apply Clause 22.09 Preston Central (Incremental Change) in considering applications development in residential precincts of the Preston Activity Centre.
- Apply Clause 22.12 Environmentally Sustainable Development in considering applications for residential and non-residential development.

Application of Zones and Overlays

- Apply the Activity Centre Zone to activity centres, incorporating urban design frameworks and guidelines.
- Apply the Design and Development Overlay to ensure that key public views and vistas are protected and enhanced.
- Apply the Design and Development Overlay to sites and precincts to achieve specific desired built form outcomes, design principles and treatment of interfaces (as required by structure plans, strategies, or site studies).

- Apply Design and Development Overlays along strategic corridors to achieve high quality development in accordance with relevant urban design frameworks.
- Apply the Development Plan Overlay to strategic redevelopment sites and precincts.

Further Strategic Work

- Develop an Environmentally Sustainable Development Strategy that will:
 - establish a framework to coordinate the various environmental policies of Council and provide strategic directions for energy efficiency, waste management and integrated water management
 - set design guidelines for achieving sustainable development that minimises energy and water consumption and encourages reuse of water and waste; and
 - provide the basis for other planning measures such as overlays for achieving sustainable development at both site and precinct scale.
- Prepare and implement Urban Design Frameworks and guidelines for development in:
 - Northland Activity Centre
 - Reservoir Activity Centre
 - ~~Fairfield Village and~~ Miller-on-Gilbert Neighbourhood Centres
 - Heidelberg Road Corridor
 - The Junction – South Preston and Oakover Village Strategic Redevelopment Precincts.
- Review the *Preston Structure Plan 2006 (as amended)* and *Northcote Structure Plan (2007)* to ensure the strategic directions in these plans address contemporary issues and reflect the broader strategic vision for municipal growth and change.
- Review the *High Street Urban Design Framework (2005)* and implement Design and Development Overlay controls for intermodal areas of High Street.
- Review the *Bell Street Corridor Strategy (2006)* and implement Design and Development Overlay controls to encourage high quality development along the Bell Street Corridor.
- Identify important public views and vistas in the municipality.
- Explore opportunities to incorporate public art elements in high profile developments.
- Identify and support the delivery of streetscape upgrades in Substantial Housing Change areas.

Reference Documents

Bell Street Corridor Strategy, Hansen Partnership, 2006
 Climate Change and Peak Oil Adaptation Plan, 2009
 Community Climate Change Action Plan 2009-2020
 Community Health and Wellbeing Plan 2009-2013
 Darebin Community Safety Strategy 2012-2016
 Darebin Housing Strategy 2013 (revised 2015)
 Darebin Waste and Litter Strategy 2015-2025
[Fairfield Village Built Form Guidelines, 2017](#)
 Green Streets Strategy 2013
 High Street Urban Design Framework and High Street Study Precinct Guidelines, 2005

Northcote Activity Centre Structure Plan, 2007, and Medium and Low Change Residential Areas Precinct Guidelines, 2008

Northland Residential Neighbourhood Precinct Structure Plan, 2014

Plenty Road Integrated Land Use and Transport Study, 2013

Preston Central Structure Plan 2006 (as amended) and Urban Design Framework and Guidelines, 2006

Reservoir Structure Plan, 2012

Residential Built Form Guidelines, 2014

[Urban Design Guidelines for Victoria \(Department of Environment, Land, Water and Planning, 2017\)](#) ~~Safer Design Guidelines for Victoria, 2005~~

Urban Design Charter for Victoria, 2010

Urban Design Framework 2015 St Georges Road and Plenty Road Corridors

Watershed: Towards a Water Sensitive Darebin, Darebin City Council Whole of Water Cycle Management Strategy 2015-2025

Watershed: Towards a Water Sensitive Darebin, Implementation Plan 2015-2025

21.02-4

Heritage

15/10/2015

C138

[Proposed C161](#)

Overview

Darebin municipality's rich and diverse natural heritage and history of human settlement, from pre-contact inhabitation, through European colonisation to the modern era, has created a heritage fabric characterised by many layers and types of significance.

The extensive stock of older buildings can provide opportunities for redevelopment that demonstrate principles of cultural and ecological sustainability, possibly through adaptive reuse, urban design and architectural excellence. Some heritage places have the potential to increase and enhance local and regional tourism opportunities.

Key Issues

- Providing a balance between conservation needs and capacity for new infill development within heritage precincts to deliver a good design outcome.
- Balancing diversity of experience and conservation of biodiversity values around natural heritage assets.

Objective 1 – Heritage Places and Areas

To ensure that places and areas of cultural and natural heritage significance are conserved and enhanced.

Strategies

- Encourage the retention of any significant original fabric in development proposals.
- Discourage demolition or relocation of locally significant heritage buildings.
- Encourage appropriate use of heritage places in keeping with heritage significance.
- Identify and protect sites of identified Aboriginal cultural heritage significance.
- Identify and protect sites of natural heritage significance.

Objective 2 – Development and Heritage

To promote sympathetic infill and redevelopment of heritage places and areas.

Strategies

- Ensure development within heritage areas is sympathetic with the heritage character of the area.

- Ensure that redevelopment of heritage buildings and areas is visually compatible with existing forms.
- Promote innovative responses that makes a positive contribution to the heritage places and areas.
- Facilitate designs that are sensitive to heritage and urban character.
- Require conservation management plans for key sites prior to approval and commencement of works.

Implementation

The strategies in relation to heritage will be implemented through the planning scheme as follows:

Application of Zones and Overlays

- Apply the Heritage Overlay to places of local, regional, State or national heritage significance.
- Apply the Environmental Significance Overlay to places of natural heritage significance and culturally significant landscapes, trees and/or vegetation.

Further Strategic Work

- Review the Darebin Heritage Strategy, which should include the development of design guidelines on demolition and redevelopment of heritage places, and provide the strategic basis for development of a local policy to guide decision making.
- Prepare a Natural Heritage Study to identify sites of natural heritage significance and form strategies for ongoing conservation and management.

Reference Documents:

City of Darebin Heritage Study: Volume 3, [Historic Heritage Places, 2011 Key Findings & Recommendations, 2008](#)

City of Darebin Heritage Study: Volume 4a, Preston Central Heritage Assessment, Key Findings and Recommendations, 2008

City of Darebin Heritage Study, Volume 4b, Preston Central Heritage Place Citations, 2008

Darebin Heritage Review Volumes 1, 2, & 3, [2002-2000](#)

Darebin Housing Strategy 2013 (revised 2015)

City of Darebin Citations for Individually Significant Buildings, 1996

[Fairfield Village Heritage Assessment, 2017](#)

21.02.5
01/06/2017
C137

Open Space

Overview

Access to and enjoyment of open space is a key contributor to quality of life and local amenity. Council aims to improve the quality of open space and encourage the use and development of waterways and linkages. Priorities for managing open space are guided by the Darebin Open Space Strategy 2007-2017, which identifies and categorises open spaces by state down to local role, and the range of functions each space should fulfil.

Key Issues

- Darebin is a developed municipality with limited opportunities for creating additional open space. Existing open space is highly valued by the community.

- Provision of sufficient open space, particularly in higher density living precincts where there is higher reliance on for communal facilities for outdoor activities and recreation.

Objective

To provide a safe, accessible and high quality open space network that is equitably distributed across the municipality.

Strategies

- Encourage opportunities for public and communal open spaces adjacent to the creek environs.
- Protect and enhance existing open spaces where possible.
- Encourage linear open space linkages along waterways including pedestrian and bicycle access.
- Include provision for acquisition and improvement of open space in Development Contributions Plans.
- Consider opportunities for ‘greening’ in areas of higher density development, including alternative to traditional ground level landscaping e.g. green roofs and walls.

Implementation

The strategies will be implemented through the planning scheme as follows:

Application of Zones and Overlays

- Apply the Public Park and Recreation Zone to all municipal reserves.
- Apply the Public Conservation and Resource Zone to undeveloped municipal reserves which contain significant levels of indigenous vegetation or high biodiversity values.
- Apply the Heritage Overlay to open space of recognised cultural and social heritage value.

Further Strategic Work

- Review and rezone public open space in accordance with relevant strategies.
- Review the Environmental Significance Overlays along Darebin Creek and Merri Creek to ensure that the boundary of each overlay covers areas where development is likely to have an impact on the creek environs.
- Undertake an assessment of the heritage significance of the City’s older reserves as a basis for conservation planning and management, including Oldis Gardens, Johnson Park, LW Williams Reserve, JS Grey Reserve, Adam Reserve, Batman Park, Penders Park and AG Davis Reserve.

Reference Documents

Bundoora Park Precinct Master Plan, 2012

Darebin Open Space Strategy, 2007-2017 (2008)

Development Contributions Plan

Leisure Strategy 2010-2020

Playspace Strategy 2010-2020

21.02-6 Environmental Risk

Overview

Environmental risk in land use planning encompasses a broad range of issues, including the efficient management and protection of natural resources, dealing with contaminated land and developing resilience to impacts of climate change and peak oil.

Key Issues

- Consideration in planning strategies and permit assessments about potential environmental risks, such as land contamination, noise and air pollution, as well as the impacts of climate change including flooding, soil erosion, wildfire and heatwaves.
- Efficient management and protection of natural resources and ensuring risks of contamination, soil erosion, oil spill and industrial runoff into water bodies are considered in assessments.

Objective

To ensure appropriate development in areas prone to environmental risk.

Strategies

- Require assessment of environmental risk, and as appropriate require environmental audits be undertaken, where a sensitive use is proposed on potentially contaminated land.
- Assess risk prior to development in flood prone areas, in accordance with relevant flood management plans.

Implementation

The strategies in relation to environmental risk will be implemented through the planning scheme as follows:

Application of Zones and Overlays

- Apply the Environmental Audit Overlay to potentially contaminated land that may be used for sensitive uses in accordance with the requirements of *Ministerial Direction No.1 – Potentially Contaminated Land*.
- Apply the Special Building Overlay to land in urban areas liable to inundation by overland flows from the urban drainage system as determined by, or in consultation with, the floodplain management authority.

Further Strategic Work

- Compile a register of non-conforming industrial sites for which a change to a sensitive land use is likely, with a view to applying the Environmental Audit Overlay.
- Develop a local planning policy for consideration of use or development of land which has potential for contamination to ensure proposed uses and developments are suitable, and require remediation of contaminated land to a level that is compatible with the desired future uses of the site.

Reference Documents

Climate Change and Peak Oil Adaptation Plan, 2009

Ministerial Direction No.1 – Potentially Contaminated Land

Watershed: Towards a Water Sensitive Darebin, Darebin City Council Whole of Water Cycle Management Strategy 2015-2025

Watershed: Towards a Water Sensitive Darebin, Implementation Plan 2015-2025